

Committee of Council Agenda

Tuesday, February 18, 2025

1:00 p.m.

Council Chambers

3rd Floor City Hall, 2580 Shaughnessy Street, Port Coquitlam, BC

Pages

1. CALL TO ORDER

2. ADOPTION OF THE AGENDA

2.1 Adoption of the Agenda

Recommendation:

That the Tuesday, February 18, 2025, Committee of Council Meeting Agenda be adopted as circulated.

3. CONFIRMATION OF MINUTES

3.1 Minutes of Committee of Council

4

Recommendation:

That the minutes of the following Committee of Council Meetings be adopted:

- *January 28, 2025*
- *January 30, 2025*
- *February 4, 2025.*

4. REPORTS

4.1 Development Variance Permit - 2472 Chilcott Ave

14

Recommendation:

That Committee of Council:

1. *Authorize staff to provide notice of an application to vary the Zoning Bylaw's residential minimum lot frontage and floor area ratio regulations to allow for subdivision and development of three lots at 2472 Chilcott Avenue; and*
2. *Advise Council that approval of Development Variance Permit*

DVP00103 is supported.

4.2 Housing Target Progress Report (Six-Month Interim Period)

33

Recommendation:

That Committee of Council:

1. *Receive the Six-Month Interim Housing Target Progress Report as attached to this report; and*
2. *Direct staff to submit the Progress Report to the Ministry of Housing as required by the Housing Supply Act.*

5. COUNCILLORS' UPDATE

6. MAYOR'S UPDATE

7. CAO UPDATE

8. RESOLUTION TO CLOSE

8.1 Resolution to Close

Recommendation:

That the Committee of Council Meeting of Tuesday, February 18, 2025, be closed to the public pursuant to the following subsections(s) of Section 90(1) of the Community Charter:

Item 5.1

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public.

Item 5.2

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

l. discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report].

9. ADJOURNMENT

9.1 Adjournment of the Meeting

Recommendation:

That the Tuesday, February 18, 2025, Committee of Council Meeting be adjourned.



Committee of Council Minutes

Tuesday, January 28, 2025

Council Chambers

3rd Floor City Hall, 2580 Shaughnessy Street, Port Coquitlam, BC

Council Present: Chair - Mayor West
Councillor Darling
Councillor McCurrach
Councillor Petriw
Councillor Pollock
Councillor Washington (joined at 1:03 p.m.)

Council Absent: Councillor Penner

Staff Present: R. Bremner, CAO
K. Grommada, Deputy CAO
C. Deakin, Corporate Officer
B. Irvine, Director Development Services
D. Kidd, Acting Director Public Works & Engineering
D. Long, Director Community Safety & Corporate Services
J. Lovell, Director Finance
G. Mitzel, Director Recreation

1. CALL TO ORDER

The meeting was called to order at 1:00 p.m.

2. ADOPTION OF THE AGENDA

2.1 Adoption of the Agenda

Moved-Seconded:

That the Tuesday, January 28, 2025, Committee of Council Meeting Agenda be adopted as amended, by adding:

- *Item 5.4, under 8.1, Resolution to Close, Section 90 (a)*

In Favour (5): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, and Councillor Pollock

Absent (2): Councillor Penner, and Councillor Washington

Carried

3. CONFIRMATION OF MINUTES

3.1 Minutes of Committee of Council

Moved-Seconded:

That the minutes of the following Committee of Council Meetings be adopted:

- *January 14, 2025.*

In Favour (5): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, and Councillor Pollock

Absent (2): Councillor Penner, and Councillor Washington

Carried

4. REPORTS

4.1 2025 Water and Sewer Amendment Bylaws

Councillor Washington joined the meeting during item 4.1.

Moved-Seconded:

That Committee of Council support the Water and Sewer Utility rate increases averaging 7.18% and 30.98% respectively, and the applicable Bylaws be referred to Council.

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Penner

Carried

4.2 Amendments to the 2024-2028 Financial Plan Bylaw and Community Amenities Reserve Fund Bylaw

Moved-Seconded:

That:

1. *“2024-2028 Financial Plan Bylaw, 2024, No. 4365, Amendment Bylaw, 2025, No. 4388” be considered and forwarded to Council for approval; and*
2. *“Community Amenities Reserve Fund Bylaw, 2009, No. 3682, Amendment Bylaw, 2025, No. 4397” be considered and forwarded to Council for approval.*

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Penner

Carried

4.3 Temporary Use Permit Application for 1467 Mustang Place

Moved-Seconded:

That Committee of Council:

1. *Authorize staff to provide notice of Temporary Use Permit TU000026 at 1467 Mustang Place; and*
2. *Recommend Council support the proposal subject to public input.*

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Penner

Carried

5. COUNCILLORS' UPDATE

No update.

6. MAYOR'S UPDATE

No update.

7. CAO UPDATE

No update.

8. RESOLUTION TO CLOSE

8.1 Resolution to Close

Moved-Seconded:

That the Committee of Council Meeting of Tuesday, January 28, 2025, be closed to the public pursuant to the following subsections(s) of Section 90(1) of the Community Charter:

Item 5.1

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

Item 5.2

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

Item 5.3

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

Item 5.4

a. personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

l. discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report].

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Penner

Carried

9. ADJOURNMENT

9.1 Adjournment of the Meeting

Moved-Seconded:

That the Tuesday, January 28, 2025, Committee of Council Meeting be adjourned. (4:56 p.m.)

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Penner

Carried

Mayor

Corporate Officer



Special Committee of Council Minutes

Thursday, January 30, 2025

Council Chambers

3rd Floor City Hall, 2580 Shaughnessy Street, Port Coquitlam, BC

Council Present: Chair - Mayor West
Councillor Darling
Councillor Penner
Councillor Petriw
Councillor Pollock
Councillor Washington

Absent: Councillor McCurrach

Staff Present: R. Bremner, CAO
K. Grommada, Deputy CAO
B. Clarkson, Fire Chief
C. Deakin, Corporate Officer
J. Frederick, Director Engineering & Public Works
B. Irvine, Director Development Services
D. Long, Director Community Safety & Corporate Services
J. Lovell, Director Finance
G. Mitzel, Director Recreation

1. CALL TO ORDER

The meeting was called to order at 10:39 a.m.

2. ADOPTION OF THE AGENDA

2.1 Adoption of the Agenda

Moved-Seconded:

That the Thursday, January 30, 2025, Committee of Council Meeting Agenda be adopted as circulated.

In Favour (6): Mayor West, Councillor Darling, Councillor Penner, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor McCurrach

Carried

3. REPORTS

None.

4. RESOLUTION TO CLOSE

Moved-Seconded:

That the Committee of Council Meeting of Thursday, January 30, 2025, be closed to the public pursuant to the following subsections(s) of Section 90(1) of the Community Charter:

Item 5.1

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;

i. the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

l. discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report].

In Favour (6): Mayor West, Councillor Darling, Councillor Penner, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor McCurrach

Carried

5. ADJOURNMENT

5.1 Adjournment of the Meeting

Moved-Seconded:

That the Thursday, January 30, 2025, Committee of Council Meeting be adjourned. (3:17 p.m.)

In Favour (6): Mayor West, Councillor Darling, Councillor Penner, Councillor Petriw, Councillor Pollock, and Councillor Washington

Absent (1): Councillor McCurrach

Carried

Mayor

Corporate Officer



Committee of Council Minutes

Tuesday, February 4, 2025

Council Chambers

3rd Floor City Hall, 2580 Shaughnessy Street, Port Coquitlam, BC

Council Present: Chair - Mayor West
Councillor Darling
Councillor McCurrach
Councillor Penner
Councillor Pollock
Councillor Washington

Council Absent: Councillor Petriw

Staff Present: R. Bremner, CAO
K. Grommada, Deputy CAO
C. Deakin, Corporate Officer
J. Frederick, Director Engineering & Public Works
B. Irvine, Director Development Services
D. Long, Director Community Safety & Corporate Services
J. Lovell, Director Finance
G. Mitzel, Director Recreation

1. CALL TO ORDER

The meeting was called to order at 1:00 p.m.

2. ADOPTION OF THE AGENDA

2.1 Adoption of the Agenda

Moved-Seconded:

That the Tuesday, February 4, 2025, Committee of Council Meeting Agenda be adopted as circulated.

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Penner, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Petriw

Carried

3. CONFIRMATION OF MINUTES

3.1 Minutes of Committee of Council

Moved-Seconded:

That the minutes of the following Committee of Council Meetings be adopted:

- *January 21, 2025.*

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Penner, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Petriw

Carried

4. REPORTS

None.

5. COUNCILLORS' UPDATE

No update.

6. MAYOR'S UPDATE

No update.

7. CAO UPDATE

No update.

8. RESOLUTION TO CLOSE

8.1 Resolution to Close

Moved-Seconded:

That the Committee of Council Meeting of Tuesday, February 4, 2025, be closed to the public pursuant to the following subsections(s) of Section 90(1) of the Community Charter:

Item 5.1

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

l. discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report].

Item 5.2

e. the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

Item 5.3

g. litigation or potential litigation affecting the municipality;

i. the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;

k. negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public;

l. discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report].

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Penner, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Petriw

Carried

9. ADJOURNMENT

9.1 Adjournment of the Meeting

Moved-Seconded:

That the Tuesday, February 4, 2025, Committee of Council Meeting be adjourned. (3:12 p.m.)

In Favour (6): Mayor West, Councillor Darling, Councillor McCurrach, Councillor Penner, Councillor Pollock, and Councillor Washington

Absent (1): Councillor Petriw

Carried

Mayor

Corporate Officer

Development Variance Permit for 2472 Chilcott Avenue

RECOMMENDATION:

That Committee of Council:

1. Authorize staff to provide notice of an application to vary the Zoning Bylaw's residential minimum lot frontage and floor area ratio regulations to allow for subdivision and development of three lots at 2472 Chilcott Avenue; and
2. Advise Council that approval of Development Variance Permit DVP00103 is supported.

REPORT SUMMARY

This report provides staff consideration of a request to vary the Zoning Bylaw's minimum lot frontage and floor area regulations to enable development of a three-lot subdivision at 2472 Chilcott Avenue. Support is recommended as the requested variances are minor and the subdivision will meet policies and objective to increase housing supply and choice.

BACKGROUND

Proposal: The applicant, Burkhill Developments Ltd, has applied for a Development Variance Permit to vary the required minimum lot frontage for a Residential Small-Scale 4 (RS4) lot to enable a three-lot subdivision. The applicants have also requested a to vary the maximum permitted floor area ratio (FAR) in order to enable a house design that would comply with regulations in place prior to adoption of Bill 44 amendments to the Zoning bylaw in June 2024.

Context: The site is comprised of a large (1,454.5 m²) rectangular property located on the south side of Chilcott Avenue between Hastings Street and Osborne Street. The lot extends from Chilcott Avenue on the north side to Ogilvie Crescent on the south and borders an unopened portion of lane off of Hastings Street. The property is not located within the floodplain.

The lot is currently occupied by an older two-storey single residential home. The surrounding neighbourhood is comprised of similar single-detached homes, with some small-lot developments on recently subdivided lots to the east.



2472 Chilcott Avenue

Development Variance Permit for 2472 Chilcott Avenue

As part of this subdivision, the unopened lane to the west of the site would be constructed and used to provide access from Hastings Street.

Policy and Regulations: The site's Official Community (OCP) land use designation is Small Lot Residential and the property is current zoned RS4 (Residential Small-Scale 4). The RS4 zone includes minimum lot size and dimension regulations for subdivision, as well as regulations pertaining to the size and siting of new buildings and structures.

OCP policies supports the creation of small detached residential lot and the construction of lanes where required to support vehicular circulation and improve the local transportation network.

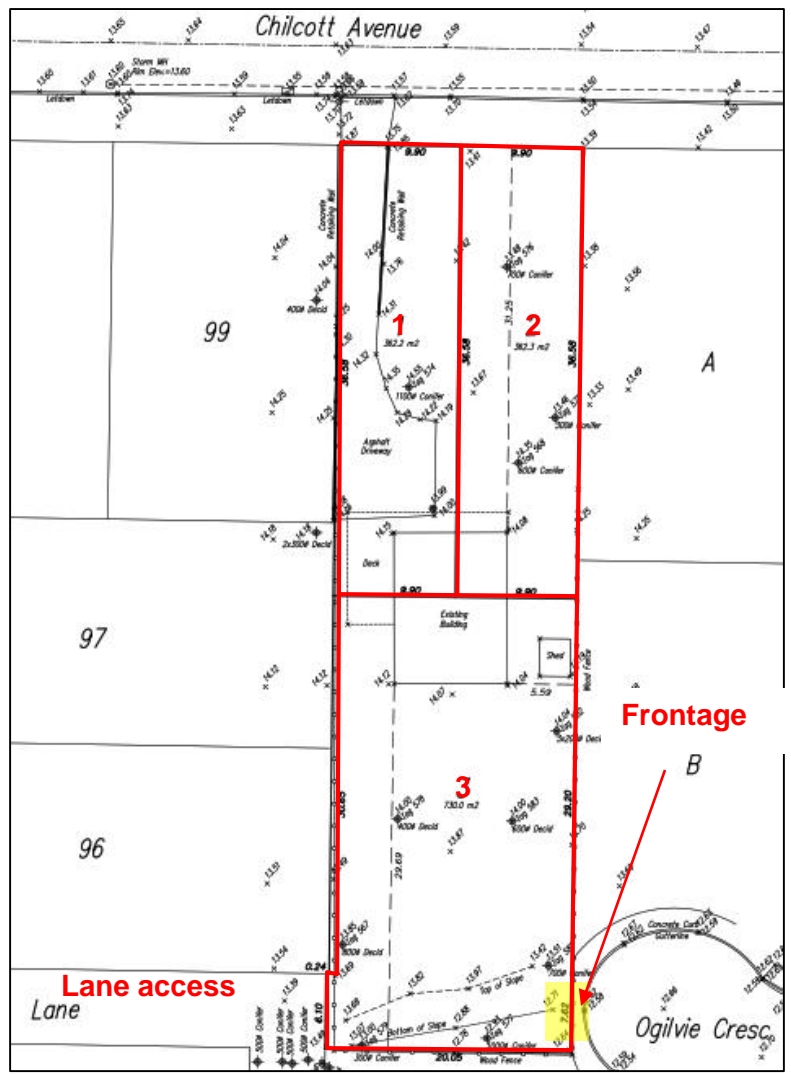
The lot is included in the Small-Scale Multi-Unit Housing Development Permit Area (DPA), which regulates the form and character of future development.

Project Description: The applicants have applied to subdivide the existing large RS4 lot into three smaller lots as depicted in the proposed site plan.

Proposed lot 1 and 2 will front and have vehicular access from Chilcott Avenue. Proposed lot 3 will front Ogilvie Crescent and will have vehicular access from Hastings Avenue via a newly constructed lane. Several significant trees adjacent to the frontage on Ogilvie Crescent are proposed for retention.

The lots comply with all the subdivision regulations of the RS4 zone, with the exception of the minimum frontage requirements for Lot 3. Specifically, the Zoning Bylaw requires a lot frontage of 9.5 m and the proposed lot would only have a 7.62 m frontage, requiring a 1.88-meter variance. The applicants note the variance is due to the frontage being calculated along the lot edge where it lies adjacent to a cul-de-sac, which results in an unusual configuration.

The applicant is also requesting a variance to the floor area regulations of the RS4 zone for proposed lots 1 and 2 in order to proceed with single detached house designs that exceed



Proposed Subdivision Plan

Development Variance Permit for 2472 Chilcott Avenue

recently amended regulations related to floor area ratio (FAR). The amended regulations were adopted in June 2024 to align the Zoning bylaw with provincial Bill 44 requirements for small-scale multi-unit housing – at this time the applicant’s subdivision application had been in process for several years with housing designs having been drafted to conform with regulations in place at the time of application. The applicant requests to proceed with their existing house designs, which require a 55.84 m² floor area (0.15 FAR) variance per single detached house.

	RS4 Zone Regulations	Lot 1	Lot 2	Lot 3	Variance
Lot Area	300 m ²	362.20 m ²	362.30 m ²	730.00 m ²	-
Lot Width	9.50 m	9.90 m	9.90 m	20.1 m	-
Lot Frontage	9.50 m	9.90 m	9.90 m	7.62 m	1.88 m
Lot Depth	28.00 m	36.58 m	36.58	36.82 m	-

DISCUSSION

The proposed subdivision meets the intent of the OCP objectives and policies to facilitate the provision of housing that provides residents with choice in housing form. In staff’s opinion, the existing lot at 2472 Chilcott Avenue is a good candidate for subdivision based on its large size and Small Lot Residential OCP designation. Staff do not anticipate a negative impact from the requested lot frontage variance, and note the proposed lot 3 configuration supports separated vehicle access and retention of existing trees.

Staff also recognize that in the past year the applicant has been working with staff to finalize lot layouts and off-site requirements to receive final subdivision approval with the intent to submit their housing designs for development and building permit approval immediately upon registration of the subdivision. During this process, the City amended the Zoning bylaw in order to comply with provincial housing legislation resulting in unanticipated changes to building floor area ratio exemptions. Given the timing of the applications, staff recommend the requested floor area variance also be supported

For additional context, staff note similar, minor variances to floor area for other developments caught mid-application by the Bill 44 changes have been addressed through issuance of a development permit (as delegated to staff), however, in this situation a DVP application is required because the City no longer requires development permits for single residential houses on RS lots.

Development Variance Permit for 2472 Chilcott Avenue


FINANCIAL IMPLICATIONS

The subdivision and improvement of the proposed lots is anticipated to increase the overall assessed property value, which will likely result in increased property tax revenue for the City.

PUBLIC CONSULTATION

A notice will be provided to affected property owners and tenants within 40 m of the property.

OPTIONS (✓ = Staff Recommendation)

	#	Description
	1	Authorize notification of Development Variance Permit DVP00103 and advise Council that Committee of Council supports the variance requests.
	2	Request additional information prior deciding on the application.
	3	Decline to support the variance requests and to authorize notification of Development Variance Permit DVP00103. The applicant may request the application be forwarded to Council for reconsideration.

ATTACHMENTS

Attachment 1: Draft Development Variance Permit DVP00103

Lead author(s): Paul Cloutier

THE CORPORATION OF THE CITY OF PORT COQUITLAM

“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT VARIANCE PERMIT

NO. DVP00103

Issued to: BURKHILL DEVELOPMENTS LTD., INC. NO. BC1179532
(Owner as defined in the Local Government Act, hereinafter referred to as the Permittee)

Address: 1597 ANGELO AVENUE
PORT COQUITLAM, BC
V3B 1C8

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this permit.

2. This Development Variance Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structure and other development thereon:

Address: 2472 CHILCOTT AVENUE

Legal Description: LOT 100 DISTRICT LOT 3880 GROUP 1 NEW WESTMINSTER
DISTRICT PLAN 33089

P.I.D.: 006-852-645

3. The Zoning bylaw (Bylaw No. 3630) is varied as follows:

- i. the Table 2.2: Residential Zones Subdivision Regulations RS4 minimum lot frontage requirement for Lot 3 is varied from 9.5 m to 7.62 m as depicted in the survey attached to and forming part of this permit; and
- ii. the Table 2.4: Residential Zones RS4 maximum floor area ratio requirement is varied for Lot 1 and Lot 2 from 0.50 to 0.75 to accommodate the inclusion of basement floor areas as depicted in the architectural plans attached to and forming part of this permit.

4. The land described herein shall be developed strictly in accordance with the terms

and conditions and provisions of this permit.

5. This permit shall lapse if the Permittee does not substantially commence the construction, or the first phase of a phased development, permitted by this permit within two (2) years of the date of this permit.
6. This permit is not a building permit.

APPROVED BY COUNCIL THE ____ DAY OF _____ MONTH 2025.

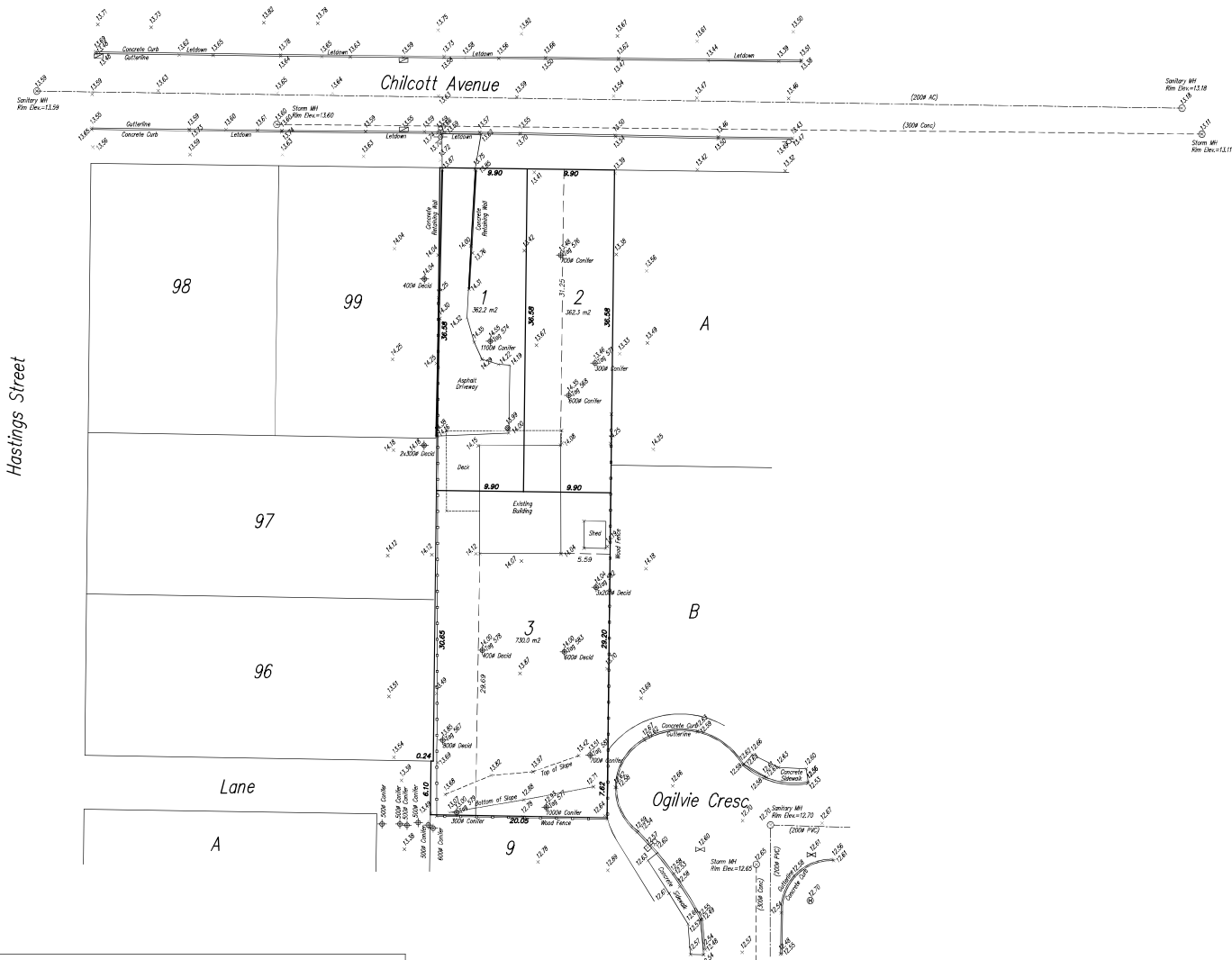
SIGNED THIS _____ DAY OF _____ MONTH 2025.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or Representative
of Applicant)



Client:
Jaske Homes Ltd.

Project:
**2472 Chilcott Ave,
Port Coquitlam, BC**

PID:
006-852-645

Drawing Title:
**Topographic Survey
Plan of Lot 100
DL 380 Gp 1
New Westminster District
Plan 3.3089**

Certified Correct
This 4th Day of May, 2021

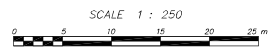
Mike Benemann, BCLS

- Legend:**
- ⊕ Survey Control Monument
 - ⊕ Tree (Tag At Point of Entry into the Ground)
 - Ground Elevation
 - Catch Basin
 - Catch (Shade)
 - Edge Of Asphalt
 - ⊕ Fire Hydrant
 - Gas Valve
 - Inspection Chamber
 - ⊕ Lawn Drain
 - ⊕ Lamp Standard
 - ⊕ Manhole
 - ⊕ Flower Pole
 - ⊕ Flower Pole With Light
 - ⊕ Water Valve
 - ⊕ Sign
 - ⊕ Gas Valve
 - ⊕ Gas Meter
 - ⊕ Water Meter
 - ⊕ Junction Box

Scale: 1:250

Date: May 4th, 2021

File: M21-84070P



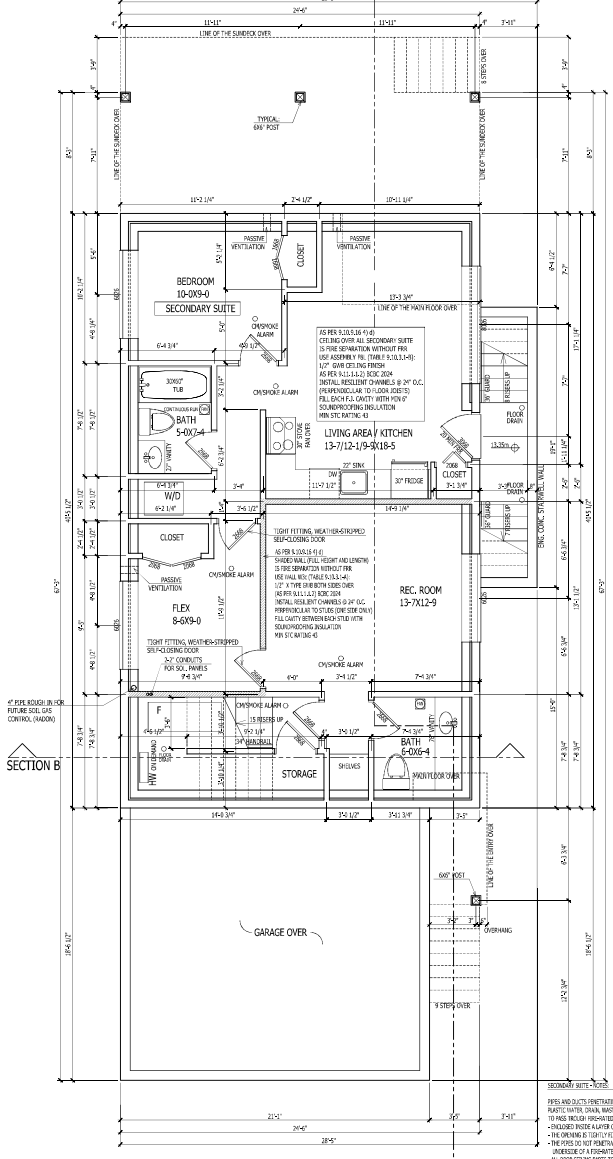
Benchmark Notes:
Elevations Are Geoidetic
Referred to Monument: BM3
Monument Elevation: 16.946m

Property:
Property dimensions shown are derived from current legal survey
Offsets to property lines are not to be used to define boundaries.
Refer to current certificate(s) of title for additional, existing or pending charges.

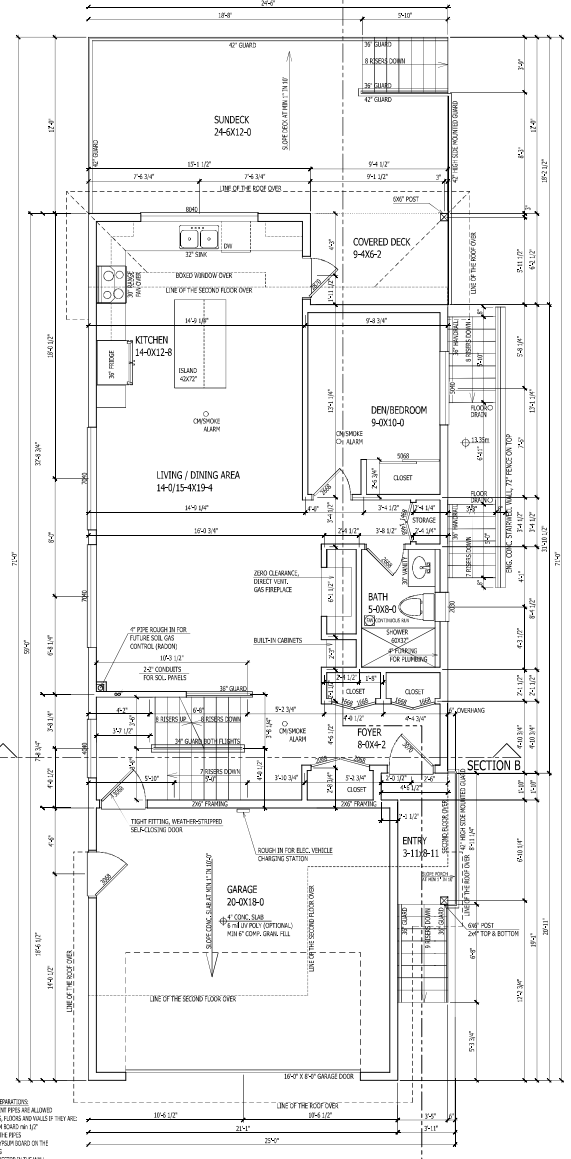
General:
This plan shows the location of visible features only, and does not indicate buried services that may exist on or around the subject site.
Features shown without dimensions should be confirmed with Terra Pacific Land Surveying Ltd.
Building location based on survey ties to visible exterior surfaces unless otherwise noted.
Trees species and dimensions should be confirmed by qualified arborist. shaded area is not an indication of drip line location unless specifically labeled.

Notes:
Storm and Sanitary Pipe Sizes shown are taken from the Actuals as shown on the City of Port Coquitlam OS map.

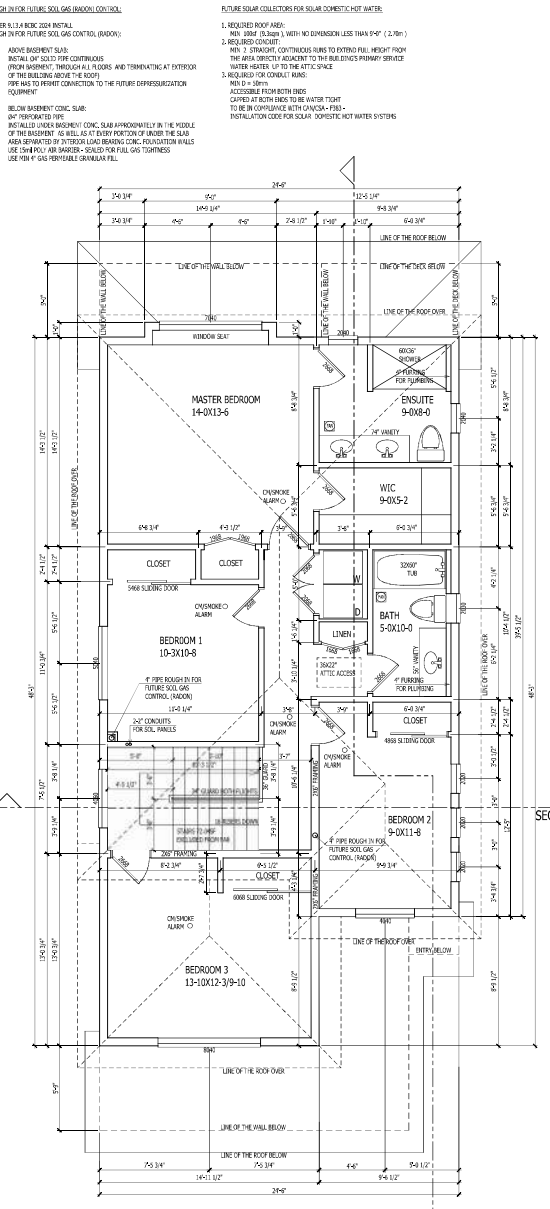
NOTES:
 1. REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, PILES, BEAMS, TRUSSES, SHEAR WALLS, ETC.).
 2. BUILDERS TO VERIFY ALL FINISH DIMENSIONS FOR THIS DRAWING. REFINISHES AND SIZES ARE WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.



BASEMENT FLOOR PLAN 991.23SF
 SECONDARY SUITE
 FLOOR AREA: 615.05SF
 SCALE 1/4" = 1'-0"



MAIN FLOOR PLAN 922.24SF
 ENTRY PORCH AREA: 37.05SF
 DECK & SUNDECK AREA: 330.33SF
 GARAGE AREA: 391.53SF
 SCALE 1/4" = 1'-0"



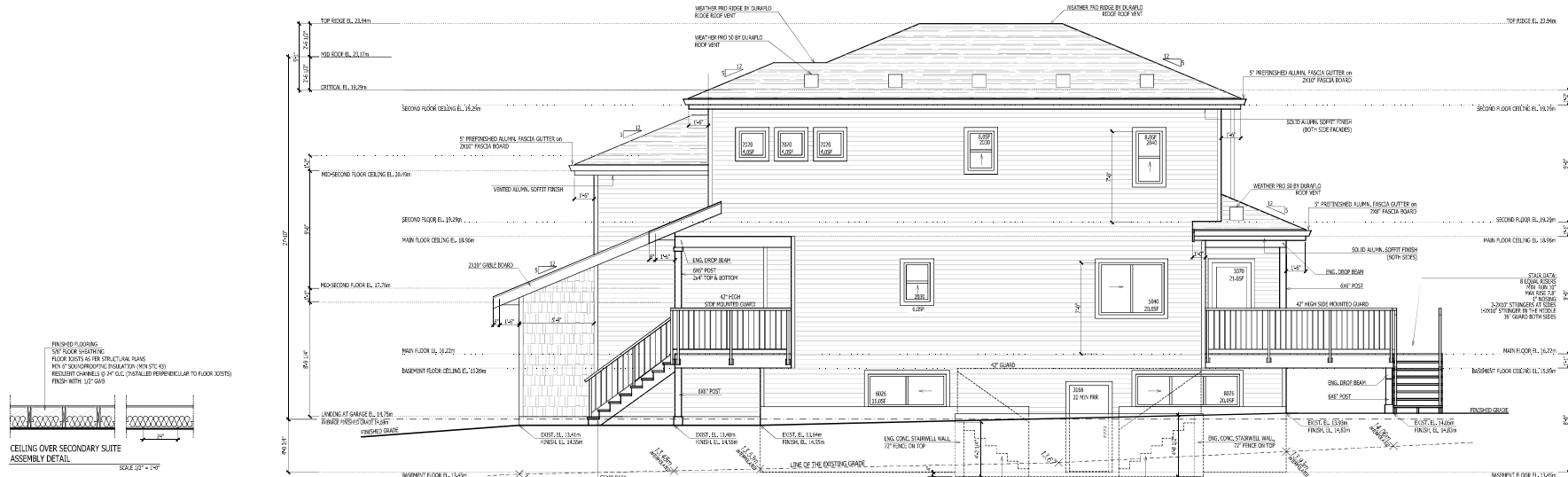
SECOND FLOOR PLAN 1098.20SF
 SECOND FLOOR GROSS 1026.16SF
 SCALE 1/4" = 1'-0"

ROUGH IN FOR FUTURE SOLAR GAS (OPTIONAL CONTROL)
 AS PER B.U.E. PREC. CODE INSTALL
 1. SOLAR INLET FOR SOLAR GAS CONTROL (OPTIONAL)
 2. SOLAR INLET FOR SOLAR GAS CONTROL (OPTIONAL)
 3. SOLAR INLET FOR SOLAR GAS CONTROL (OPTIONAL)
 4. SOLAR INLET FOR SOLAR GAS CONTROL (OPTIONAL)
 5. SOLAR INLET FOR SOLAR GAS CONTROL (OPTIONAL)

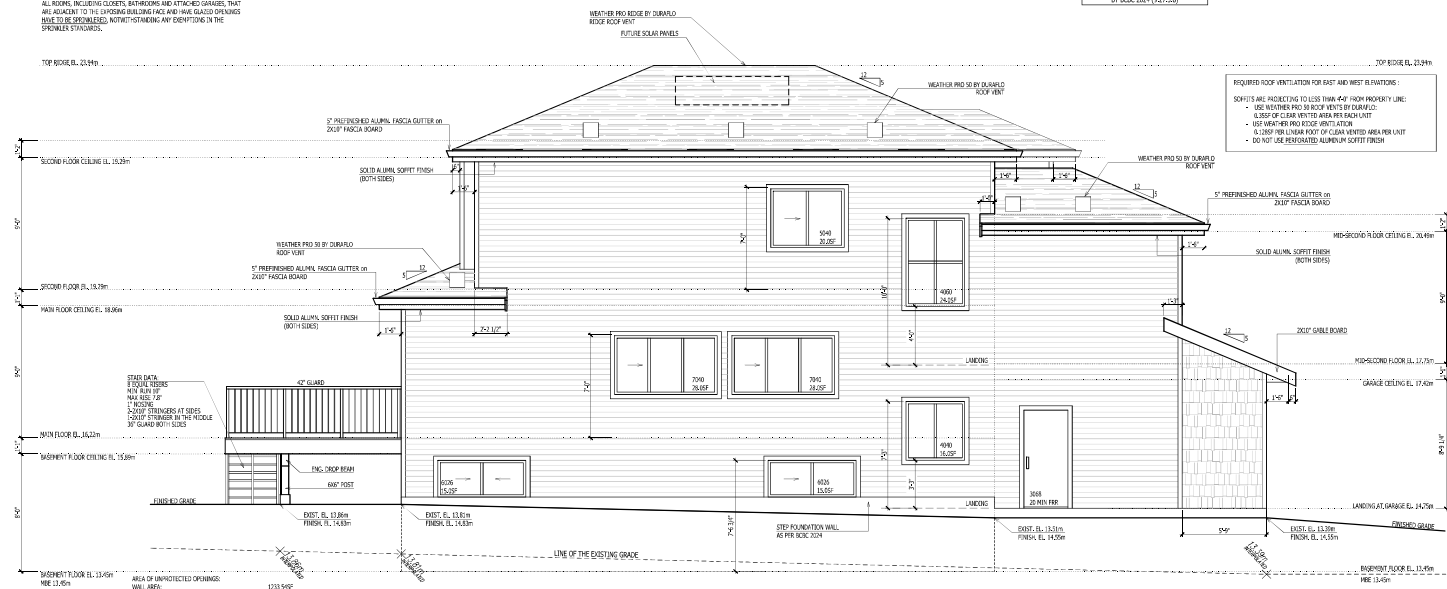
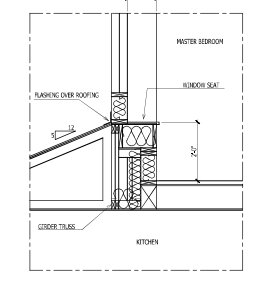
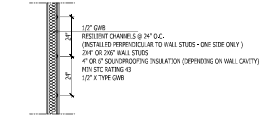
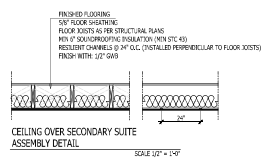
FUTURE SOLAR COLLECTORS FOR SOLAR DOMESTIC HOT WATER
 1. REQUIRED ROOF AREA: 1000 SQ. FT. (WITH NO EXPANSION LESS THAN 1000 SQ. FT.)
 2. REQUIRED CONDUIT: 1/2" DIA. (WITH NO EXPANSION LESS THAN 1000 SQ. FT.)
 3. REQUIRED CONTINUOUS TRIM TO EXTEND PIPING HEIGHT FROM THE AREA DIRECTLY ADJACENT TO THE BUILDING'S PRIMARY SERVICE WATER METER UP TO THE ATIC SPACE
 4. REQUIRED FOR CONDUIT RINGS: 1/2" DIA. (WITH NO EXPANSION LESS THAN 1000 SQ. FT.)
 5. ACCESSIBLE FROM BOTH INDOOR AND OUTDOOR AREAS TO BE IN COMPLIANCE WITH CAN/CSA-F223-10 INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS

CR
 commercial - residential
 design & drafting
 201-2389 WELCHER AVENUE
 PORT COQUITLAM, BC V3C 1X5
 778 899 0091

PLANS:
 ISSUED FOR: DP/PP: FEBRUARY 2024
 PROJECT DESCRIPTION:
 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE
 PROJECT ADDRESS:
 2472 CHILCOTT AVENUE
 PORT COQUITLAM, BC
 LOT 2
 DESIGNED:
 NATASHA DIXON, M. Arch.
 DRAWN:
 MARDIA CARAN, M. Arch.
 DATE:
 FEBRUARY 2024
 SCALE:
 AS NOTED ON PLANS
 SHEET TITLE:
 BASEMENT FLOOR PLAN
 MAIN FLOOR PLAN
 SECOND FLOOR PLAN
 SHEET
 OF 7 SHEETS



PROPOSED WEST (RIGHT SIDE) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (9.27.3.5)
SCALE: 1/4" = 1'-0"



PROPOSED EAST (LEFT SIDE) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (9.27.3.5)
SCALE: 1/4" = 1'-0"

REQUIRED ROOF VENTILATION FOR EAST AND WEST ELEVATIONS:
SOFFITS ARE PROJECTING TO LESS THAN 4\"/>

AREA OF UNPROTECTED OPENINGS:
WALL AREA: 103.50 SF
LIMITING DISTANCE: 4\"/>

AREA OF UNPROTECTED OPENINGS:
WALL AREA: 103.50 SF
LIMITING DISTANCE: 4\"/>

PLANS:
ISSUED FOR: DP/FP FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED:
NATASHA DIXONIC, M. Arch.

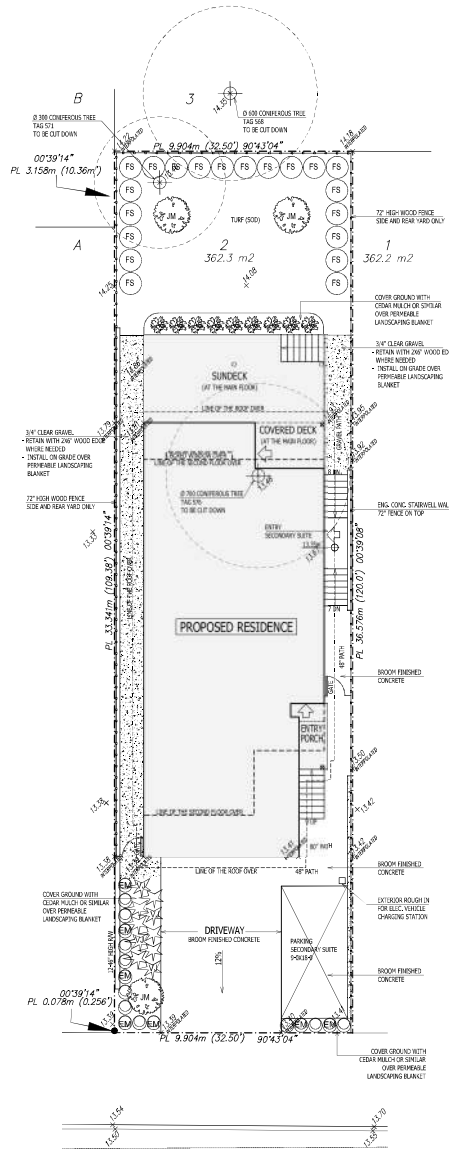
DRAWN:
MARDIA CARAN, M.Arch.

DATE:
FEBRUARY 2024

SCALE:
AS NOTED ON PLANS

SHEET TITLE:
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION
DETAILS

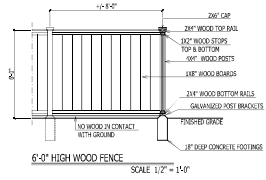
SHEET:
A-4
OF 7 SHEETS



LANDSCAPING PLAN
SCALE 1/8" = 1'-0"



PROJECT DATA:
LEGAL DESCRIPTION:
LOT 2
PID:
CIVIC ADDRESS:
CHILCOTT AVENUE
PORT COQUITLAM, BC
ZONING: RS-4
NOT IN FLOOD PLANE
LOT AREA: 362.2m² (899.89SF)



PLANT LIST

COMMON NAME	BOTANICAL NAME	SIZE	QTY
EMERALD CEDAR	THUJA OCCIDENTALIS	7 GAL POT	17
LUTCHMENS MAPLE (GROUND COVER)	L. JAPONICA 'TAKINOLA'	#3 POT	10
AUTUMN GARDEN	FICUS ADAMA	#3 POT	9
WEIBING FICUS	FICUS THUNBERGII	#3 POT	20
JAPANESE MAPLE	ACER PALMATUM	6cm CALIBER	3

- LEGEND:
- PERMEABLE MATERIAL (TOP SOIL)
 - PERMEABLE MATERIAL GRAVEL
 - IMPERMEABLE MATERIAL BUILDINGS OR BROOM FINISHED CONCRETE
 - TREES TO BE RETAINED
 - TREES TO BE CUT DOWN
 - PROTECTIVE BARRIER: USE PLASTIC DOWN FENCING SECURED TO WOOD POSTS MAXIMUM 4'-0"

NOTES:
- DO NOT STORE ANY BUILDING MATERIALS WITHIN THE INNER AREA OF PROTECTIVE FENCE
- DO NOT ALLOW ANY PEDESTRIAN OR VEHICULAR TRAFFIC WITHIN INNER AREA OF PROTECTIVE FENCE
- WRAP EXPOSED ROOTS WITH ROOT CURTAIN (FIBRE FISH OR SIMILAR WITH EMBURY) AND SUPPORT BY POSTS
- KEEP POSTS MOIST BY WATERING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD.
- REMOVE ROOT CURTAIN BEFORE BACKFILLING
- USE TUNNELLING (NO TRENCHING) WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES

CR
commercial - residential
design & drafting

201-2388 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS
ISSUED FOR: BP FEBRUARY 2024

PROJECT DESCRIPTION
SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE
AND SECONDARY SUITE

PROJECT ADDRESS
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED
NATASHA DOKIC, M. Arch.

DRAWN
MARDIA CARAN, M.Arch.

DATE
FEBRUARY 2024

SCALE
AS NOTED ON PLANS

SHEET TITLE
LANDSCAPE PLAN

SHEET
OF 7 SHEETS
A-6

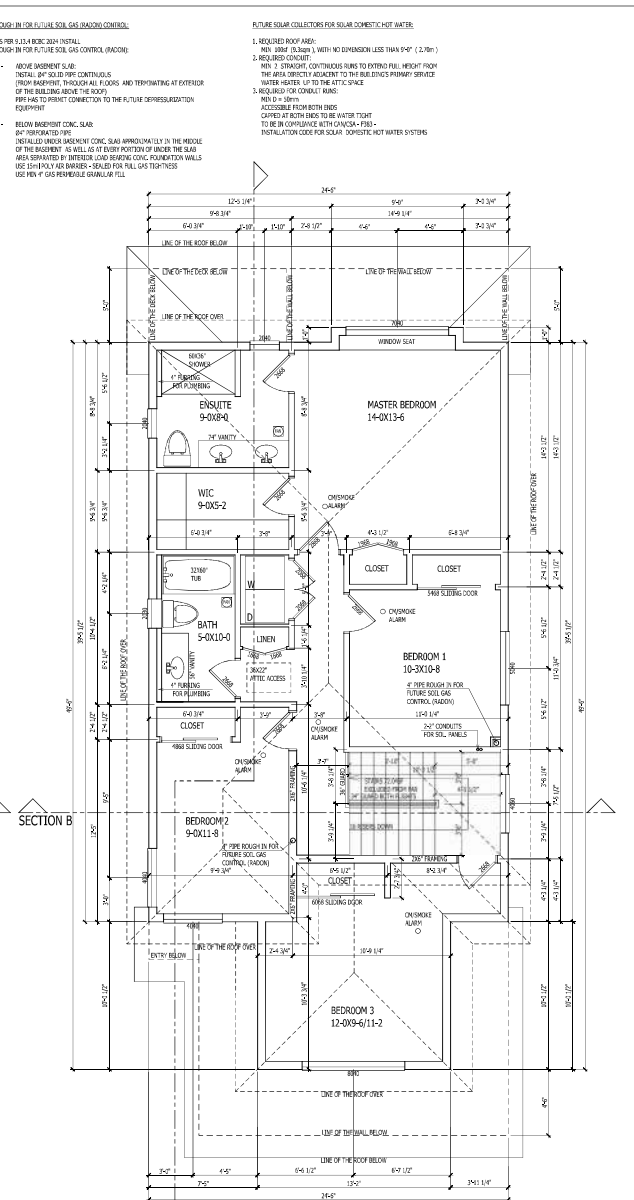
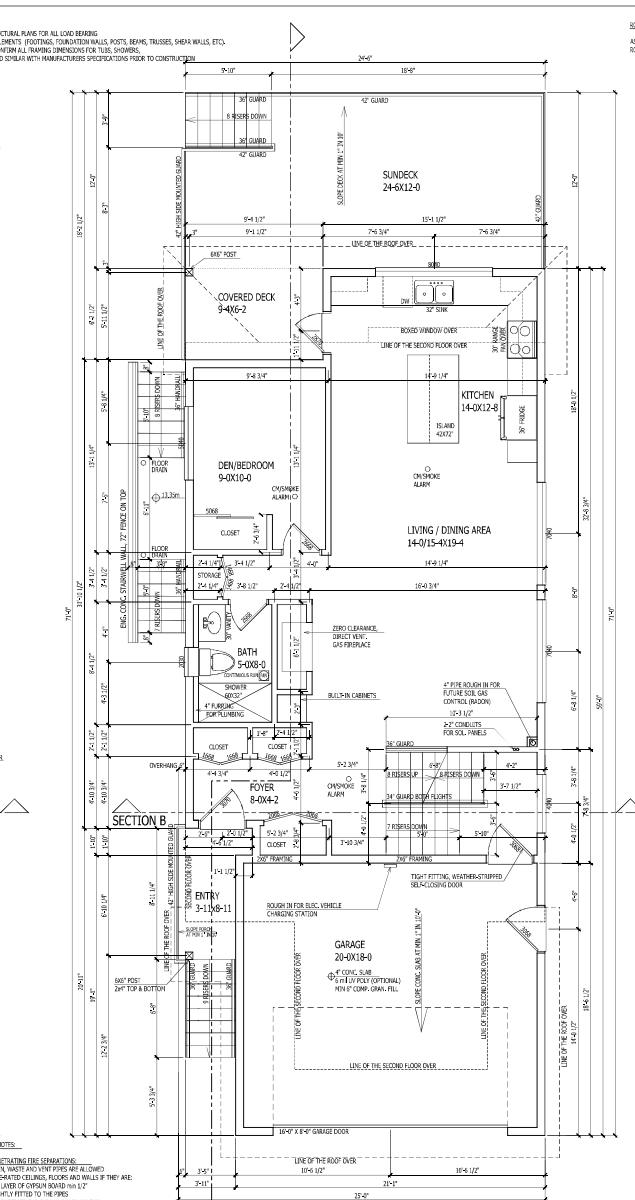
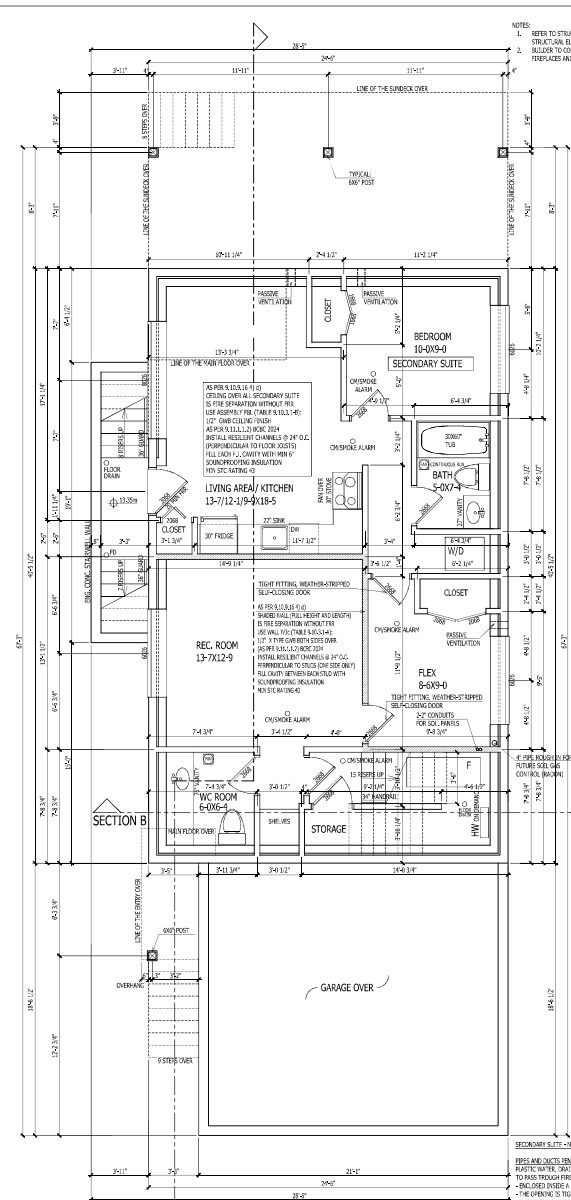
GENERAL NOTES:

- THESE COUPURES ARE THE EXCLUSIVE PROPERTY OF CH2M HILL AND DRAFTING AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF THE SAME.
- THESE DRAWINGS HAVE BEEN PREPARED TO COMPLY TO CURRENT RESIDENTIAL REQUIREMENTS OF THE LOCAL BUILDING CODE AND THE BC BUILDING CODE EXCEPT AS NOTED.
- THE BUILDING IS DESIGNED FOR BUILDING CLASSIFICATION CONFORMS TO LOCAL, PROVINCIAL, AND NATIONAL BUILDING CODES AND REGULATIONS.
- THE BUILDING SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND COMPONENTS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND ACCEPTED METHODS OF GOOD BUILDING PRACTICE.
- ENGINEERS SHALL ALWAYS HAVE PRECEDENCE OVER SIZE, NOT SCALE DRAWINGS.
- ON DESIGN & DRAFTING HAS MADE EVERY EFFORT TO INSURE ACCURACY AND COMPLETENESS IN THESE PLANS. HOWEVER, IT IS THE RESPONSIBILITY OF THE BUILDERS TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY UPON COMMENCING OUR RELATIONSHIP.
- USE SCHEMATIC & TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM A REGISTERED BC LAND SURVEYOR ENGINEER. WE RELY ON THIS INFORMATION. WE ARE NOT RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THE USE OF THE SURVEY PLAN. IT IS THE BUILDERS RESPONSIBILITY TO INSURE THAT SITE DATA IS CORRECT.
- ALL DIMENSIONS SHOWN ON THE SITE PLAN AND LOCATION OF ANY EXISTING OR PROPOSED OF WORK ARE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.
- GRADE TO MAINTAIN A MINIMUM OF TWO PERCENT AWAY FROM THE STRUCTURE FOR SURFACE WATER RUNOFF. THE BUILDERS IS RESPONSIBLE FOR REQUIRED GRADES AND TO INSURE THAT ELEVATIONS SHOWN ON THE SITE PLAN ARE ACCURATE BEFORE CONSTRUCTION BEGINS. THIS IS ESPECIALLY IMPORTANT TO INSURE THAT EXISTING OVERHEAD WATER LINES ARE PROTECTED.
- ALL RETAINING WALLS THAT ARE REQUIRED ARE TO BE BUILT ACCORDING TO THE LOCAL BUILDING CODE. GOOD BUILDING PRACTICE OF STRUCTURAL ENGINEERS' PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.
- ALL STRUCTURAL LOAD-BEARING ELEMENTS TO BE BUILT PER LOCAL BUILDING CODE. GOOD BUILDING PRACTICE AND STRUCTURAL PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.

- NOTES:**
- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, TRUSSES, SHEAR WALLS, ETC.)
 - BUILDERS TO VERIFY ALL FRAMING DIMENSIONS FOR TRUSSES, BRACINGS, FRISQUES AND SIMILAR WITH MANUFACTURERS SPECIFICATIONS PRIOR TO CONSTRUCTION.
 - ALL DRAWN WALLS INCLUDE SHEATHING, DRYWALL THICKNESS.
 - EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF THE SHEATHING.
 - INTERIOR DIMENSIONS ARE CENTER TO CENTER OF THE INTERIOR WALLS.
 - FLOOR ELEVATIONS ARE TO THE TOP OF THE FLOOR SHEATHING OR CON. SLAB.
 - CEILING ELEVATIONS ARE TO THE UNDERSIDE OF CEILING DRYWALL.
 - THICKNESS OF FLOOR ASSEMBLIES ARE BASED ON:
 - 1" SF FLOOR SHEATHING PROTECTED TO 1" FOR BIASER DRAFTING AND CALCULATIONS
 - ASSUMED 1 1/2" FLOOR JOISTS (SEE STRUCTURAL PLANS)
 - 1 1/2" GWB

- VENTILATION AND CLIMATE SYSTEM**
 AS PER B3.1.4 BC BUILDING CODE 2018
- WHERE THE PRINCIPAL VENTILATION SYSTEM IS DUCTED FLOOR-TO-ROOF HEATING SYSTEM, THE DUCTED FLOOR-TO-ROOF HEATING SYSTEM SHALL:
 - PROTECT SUPPLY AIR FROM THE DUCTING TO THE FLOOR TO:
 - 24 HOUR SECURITY AND
 - 24 HOUR SECURITY WITHOUT A BEDROOM.
 - DRAW SUPPLY AIR FROM AN OUTDOOR INTAKE THAT IS CONNECTED TO THE AIRSPACE OUTSIDE BY DUCTING THAT IS AT LEAST 200 MM (8 IN) IN DIAMETER, AND:
 - UNLESS A FLOW CONTROL DEVICE IS USED, THAT INTERSECTS THE RETURN AIR RETURN AS A POINT FROM WHICH THE DUCTING TO THE AIRSPACE CANNOT BE REACHED IN A BURNING.
 - BE LOCATED WITHIN THE ROOM OR IMMEDIATELY OUTSIDE OF AT LEAST 300 MM (12 IN) FROM THE EXTERIOR WALL OR WINDOW FRAME.
 - BE LOCATED OUTSIDE WITH AN EQUIVALENT DIAMETER OF AT LEAST 100 MM (4 IN) AND
 - HAVE A FINISHED AIR EXHAUSTION AREA OF NOT LESS THAN 100 MM².
 - WHERE THE PRINCIPAL VENTILATION SYSTEM IS NOT DUCTED TO SENTENCE 10.17 THE PRINCIPAL VENTILATION SYSTEM SHALL:
 - BE LOCATED WITHIN THE ROOM OR IMMEDIATELY OUTSIDE OF AT LEAST 300 MM (12 IN) FROM THE EXTERIOR WALL OR WINDOW FRAME.
 - HAVE A FINISHED AIR EXHAUSTION AREA OF NOT LESS THAN 100 MM².

- REQUIRED HEATING AND VENTILATION SYSTEMS**
 AS PER B3.1.4 BC BUILDING CODE 2018
- RESIDENTIAL BUILDINGS DESIGNED FOR USE IN THE WINTER MONTHS ON A CONTINUING BASIS SHALL BE EQUIPPED WITH THE HEATING FACILITIES CONFORMING TO THIS SECTION.
 - EXCEPT WHERE DETERMINATION ACCORDING TO ARTICLE 9.3.3.1.1 OR 9.3.3.1.2 OR 9.3.3.1.3 OR 9.3.3.1.4 OR 9.3.3.1.5 OR 9.3.3.1.6 OR 9.3.3.1.7 OR 9.3.3.1.8 OR 9.3.3.1.9 OR 9.3.3.1.10 OR 9.3.3.1.11 OR 9.3.3.1.12 OR 9.3.3.1.13 OR 9.3.3.1.14 OR 9.3.3.1.15 OR 9.3.3.1.16 OR 9.3.3.1.17 OR 9.3.3.1.18 OR 9.3.3.1.19 OR 9.3.3.1.20 OR 9.3.3.1.21 OR 9.3.3.1.22 OR 9.3.3.1.23 OR 9.3.3.1.24 OR 9.3.3.1.25 OR 9.3.3.1.26 OR 9.3.3.1.27 OR 9.3.3.1.28 OR 9.3.3.1.29 OR 9.3.3.1.30 OR 9.3.3.1.31 OR 9.3.3.1.32 OR 9.3.3.1.33 OR 9.3.3.1.34 OR 9.3.3.1.35 OR 9.3.3.1.36 OR 9.3.3.1.37 OR 9.3.3.1.38 OR 9.3.3.1.39 OR 9.3.3.1.40 OR 9.3.3.1.41 OR 9.3.3.1.42 OR 9.3.3.1.43 OR 9.3.3.1.44 OR 9.3.3.1.45 OR 9.3.3.1.46 OR 9.3.3.1.47 OR 9.3.3.1.48 OR 9.3.3.1.49 OR 9.3.3.1.50 OR 9.3.3.1.51 OR 9.3.3.1.52 OR 9.3.3.1.53 OR 9.3.3.1.54 OR 9.3.3.1.55 OR 9.3.3.1.56 OR 9.3.3.1.57 OR 9.3.3.1.58 OR 9.3.3.1.59 OR 9.3.3.1.60 OR 9.3.3.1.61 OR 9.3.3.1.62 OR 9.3.3.1.63 OR 9.3.3.1.64 OR 9.3.3.1.65 OR 9.3.3.1.66 OR 9.3.3.1.67 OR 9.3.3.1.68 OR 9.3.3.1.69 OR 9.3.3.1.70 OR 9.3.3.1.71 OR 9.3.3.1.72 OR 9.3.3.1.73 OR 9.3.3.1.74 OR 9.3.3.1.75 OR 9.3.3.1.76 OR 9.3.3.1.77 OR 9.3.3.1.78 OR 9.3.3.1.79 OR 9.3.3.1.80 OR 9.3.3.1.81 OR 9.3.3.1.82 OR 9.3.3.1.83 OR 9.3.3.1.84 OR 9.3.3.1.85 OR 9.3.3.1.86 OR 9.3.3.1.87 OR 9.3.3.1.88 OR 9.3.3.1.89 OR 9.3.3.1.90 OR 9.3.3.1.91 OR 9.3.3.1.92 OR 9.3.3.1.93 OR 9.3.3.1.94 OR 9.3.3.1.95 OR 9.3.3.1.96 OR 9.3.3.1.97 OR 9.3.3.1.98 OR 9.3.3.1.99 OR 9.3.3.1.100 OR 9.3.3.1.101 OR 9.3.3.1.102 OR 9.3.3.1.103 OR 9.3.3.1.104 OR 9.3.3.1.105 OR 9.3.3.1.106 OR 9.3.3.1.107 OR 9.3.3.1.108 OR 9.3.3.1.109 OR 9.3.3.1.110 OR 9.3.3.1.111 OR 9.3.3.1.112 OR 9.3.3.1.113 OR 9.3.3.1.114 OR 9.3.3.1.115 OR 9.3.3.1.116 OR 9.3.3.1.117 OR 9.3.3.1.118 OR 9.3.3.1.119 OR 9.3.3.1.120 OR 9.3.3.1.121 OR 9.3.3.1.122 OR 9.3.3.1.123 OR 9.3.3.1.124 OR 9.3.3.1.125 OR 9.3.3.1.126 OR 9.3.3.1.127 OR 9.3.3.1.128 OR 9.3.3.1.129 OR 9.3.3.1.130 OR 9.3.3.1.131 OR 9.3.3.1.132 OR 9.3.3.1.133 OR 9.3.3.1.134 OR 9.3.3.1.135 OR 9.3.3.1.136 OR 9.3.3.1.137 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9.3.3.1.270 OR 9.3.3.1.271 OR 9.3.3.1.272 OR 9.3.3.1.273 OR 9.3.3.1.274 OR 9.3.3.1.275 OR 9.3.3.1.276 OR 9.3.3.1.277 OR 9.3.3.1.278 OR 9.3.3.1.279 OR 9.3.3.1.280 OR 9.3.3.1.281 OR 9.3.3.1.282 OR 9.3.3.1.283 OR 9.3.3.1.284 OR 9.3.3.1.285 OR 9.3.3.1.286 OR 9.3.3.1.287 OR 9.3.3.1.288 OR 9.3.3.1.289 OR 9.3.3.1.290 OR 9.3.3.1.291 OR 9.3.3.1.292 OR 9.3.3.1.293 OR 9.3.3.1.294 OR 9.3.3.1.295 OR 9.3.3.1.296 OR 9.3.3.1.297 OR 9.3.3.1.298 OR 9.3.3.1.299 OR 9.3.3.1.300 OR 9.3.3.1.301 OR 9.3.3.1.302 OR 9.3.3.1.303 OR 9.3.3.1.304 OR 9.3.3.1.305 OR 9.3.3.1.306 OR 9.3.3.1.307 OR 9.3.3.1.308 OR 9.3.3.1.309 OR 9.3.3.1.310 OR 9.3.3.1.311 OR 9.3.3.1.312 OR 9.3.3.1.313 OR 9.3.3.1.314 OR 9.3.3.1.315 OR 9.3.3.1.316 OR 9.3.3.1.317 OR 9.3.3.1.318 OR 9.3.3.1.319 OR 9.3.3.1.320 OR 9.3.3.1.321 OR 9.3.3.1.322 OR 9.3.3.1.323 OR 9.3.3.1.324 OR 9.3.3.1.325 OR 9.3.3.1.326 OR 9.3.3.1.327 OR 9.3.3.1.328 OR 9.3.3.1.329 OR 9.3.3.1.330 OR 9.3.3.1.331 OR 9.3.3.1.332 OR 9.3.3.1.333 OR 9.3.3.1.334 OR 9.3.3.1.335 OR 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9.3.3.1.402 OR 9.3.3.1.403 OR 9.3.3.1.404 OR 9.3.3.1.405 OR 9.3.3.1.406 OR 9.3.3.1.407 OR 9.3.3.1.408 OR 9.3.3.1.409 OR 9.3.3.1.410 OR 9.3.3.1.411 OR 9.3.3.1.412 OR 9.3.3.1.413 OR 9.3.3.1.414 OR 9.3.3.1.415 OR 9.3.3.1.416 OR 9.3.3.1.417 OR 9.3.3.1.418 OR 9.3.3.1.419 OR 9.3.3.1.420 OR 9.3.3.1.421 OR 9.3.3.1.422 OR 9.3.3.1.423 OR 9.3.3.1.424 OR 9.3.3.1.425 OR 9.3.3.1.426 OR 9.3.3.1.427 OR 9.3.3.1.428 OR 9.3.3.1.429 OR 9.3.3.1.430 OR 9.3.3.1.431 OR 9.3.3.1.432 OR 9.3.3.1.433 OR 9.3.3.1.434 OR 9.3.3.1.435 OR 9.3.3.1.436 OR 9.3.3.1.437 OR 9.3.3.1.438 OR 9.3.3.1.439 OR 9.3.3.1.440 OR 9.3.3.1.441 OR 9.3.3.1.442 OR 9.3.3.1.443 OR 9.3.3.1.444 OR 9.3.3.1.445 OR 9.3.3.1.446 OR 9.3.3.1.447 OR 9.3.3.1.448 OR 9.3.3.1.449 OR 9.3.3.1.450 OR 9.3.3.1.451 OR 9.3.3.1.452 OR 9.3.3.1.453 OR 9.3.3.1.454 OR 9.3.3.1.455 OR 9.3.3.1.456 OR 9.3.3.1.457 OR 9.3.3.1.458 OR 9.3.3.1.459 OR 9.3.3.1.460 OR 9.3.3.1.461 OR 9.3.3.1.462 OR 9.3.3.1.463 OR 9.3.3.1.464 OR 9.3.3.1.465 OR 9.3.3.1.466 OR 9.3.3.1.467 OR 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9.3.3.1.600 OR 9.3.3.1.601 OR 9.3.3.1.602 OR 9.3.3.1.603 OR 9.3.3.1.604 OR 9.3.3.1.605 OR 9.3.3.1.606 OR 9.3.3.1.607 OR 9.3.3.1.608 OR 9.3.3.1.609 OR 9.3.3.1.610 OR 9.3.3.1.611 OR 9.3.3.1.612 OR 9.3.3.1.613 OR 9.3.3.1.614 OR 9.3.3.1.615 OR 9.3.3.1.616 OR 9.3.3.1.617 OR 9.3.3.1.618 OR 9.3.3.1.619 OR 9.3.3.1.620 OR 9.3.3.1.621 OR 9.3.3.1.622 OR 9.3.3.1.623 OR 9.3.3.1.624 OR 9.3.3.1.625 OR 9.3.3.1.626 OR 9.3.3.1.627 OR 9.3.3.1.628 OR 9.3.3.1.629 OR 9.3.3.1.630 OR 9.3.3.1.631 OR 9.3.3.1.632 OR 9.3.3.1.633 OR 9.3.3.1.634 OR 9.3.3.1.635 OR 9.3.3.1.636 OR 9.3.3.1.637 OR 9.3.3.1.638 OR 9.3.3.1.639 OR 9.3.3.1.640 OR 9.3.3.1.641 OR 9.3.3.1.642 OR 9.3.3.1.643 OR 9.3.3.1.644 OR 9.3.3.1.645 OR 9.3.3.1.646 OR 9.3.3.1.647 OR 9.3.3.1.648 OR 9.3.3.1.649 OR 9.3.3.1.650 OR 9.3.3.1.651 OR 9.3.3.1.652 OR 9.3.3.1.653 OR 9.3.3.1.654 OR 9.3.3.1.655 OR 9.3.3.1.656 OR 9.3.3.1.657 OR 9.3.3.1.658 OR 9.3.3.1.659 OR 9.3.3.1.660 OR 9.3.3.1.661 OR 9.3.3.1.662 OR 9.3.3.1.663 OR 9.3.3.1.664 OR 9.3.3.1.665 OR 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BASEMENT FLOOR PLAN 991.23SF
 SECONDARY SUITE
 FLOOR AREA: 615.05SF
 SCALE: 1/4" = 1'-0"

SECTION A

SECTION B

MAIN FLOOR PLAN 922.24SF
 ENTRY PORCH AREA: 37.05SF
 DECK & SUNDECK AREA: 330.33SF
 GARAGE AREA: 391.53SF
 SCALE: 1/4" = 1'-0"

SECTION A

SECTION B

SECOND FLOOR PLAN 1098.88SF
 SECOND FLOOR GROSS 1026.84SF
 SCALE: 1/4" = 1'-0"

SECTION A

SECTION B

SOAK-AWAY FOR FUTURE SOLAR COLLECTOR CONTROL:

- AS PER 2015 CAN/CSA B224 INSTALL
- ROOF OR IN THE FUTURE SOLAR COLLECTOR CONTROL (RACON)
- ABOVE BASEMENT SUB-IRRESTAL 2" SOLID PIPE CONTINUOUS FROM BASEMENT THROUGH ALL FLOORS AND TERMINATING AT EXTERIOR OF THE BUILDING ABOVE THE ROOF.
- PIPE HAS TO BE CONNECTED TO THE FUTURE SOLAR COLLECTOR EQUIPMENT
- BELOW BASEMENT CONC. SLAB 6" MINIMUM THICK
- INSTALL UNDER BASEMENT CONC. SLAB APPROXIMATELY IN THE MIDDLE OF THE BASEMENT. 10' MIN. SPACING OF BEYOND POSITION OF UNDER THE GARAGE AREA SEPARATED BY INTERIOR LOAD BEARING CONC. FOUNDATION WALLS USE 2" MIN. THICK REBAR - 6" DIA. FOR WALL, 4" DIA. FOR TIE BARS USE MIN. 4" GAS PERMEABLE GRANULAR FILL

FUTURE SOLAR COLLECTORS FOR SOLAR DOMESTIC HOT WATER:

- REQUIRED ROOF AREA: MIN. 2000 SQ. FT. WITH NO OVERHANG (LESS THAN 9" (2.3m))
- REQUIRED CONDUIT: MIN. 1" STAINLESS STEEL CONTINUOUS RUNS TO EXTEND FULL HEIGHT FROM THE AREA DIRECTLY ADJACENT TO THE BUILDING'S PRIMARY SERVICE WATER METER UP TO THE ATC COCK.
- REQUIRED FOR COND. RANS: MIN. 1" MIN.
- ACCESSIBLE FROM BOTH INDOOR AND OUTDOOR WATER TIGHT TO BE IN COMPLIANCE WITH CAN/CSA-F250-10 INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS

CR
 commercial - residential
 design & drafting

201-2389 WILLOW AVENUE
 FORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS:
 ISSUED FOR DP/FP FEBRUARY 2024

PROJECT DESCRIPTION:
 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
 2472 CHILCOTT AVENUE
 FORT COQUITLAM, BC
 LOT 1

DESIGNED BY:
 NATASHA DORIC, R. Arch.

DRAWN BY:
 MARDIA CARAN, M. Arch.

DATE:
 FEBRUARY 2024

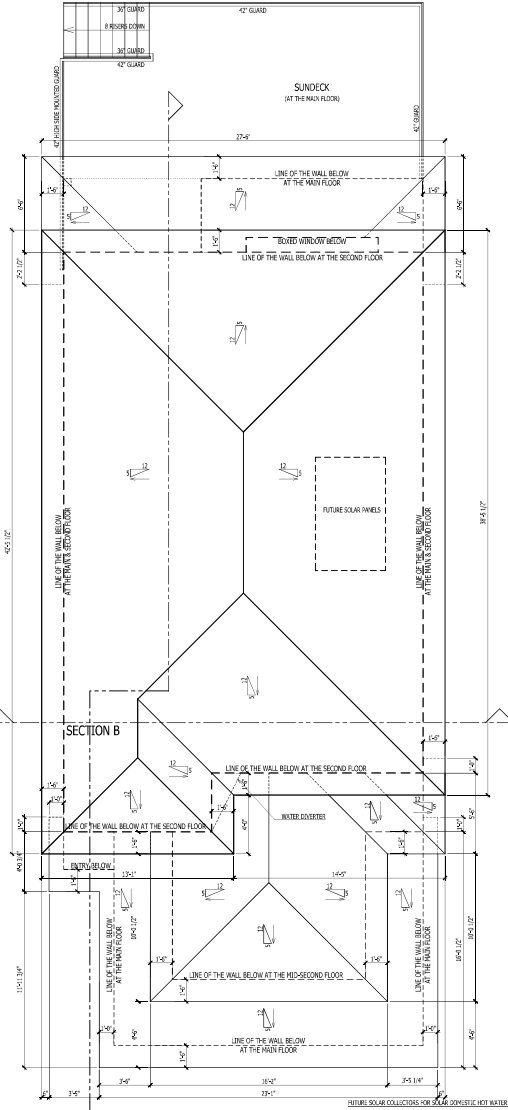
SCALE:
 AS NOTED ON PLANS

SHEET TITLE:
 BASEMENT FLOOR PLAN
 MAIN FLOOR PLAN

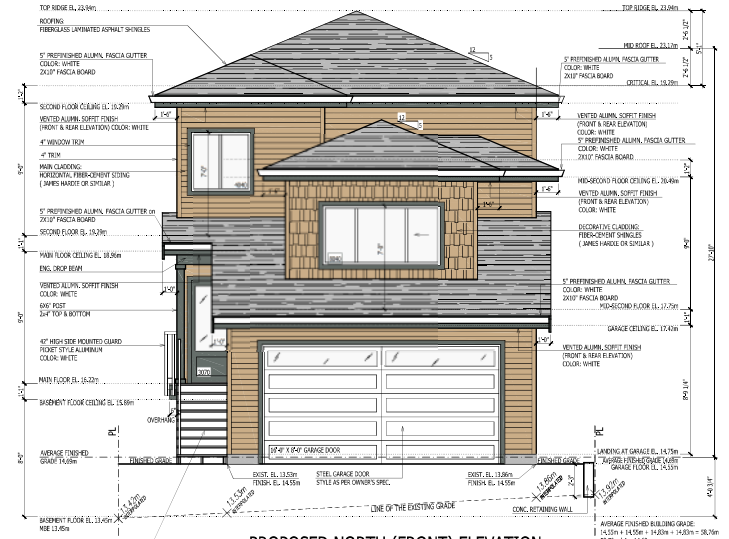
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OF 7 SHEETS

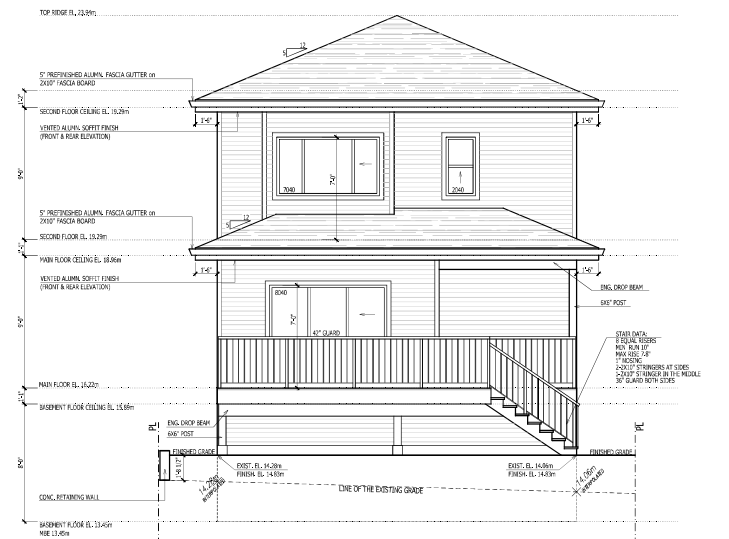
- NOTES:
- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, TRUSSES, SHEAR WALLS, ETC.)
 - BUILDOUT TO CONFORM WITH FRAMING CONVENTIONS FOR TUBS, SHOWERS, FIREPRECES AND SIMILAR WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.



- ROOF PLAN**
SCALE: 1/4" = 1'-0"
- MINIMUM SOLAR COLLECTION FOR SOLAR DOMESTIC HOT WATER:
- REQUIRED ROOF AREA:
MIN. SLOPE (PITCH) WITH NO OVERHANG LESS THAN 4° (1:2.0)
 - REQUIRED CONCRETE:
MIN. 2" STRONGFLEX CONTAINERS RING TO EXTEND FULL HEIGHT FROM THE AREA DIRECTLY ADJACENT TO THE BUILDING'S PRIMARY SERVICE WATER PIPING UP TO THE CEILING.
 - REQUIRED FOR CONDUIT RINGS:
MIN. = 3/8"
- ACCESSIBLE FROM BOTH SIDES
CAPABLE OF BEING TIGHT TO WATER TIGHT
TO BE IN COMPLIANCE WITH CANADA - FRO -
INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS



PROPOSED NORTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"

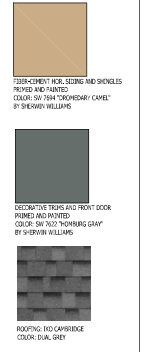


PROPOSED SOUTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

CR
commercial - residential
design & drafting

201-2389 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091



PLANS:
ISSUED FOR: DP/FP: FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 1

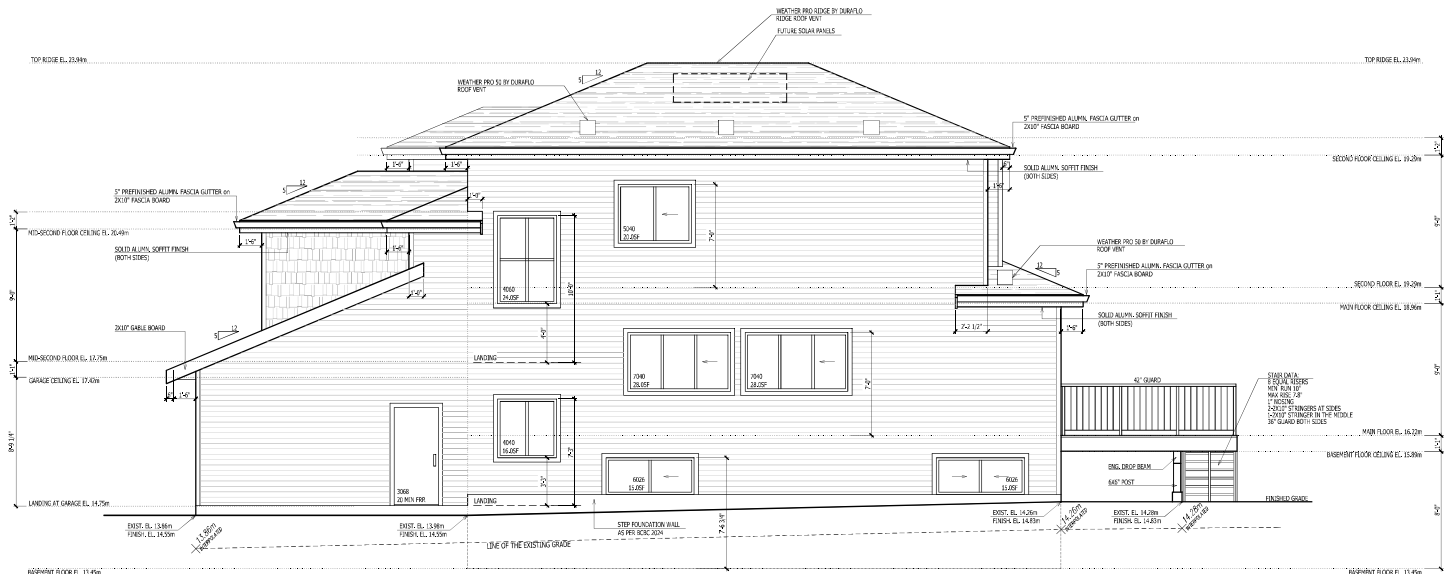
DESIGNED BY:
NATASHA DORIC, M. Arch.

DRAWN BY:
MARTIA CARAN, MArch.

DATE:
FEBRUARY 2024

SCALE:
AS NOTED ON PLANS

SHEET TITLE:
ROOF PLAN
FRONT ELEVATION
REAR SIDE ELEVATION



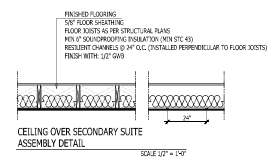
PROPOSED WEST (RIGHT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: INSTALL FLASHING AS REQUIRED BY BCSC 2024 (8.27.3.8)

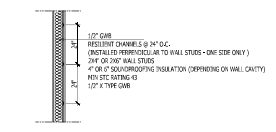
REQUIRED ROOF VENTILATION FOR SIZES AND SPACING OF VENTILATORS:
SOFFITS ARE INDICATED TO LESS THAN 4'-0" FROM PROPERTY LINE:
- USE WEATHER PRO FOR ROOF VENTS BY DURABLO
- GLOSS UP EXTERIOR SURFACES PER S40-D-01
- USE WEATHER PRO RIDGE VENTILATION
- GLOSS UP EXTERIOR SURFACES PER S40-D-01
- DO NOT USE EXPOSED ALUMINUM SOFFIT FINISH

AREA OF UNPROTECTED OPENINGS:
WALL AREA 1133.54 SF
LIMITING DISTANCE 4'-0"
ALLOWED IN 2 (SPRINKLERED BUILDING) 1133.54 SF
PROPOSED 1133.54 SF

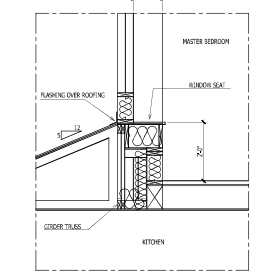
ALL ROOMS, INCLUDING CLOSETS, BATHROOMS AND ATTACHED GARAGES, THAT ARE ADJACENT TO THE EXTERIOR BUILDING FACE AND HAVE GLAZED OPENINGS MUST BE SPRINKLERED, WITH SPRINKLING AND EQUIPPING IN THE SPRINKLER STANDARDS.



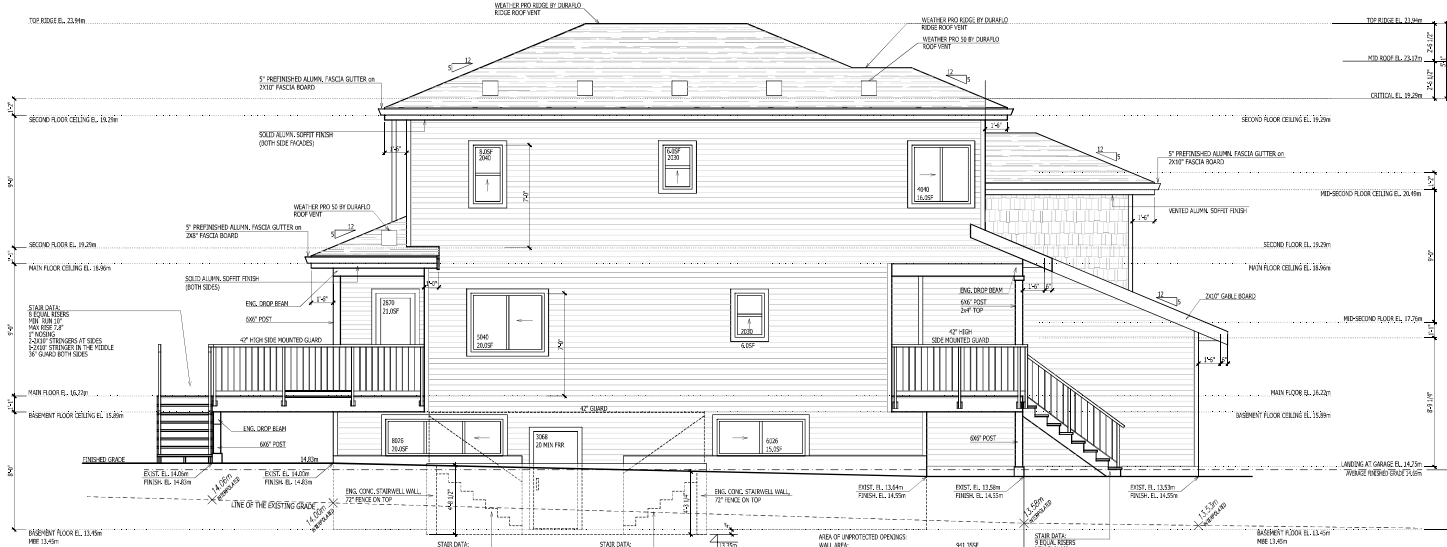
CEILING OVER SECONDARY SUITE ASSEMBLY DETAIL
SCALE 1/2" = 1'-0"



WALL BETWEEN PRIMARY AND SECONDARY SUITE ASSEMBLY DETAIL
SCALE 1/2" = 1'-0"



WINDOW SEAT DETAIL
SCALE 1/2" = 1'-0"



PROPOSED EAST (LEFT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: INSTALL FLASHING AS REQUIRED BY BCSC 2024 (8.27.3.8)

REQUIRED ROOF VENTILATION FOR SIZES AND SPACING OF VENTILATORS:
SOFFITS ARE INDICATED TO LESS THAN 4'-0" FROM PROPERTY LINE:
- USE WEATHER PRO FOR ROOF VENTS BY DURABLO
- GLOSS UP EXTERIOR SURFACES PER S40-D-01
- USE WEATHER PRO RIDGE VENTILATION
- GLOSS UP EXTERIOR SURFACES PER S40-D-01
- DO NOT USE EXPOSED ALUMINUM SOFFIT FINISH

AREA OF UNPROTECTED OPENINGS:
WALL AREA 1133.54 SF
LIMITING DISTANCE 4'-0"
ALLOWED IN 2 (SPRINKLERED BUILDING) 1133.54 SF
PROPOSED 1133.54 SF

ALL ROOMS, INCLUDING CLOSETS, BATHROOMS AND ATTACHED GARAGES, THAT ARE ADJACENT TO THE EXTERIOR BUILDING FACE AND HAVE GLAZED OPENINGS MUST BE SPRINKLERED, WITH SPRINKLING AND EQUIPPING IN THE SPRINKLER STANDARDS.

PLANS:
ISSUED FOR DP/ BP: FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 1

DESIGNED BY:
NATASHA DOKIC, M. Arch.

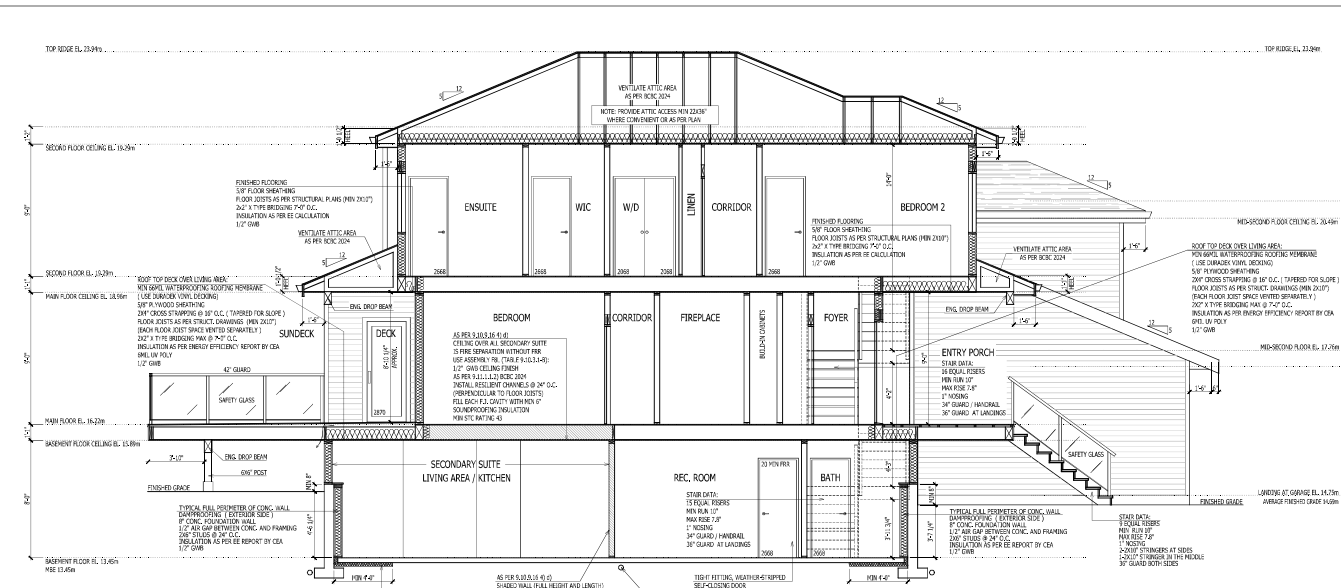
DRAWN BY:
MARIA CARAN, M. Arch.

DATE:
FEBRUARY 2024

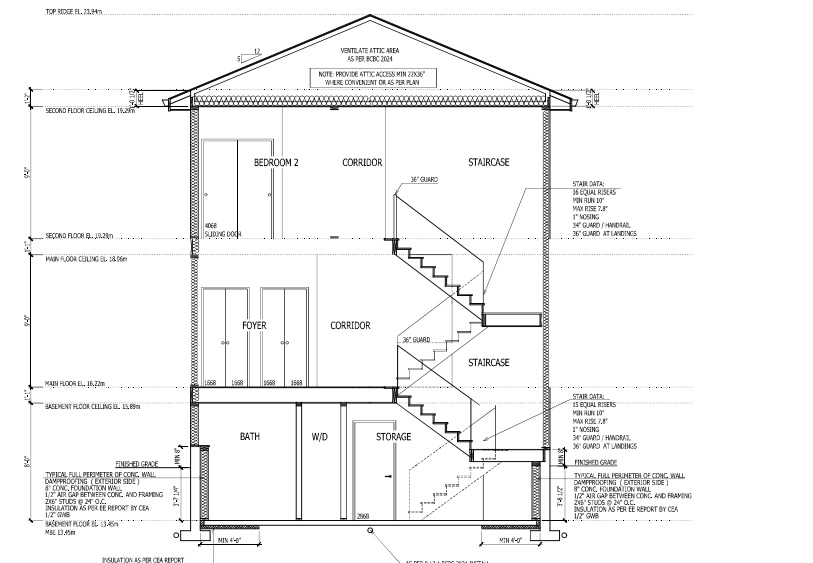
SCALE:
AS NOTED ON PLANS

SHEET TITLE:
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION
DETAILS

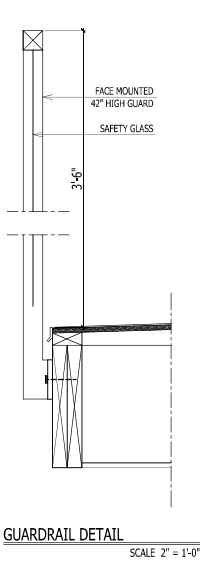
SHEET NO.:
A-4
OF 7 SHEETS



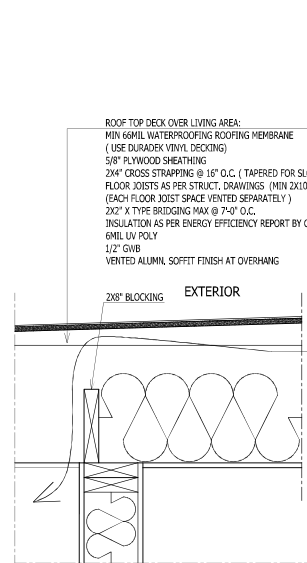
SECTION A-A
SCALE: 1/4" = 1'-0"



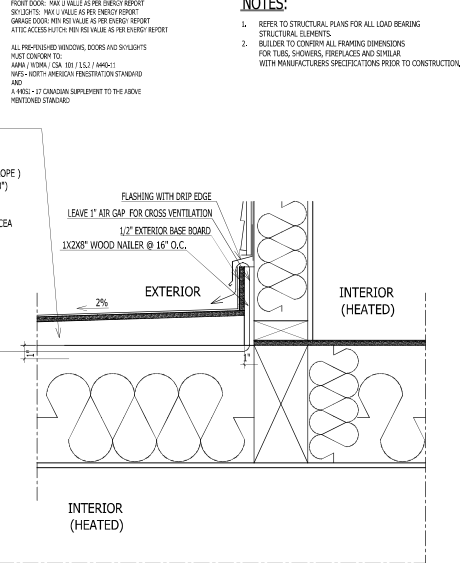
SECTION B-B
SCALE: 1/4" = 1'-0"



GUARDRAIL DETAIL
SCALE: 2" = 1'-0"



DECK CONNECTION DETAIL
SCALE: 2" = 1'-0"



ROOF TOP DECK - WALL CONNECTION DETAIL
SCALE: 2" = 1'-0"

SPECIFICATIONS:

- ROOF:**
FIBERGLASS LAMINATED ASPHALT SHINGLES (W/S)
RAISING MEMBRANE (UNDERLAY) MEMBRANE (W/S)
1/2" ROOF SHEATHING
ENG. TRUSSES MAX @ 24" O.C.
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (TB)
6MIL LV POLY (AS REQ)
5/8" GWB
- EAVES:**
5" RFTFL ALUMN. GUTTER ON
2X12 RAFTER BOARD
- ROOF AND ATTIC VENTILATION:**
ATTIC VENTILATION
MIN 1.5% OF INSULATED CEILING AREA
AS PER S1.10 - S1.02 S204
SOFFITS PROJECTING 6" OR MORE THAN 4" FROM PROPERTY LINE.
USE COMBINATION OF EDGE VENTS AND VENTED ALUMN. SOFFIT FINISH
SOFFITS PROJECTING LESS THAN 4" FROM PROPERTY LINE:
USE COMBINATION OF RIDGE VENTS AND DURABLE ROOFING VENTS
SOFFIT TO BE WITH NO SPINDLES AND FINISHED WITH UNVENTED ALUMINUM AS PER S1.03.15, S1 - S1.02 S204
- INSULATION:**
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA
REFER TO DOCUMENTATION PROVIDED BY CERTIFIED ENERGY ADVISOR
- HOT WATER EQUIPMENT:**
DOMESTIC HOT WATER SYSTEM AND PIPING TO BE INSTALLED
AS PER ENERGY EFFICIENCY REPORT FROM PANE S.15 IN
BC BUILDING CODE 2024 EDITION
- EXTERIOR WALLS:**
HORIZONTAL FIBRE-CEMENT SIDING OR FIBRE-CEMENT SHINGLES (W/S)
RASH SCREEN VERTICAL STRAPPING
1/2" F. FINISHED @ 1/2" O.C. (1/4" HEIGHT OF THE WALL, top screen at the bottom)
2" MIN. BUILDING PAPER (COULDS APPLIED) OR
VARIOUS PERMISSIBLE BREAKING MEMBRANE (TYVEK OR SIMILAR) (W/S)
1/2" WALL SHEATHING
2x6 STUDS @ 24" O.C.
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (TB)
6MIL LV POLY (AS REQ)
1/2" GWB
- INTERIOR WALLS:**
2x4 STUDS @ 16" O.C.
1/2" GWB BOTH SIDES
SOUNDPROOF INSULATION (named with only)
- EXTERIOR OPENINGS:**
ALL WINDOW
VINYL DOUBLE GLAZED (80% as per 18)
FACTORY PREFINISHED COULDS, WAS IN VALUE AS PER ENERGY REPORT
FRONT DOOR: MAX 1/4" GLEAS AS PER ENERGY REPORT
SCREENS: MAX 1/4" GLEAS AS PER ENERGY REPORT
GARAGE DOOR: MIN 80% IN VALUE AS PER ENERGY REPORT
ATTIC ACCESS: MAX 1/4" GLEAS AS PER ENERGY REPORT
ALL PREFINISHED WINDOWS, DOORS AND SLOTTED
NOT GOVERN TO
AMM SYSTEM, CAN 110.1 LAMOST
WAS - NORTH AMERICAN PENETRATION STANDARD
AND
A MIN. 17 CANADIAN SUPPLEMENT TO THE ABOVE
MENTIONED STANDARD

FLOOR:

- FINISHED FLOORING
5/8" FLOOR SHEATHING
FLOOR JOISTS AS PER STRUCTURAL PLANS (MIN 2X12)
2x2 X-TYPE BRIDGING MAX @ 7'-0" O.C.
1/2" GWB
- STAIRS:**
RUN: MIN 10"
RISE: MAX 7"
FINISH: 1"
3" HIGH GUARD / HANDRAIL AT RISES
30" HIGH GUARD AT STAIRS LANDINGS
4" HIGH GUARD EXTERIOR LANDINGS
6" MIN HEADROOM OVER LANDINGS
6" MIN HEADROOM OVER LANDINGS

ROOF AND ATTIC VENTILATION:

- INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA
REFER TO DOCUMENTATION PROVIDED BY CERTIFIED ENERGY ADVISOR

INSULATION:

- INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA
REFER TO DOCUMENTATION PROVIDED BY CERTIFIED ENERGY ADVISOR

HOT WATER EQUIPMENT:

- DOMESTIC HOT WATER SYSTEM AND PIPING TO BE INSTALLED
AS PER ENERGY EFFICIENCY REPORT FROM PANE S.15 IN
BC BUILDING CODE 2024 EDITION

EXTERIOR WALLS:

- HORIZONTAL FIBRE-CEMENT SIDING OR FIBRE-CEMENT SHINGLES (W/S)
RASH SCREEN VERTICAL STRAPPING
1/2" F. FINISHED @ 1/2" O.C. (1/4" HEIGHT OF THE WALL, top screen at the bottom)
2" MIN. BUILDING PAPER (COULDS APPLIED) OR
VARIOUS PERMISSIBLE BREAKING MEMBRANE (TYVEK OR SIMILAR) (W/S)
1/2" WALL SHEATHING
2x6 STUDS @ 24" O.C.
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (TB)
6MIL LV POLY (AS REQ)
1/2" GWB

INTERIOR WALLS:

- 2x4 STUDS @ 16" O.C.
1/2" GWB BOTH SIDES
SOUNDPROOF INSULATION (named with only)

EXTERIOR OPENINGS:

- ALL WINDOW
VINYL DOUBLE GLAZED (80% as per 18)
FACTORY PREFINISHED COULDS, WAS IN VALUE AS PER ENERGY REPORT
FRONT DOOR: MAX 1/4" GLEAS AS PER ENERGY REPORT
SCREENS: MAX 1/4" GLEAS AS PER ENERGY REPORT
GARAGE DOOR: MIN 80% IN VALUE AS PER ENERGY REPORT
ATTIC ACCESS: MAX 1/4" GLEAS AS PER ENERGY REPORT
ALL PREFINISHED WINDOWS, DOORS AND SLOTTED
NOT GOVERN TO
AMM SYSTEM, CAN 110.1 LAMOST
WAS - NORTH AMERICAN PENETRATION STANDARD
AND
A MIN. 17 CANADIAN SUPPLEMENT TO THE ABOVE
MENTIONED STANDARD

NOTES:

- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS
- BUILDER TO CONFORM ALL FRAMING DIMENSIONS FOR TUBS, SHOWERS, FIREPLACES AND SIMILAR WITH MANUFACTURERS SPECIFICATIONS PRIOR TO CONSTRUCTION.

CR
commercial - residential
design & drafting

201-2389 WILLOW AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS:
ISSUED FOR: DP/DP FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 1

DESIGNED:
NATASHA DORIC, M. ARCH.

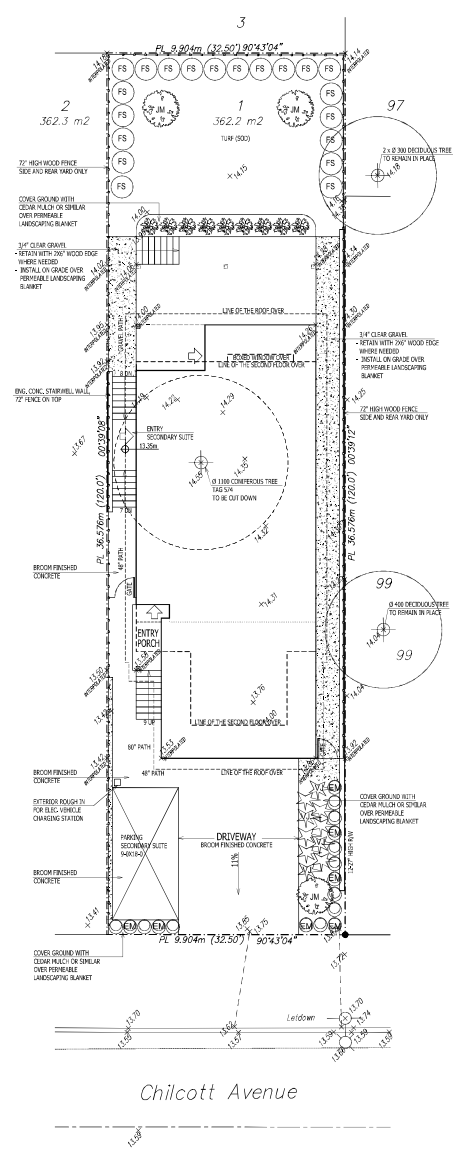
DRAWN:
MARCIA CARAN, M. ARCH.

DATE:
FEBRUARY 2024

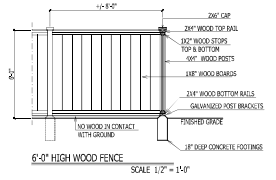
SCALE:
AS NOTED ON PLANS

SHEET TITLE:
SPECIFICATIONS
SECTION A-A
SECTION B-B
DETAILS

SHEET
OF 7 SHEETS



PROJECT DATA:
LEGAL DESCRIPTION:
 LOT 1
 RD:
 CIVIC ADDRESS: CHILCOTT AVENUE
 PORT COQUITLAM, BC
 ZONING: RS-1
 NOT IN FLOOD PLANE



PLANT LIST

COMMON NAME	BOTANICAL NAME	SIZE	QTY
EMERALD CEDAR	THUJA OCCIDENTALIS	7 GAL POT	17
UTAH GRENDEL SHRUB (GROUND COVER)	LUNIPERUS TANICOLA	#3 POT	10
AUTUMN GAMBELST	FICUS ADAMA	#3 POT	9
WEEDING FERTONIA	FOSYTHIA SUSPENS	#3 POT	20
JAPANESE MAPLE	ACER PALMATUM	6cm GALBER	3

- LEGEND:**
- PERMEABLE MATERIAL (TOP SOIL)
 - PERMEABLE MATERIAL GRAVEL
 - IMPERMEABLE MATERIAL BUILDINGS OR BROOM FINISHED CONCRETE
 - TREES TO BE RETAINED
 - TREES TO BE CUT DOWN
 - PROTECTIVE BARRIER:**
 - USE PLASTIC SNOW-FENCING
 - SELECT MATERIALS TO HOLD POSTS
 - MAX HEIGHT 4'-0"
- NOTES:**
- DO NOT STORE ANY BUILDING MATERIALS WITHIN THE INNER AREA OF PROTECTIVE FENCE
 - DO NOT ALLOW ANY PEDESTRIAN OR VEHICULAR TRAFFIC WITHIN INNER AREA OF PROTECTIVE FENCE
 - WRAP EXPOSED ROOTS WITH ROOT CURTAIN (4 INCH FISH OR SIMILAR WITH BURST) AND SUPPORT BY POSTS
 - KEEP POSTS MOIST BY WATERING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD
 - REMOVE ROOT CURTAIN BEFORE BACKFILLING
 - USE TUNNELLING (NO TRENCHING) WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES

LANDSCAPING PLAN
 SCALE 1/8" = 1'-0"

CR
 commercial - residential
 design & drafting

201-2388 WELCHER AVENUE
 PORT COQUITLAM, BC V3C 1X5
 778 899 0091

PLANS
 ISSUED FOR: BP FEBRUARY 2024

PROJECT DESCRIPTION
 SINGLE FAMILY RESIDENCE
 WITH ATTACHED GARAGE
 AND SECONDARY SUITE

PROJECT ADDRESS
 2472 CHILCOTT AVENUE
 PORT COQUITLAM, BC
 LOT 1

DESIGNED
 NATASHA DOKIC, M. Arch.

DRAWN
 MARDIA CARAN, M.Arch.

DATE
 FEBRUARY 2024

SCALE
 AS NOTED ON PLANS

SHEET TITLE
 LANDSCAPE PLAN

SHEET
 A-6
 OF 7 SHEETS

Housing Target Progress Report (Six-Month Interim Period)

RECOMMENDATION:

That Committee of Council:

- 1. Receive the Six-Month Interim Housing Target Progress Report as attached to this report; and*
- 2. Direct staff to submit the Progress Report to the Ministry of Housing as required by the Housing Supply Act.*

REPORT SUMMARY

In accordance with the City's Housing Target Order, staff have prepared a Housing Target Progress Report detailing progress in meeting established housing targets over the initial six-month period (August 1st 2024 to January 31st 2025). Staff note the net increase of new units over this initial six-month period has been modest, but there is a substantial number of units anticipated to be approved, constructed and/or delivered in the coming year. In addition, during this initial period, the City has initiated or completed a number of actions that are intended to help increase the supply of new housing units in the community. Staff recommend the Progress Report be received for submission to the Province.

BACKGROUND

The *Housing Supply Act* enables the Ministry of Housing to set housing targets for municipalities in British Columbia that they believe have the greatest need and the highest projected population growth. The Province has advised the housing targets are part of a suite of Provincial legislative changes aimed at increasing housing supply and expanding the number of completed dwelling units.

On July 24, 2024, the Minister of Housing issued a Housing Target Order ("Order") to Port Coquitlam which came into effect on August 1st and set a 5-year housing target for Port Coquitlam of 2,279 net new completed units by July 31st, 2029. The Order further specifies annual cumulative housing targets, reporting periods and process, and the performance indicators which will be used to measure annual progress.

Port Coquitlam Housing Target Order

The City's housing target is based on 75% of the Province's estimate of housing need for the City (2,279 units) through their standardized methodology, which counts the number of new completed units required to address current housing shortage as well as population growth over the next five years. The Province notes that using 75% of the estimated need, instead of 100% is intended to allow for flexibility to respond to individual municipal circumstances.

Housing Target Progress Report (Six-Month Interim Period)

The target is further broken down as a yearly cumulative number that reflect a gradual increase in housing production each year.

- Year 1: 343
- Year 2: 724
- Year 3: 1,161
- Year 4: 1,673
- Year 5: 2,279

The specified performance indicators include progress towards meeting the annual cumulative housing target (measured as net new completed units during the reporting period) and actions taken by the City towards helping to meet the cumulative housing target (updating land use planning documents such as the Official Community Plan, adoption of bylaws, policies and initiatives that are intended to help achieve targets, and residential development that are approved or in progress such as development applications and building permits issued).

The City's reporting periods run on an annual basis between August 1st and July 31st, with a one-time six-month interim reporting period ending January 31st 2025. The Province has provided a standardized Housing Target Progress Form for reporting progress; this report must be received by resolution at a Municipal Council meeting, posted to the City's website, and submitted to the Province within 45 days of the end of the reporting period.

Housing Target Progress Report (Six-month initial period)

The initial six-month period of the Order started on August 1st, 2024, and ended on January 31st, 2025. During this initial six-month period, the City saw 23 new residential dwellings approved for occupancy and 12 dwellings demolished, for a total of 11 new net units. Of these, 7 units were rental tenure (market rental). The unit breakdown included three 1-bedroom, one 2-bedroom and seven units that were 3 or more bedrooms.

During this initial period, the City also approved 8 residential Development Permit applications (19 new units) and issued 14 residential Building Permits (76 new units) for a total of 95 new approved units.

In addition to the approved development and building permit applications noted since the Housing Target Order date, Port Coquitlam has also issued and approved a significant number of applications prior to the Order date (January 2024-August 2024), which comprise of issued Building Permits (588 units), and approved Development Permits (272 units).

Actions taken by the City

The City has also taken a number of actions to help enable the supply of additional housing in the community to align with meeting the housing target. These include:

- Implementing a digital building permit application process which will expedite permit review and issuance.
- Applying for the Housing Accelerator Fund to support initiatives that will accelerate the supply of housing, such as reductions in parking, pre-approved designs, and pre-zoning areas with potential for greater residential densities.
- Completing a new Housing Needs Report to identify the current and future housing needs of our community, for use in formulating policy, direction and land use decisions in the updated OCP and other planning documents.
- Supporting non-profit housing providers, which is expected to result in the completion of 363 new non-market housing units in 2025, and expedited approvals for another 74 units.
- Undertaking a Complete Communities Assessment, which will be used to inform OCP land use changes, policies and infrastructure to support additional housing and population growth
- Launching the OCP update, which will include assessing land use designations to ensure opportunities for greater residential densities, detailed neighbourhood planning processes and an update to create user friendly DP guidelines.
- Responding to provincial legislation by amending policies and bylaws to support Small-Scale Multi-Unit Housing and development within Transit-Oriented Areas.
- Expediting the development review process by delegating small-scale development permits and minor variances to staff.
- “Pre-zoning” apartment designated lands to reduce uncertainty, remove barriers and expediate development.

DISCUSSION

While the total number of net new units was quite modest in the initial six-month period of the Housing Target Order, staff note there is a significant volume of projects in-stream, including current development applications, issued building permits and development under construction. In addition, there are a number of recently completed and ongoing projects which are designed and intended to increase the volume and speed of housing development in the community.


It is important to note that projects reaching completion in the coming years began construction 2-3 years ago and have already worked their way through the municipal permitting process. As a result, these initial years of provincial reporting are a measure of previous policy decisions and applications already in the development pipeline. The impact of recently approved and upcoming policy/process/regulatory changes and development project completions will not be fully realized for several years, potentially outside of the five-year reporting window for the Order, but will result in meeting the City’s housing needs over time.

Housing Target Progress Report (Six-Month Interim Period)

FINANCIAL IMPLICATIONS

None.

OPTIONS (✓ = Staff Recommendation)

	#	Description
	1	Receive the attached Housing Target Progress Report and direct staff to submit the Report to the Ministry of Housing.
	2	Refer the report back to staff for further information.

ATTACHMENTS

Attachment 1: Housing Supply Act – Housing Target Progress Report Form (6-month interim period)

Lead author(s): Graeme Muir, Jennifer Little



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch

BC Ministry of Housing and Municipal Affairs

PURPOSE

Municipalities will use this form to complete the requirements for progress reporting under the [Housing Supply Act](#) (Act). The information provided will be evaluated to determine whether targets have been met or satisfactory progress has been made toward meeting targets.

REPORT REQUIREMENTS

The report must contain information about progress and actions taken by a municipality to meet housing targets as identified in the Housing Target Order (HTO).

The progress report must be received in a meeting that is open to the public and by Council resolution within 45 days after the end of the reporting period.

Municipalities must submit this report to the minister and post it to their municipal website as soon as practicable after it is approved by Council resolution.

ASSESSMENT

The Housing Targets Branch evaluates information provided in the progress report based on Schedule B - Performance Indicators in the HTO. If targets have not been met and satisfactory progress has not been made, the Minister may initiate compliance action as set out in the Act.

REPORT SUBMISSION

Please complete the attached housing target progress report form and submit to the Minister of Housing at Housing.Targets@gov.bc.ca as soon as practicable after Council resolution.

Do not submit the form directly to the Minister's Office.



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch
BC Ministry of Housing and Municipal Affairs

Section 1: MUNICIPAL INFORMATION	
Municipality	Port Coquitlam
Housing Target Order Date	August 1 2024
Reporting Period	August 1 2024 – January 31 2025
Date Received by Council Resolution	February 18 2025
Date Submitted to Ministry	February 19, 2025
Municipal Website of Published Report	February 19 2025
Report Prepared By	<input checked="" type="checkbox"/> Municipal Staff <input type="checkbox"/> Contractor/External
Municipal Contact Info	<i>Graeme Muir, Planner, muirgraeme@portcoquitlam.ca, 604-927-5249</i>
Contractor Contact Info	<input type="checkbox"/> N/A (<i>name, position/title, email, phone</i>)

Section 2: NUMBER OF NET NEW UNITS				
Record the number of net new housing units delivered during the reporting period, and cumulatively since the effective date of the HTO. Net new units are calculated as completions (occupancy permits issued) minus demolitions. <u>Legalizing existing unpermitted secondary suites or other housing types does not count toward completions.</u>				
Section 8 must be completed if a housing target has not been met for the reporting period.				
	Completions (Reporting Period)	Demolitions (Reporting Period)	Net New Units (Reporting Period)	Net New Units (Since HTO Effective Date)
Total	23	12	11	11

Section 3: NUMBER OF HOUSING UNITS BY CATEGORY AND TYPE (Unit Breakdown Guidelines)				
Record the number of housing units in each category below for the reporting period and cumulatively since the effective date of the HTO. Definitions are provided in the endnote.				
	Completions (Reporting Period)	Demolitions (Reporting Period)	Net New Units (Reporting Period)	Net New Units (Since Effective HTO Date)
Units by Size				
Studio	0	0	0	0
One Bedroom	3	0	3	3
Two Bedroom	3	2	1	1
Three Bedroom	10	4	6	6
Four or More Bedroom ¹	7	6	1	1

Units by Tenure				
Rental Units ² – Total	7	0	7	7
Rental – Purpose Built	0	0	0	0
Rental – Secondary Suite	6	0	6	6
Rental – Accessory Dwelling	1	0	1	1
Rental – Co-op	0	0	0	0
Owned Units	16	12	4	4
Units by Rental Affordability				
Market	7	0	7	7
Below Market ³ - Total	0	0	0	0
Below Market - Rental Units with On-Site Supports ⁴	0	0	0	0

Section 4: MUNICIPAL ACTIONS AND PARTNERSHIPS TO ENABLE MORE HOUSING SUPPLY

A) Describe applicable actions taken in the last 12 months to achieve housing targets, in line with the Performance Indicators in the HTO. Each entry should include a description of how the action aligns with achieving the housing target, the date of completion, and links to any publicly available information. For example:

- Streamlined development approvals policies, processes or systems.
- Updated land use planning documents (e.g., Official Community Plan, zoning bylaws).
- Updated Housing Needs Report.
- Innovative approaches and/or pilot projects.
- Partnerships (e.g., BC Housing, CMHC, or non-profit housing organizations except First Nations – see Section 4 B).
- Other housing supply related actions.

1. **Complete Communities Report (completed January 6, 2025):** This is a geospatial assessment focusing on select areas of the City that have been identified for housing growth – the assessment and associated action plan will now be used to inform decisions around land use changes, policies and infrastructure to support additional housing and population growth.
2. **OCP Update Launch (scope and timing approved by Committee November 19, 2024):** The approved scope and timing of the OCP update includes work to refine and strengthen the existing framework, and address gaps, challenges and opportunities to meet the current and future needs of the community. This includes assessing land use designations to ensure opportunities for greater residential densities, and detailed neighbourhood planning processes. Updates to development permit design guidelines are also proposed in order to

- create a more user-friendly, streamlined development permit process. <https://pub-portcoquitlam.escribemeetings.com/filestream.ashx?DocumentId=11795>
3. **Housing Accelerator Fund application (application approved by Committee Sept 10, 2024):** The City applied for incentive-based funding from CMHC with the objective to accelerate the supply of housing. In order to support the application, an action plan was developed with 7 incentives to support the increase of housing supply, including reductions in parking, pre-approved designs, and rezoning areas with potential for greater residential densities. These incentives will also support the City meeting the HTO targets over the next 3 years. <https://www.portcoquitlam.ca/business-development/housing/housing-target-order>
 4. **Supporting non-profit housing providers (ongoing):** The City is supporting BC Housing, Metro Vancouver Housing Authority and several non-profits housing providers on the provision of multi-family non-market rental projects, including two developments which are under construction and will be completed in 2025 providing 363 units of secured non-market housing, and two applications (74 units) which are being expedited through the application review process.
 5. **2024 Housing Needs Report (endorsed by Committee December 17, 2024):** The City approved an updated Housing Needs Report that identifies current and future housing needs for our community. The findings of this report will be used to formulate policy, direction and land use amendments in the updated OCP and other planning documents. <https://www.portcoquitlam.ca/business-development/housing/housing-needs-report>
 6. **Digital Building Permit Applications (implemented January 16, 2025):** The ePlan program is intended to reduce permit timelines, create greater staff efficiency, and improve transparency throughout the permitting process. The online portal feature will be particularly helpful in expediting permit reviews.
 7. **Bill 44 – Small Scale Multi-Unit Housing (Bylaws adopted June 25, 2024):** The City amended its policies and bylaws with the intent to improve efficiencies through the development process and increase the supply of housing. These amendments include allowing up to four units as-of-right on single residential and duplex lots; an increased size of Accessory Dwelling Units, permitting up to 6-units for properties within 400 meters of a prescribed bus stop, and reduced and eliminated parking requirements within areas near transit, downtown core, and residential infill areas. As part of these changes, the City identified additional actions to support the creation of SSMUH which will be considered as part of the OCP update. <https://www.portcoquitlam.ca/business-development/housing/new-provincial-housing-legislation>
 8. **Bill 47 - Transit Oriented Area (Bylaws adopted June 25, 2024):** The City made amendments to establish Transit-Oriented Areas, reflecting the prescribed minimum heights and densities and removing residential parking requirements for developments located within a prescribed TOA. As part of this discussion, the City identified the intent to consider expanding the boundaries of TOAs as part of the OCP update to allow for additional residential densities in areas adjacent to

frequent transit stations and stops. <https://www.portcoquitlam.ca/business-development/housing/new-provincial-housing-legislation>

- 9. Expedited Development Review Processes (Bylaw adopted June 25, 2024).** The City streamlined the development approval process by delegating development permits for smaller developments and minor variances to the Director of Development Services.

<https://www.portcoquitlam.ca/sites/default/files/2024-10/3876%20-%20Delegation%20of%20Authority%20Bylaw.pdf>

- 10. Rezoning Apartment Designation (Bylaw adopted June 25, 2024).** The City “pre-zoned” areas for multi-family residential to create greater certainty, preserve the form and character of housing, and remove the need for rezoning applications.

B) Please provide any information about First Nation partnerships and/or agreements including planning, servicing and infrastructure that support delivery of housing on First Nation land including delivered and/or projected housing units.

The City of Port Coquitlam will continue to engage with the kwikwəłəm (Kwikwetlem) First Nation to foster stronger partnerships that will benefit the community as a whole.

Section 5: APPROVED HOUSING DEVELOPMENT APPLICATIONS

Report the number of approved applications issued by type since the effective date of the HTO. Each project should only be recorded once for the **most current** application type. Provide the estimated number of net new housing units to be delivered for each application category.

NOTE: units issued occupancy permits should be recorded in Section 2.

	Rezoning	Development Permit	Building Permit	Total
Applications	0	8	14	22
New Units	0	19	76	95
Unit Breakdown				
Units by Size				
Studio	0	0	9	9
One Bedroom	0	4	21	25
Two Bedroom	0	6	24	30
Three Bedroom	0	1	8	9
Four or More Bedroom ¹	0	8	13	21
Units by Tenure				
Rental Units ² – Total ²	0	11	10	21

Rental – Purpose Built	0	0	0	0
Rental – Secondary Suite	0	8	9	17
Rental – Accessory Dwelling	0	3	1	4
Rental – Co-op	0	0	0	0
Owned Units	0	8	65	73
Units by Rental Affordability				
Market	0	8	10	18
Below Market ³ - Total	0	0	0	0
Below Market - Rental Units with On-Site Supports ⁴	0	0	0	0

Section 6: WITHDRAWN OR NOT APPROVED HOUSING DEVELOPMENT APPLICATIONS

A) Indicate the number of applications and the estimated number of proposed units withdrawn by applicants, and /or not approved by staff or Council during this reporting period. Please include rezoning applications, development permits, and building permits.

	Applications Withdrawn	Applications Not Approved
Applications	2	0
Proposed Units	4	0

B) Provide a description of each application (e.g., rezoning, development permit, building permit) and brief summary of why each project was withdrawn or not approved.

Both applications were in-stream when the new housing legislation under Bill 44 was mandated by the Province. Both applicants withdrew their applications in order to re-apply with a new proposal that would comply with Bill 44 and the amendments the City of Port Coquitlam had made to its bylaws.

Section 7: OTHER INFORMATION

Provide any other information not presented above that may be relevant to the municipality's effort and progress toward achieving the housing target.

In addition to the approved development and building permit applications noted since the Housing Target Order date (August 1 2024) outlined in Section 5, Port Coquitlam has also approved applications issued prior to the Order date in 2024, which comprise an estimated:



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch
BC Ministry of Housing and Municipal Affairs

- Issued Building Permits: 588 units issued and under construction (2178 Prairie Ave, 2168 Rindall Ave, 2368 Shaughnessy St, 2388 Marry Hill, 2277 Hawthorne Ave and 2810 Anson Ave).
- Approved Development Permits: 47 units (2236 Kelly Ave), 117 units (2178 Prairie Ave), 108 units (2525 Donald St), and 200 units proceeding to Committee of Council for consideration in February (850 Village Dr).

Additionally, there are currently a significant amount of "in-stream" applications under review as of February 18, that are excluded from the above counts.

Section 8: SUMMARY OF PLANNED ACTIONS TO MEET TARGETS

If the housing target has not been met for the reporting period, please provide a summary of planned and future actions in line with the Performance Indicators that the municipality intends to take to meet housing targets during the two-year period following this report. For each action, provide:

- a description of how the action aligns with achieving the housing target;
- dates of completion or other major project milestones;
- links to any publicly available information; and
- the number of units anticipated by completing the action.

NOTE: THIS SECTION IS NOT APPLICABLE FOR INITIAL SIX-MONTH REPORTING.

Name of Action:	
Description of Action:	
Completion/Milestone Date:	
Link:	Number of Units:

Name of Action:	
Description of Action:	
Completion/Milestone Date:	
Link:	Number of Units:

Name of Action:	
Description of Action:	
Completion/Milestone Date:	
Link:	Number of Units:



HOUSING TARGET PROGRESS REPORT FORM

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**Copy/Paste above description tables as needed*

¹ If needed due to data gaps, it is acceptable to report "Three Bedroom" and "Four or More Bedroom" as one figure in the "Three Bedroom" row.

² **Rental Units** include purpose built rental, certain secondary rentals (secondary suites, accessory dwellings) and co-op.

³ **Below Market Units** are units rented at or below 30% of the local Housing Income Limits (HIL) per unit size.

⁴ **Below Market Rental Units with On-Site Supports** are units rented at the Income Assistance Shelter rate providing permanent housing and on-site supports for people to transition out of homelessness.