

## **Committee of Council Regular Agenda**

Council Chambers, 3<sup>rd</sup> Floor City Hall, 2580 Shaughnessy Street, Port Coquitlam, BC

**Tuesday, May 7, 2019**

Time: Following Special Council Meeting at 3:00 p.m.

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**1. CALL TO ORDER**

**2. ADOPTION OF THE AGENDA**

**2.1 Adoption of the Agenda**

Recommendation:

*That the May 7, 2019, Regular Committee of Council Meeting Agenda be adopted with the following changes:*

- *Addition of Resolution to Close.*

**3. CONFIRMATION OF MINUTES**

**3.1 Minutes of Committee of Council**

Recommendation:

*That the minutes of the following Committee of Council Meetings be adopted:*

- *April 16, 2019, Regular Committee of Council Meeting*
- *April 23, 2019, Regular Committee of Council Meeting.*

**4. DELEGATIONS**

**4.1 Alouette Addictions**

**5. REPORTS**

**5.1 Community Safety Update (Bylaw & Community Police Divisions) – Verbal Report  
Time Specific – First Order of Business**

Recommendation:

None.

**5.2 March Community Centre Update**

Recommendation:

None.

**5.3 Temporary Parking - 2266 Wilson Avenue**

Recommendation:

*That Committee of Council direct staff to construct and maintain a temporary parking lot extension to the lot at 2266 Wilson Avenue at a total cost of \$20,000, to be allocated from the Parking Reserve Fund and to amend the financial plan as required.*

**6. COUNCILLORS' UPDATE**

**7. MAYOR'S UPDATE**

**8. CAO UPDATE**

**9. RESOLUTION TO CLOSE**

**9.1 Resolution to Close the May 7, 2019, Regular Committee of Council Meeting to the Public**  
Recommendation:

*That the Regular Committee of Council Meeting of May 7, 2019, be closed to the public pursuant to the following subsection(s) of Section 90(1) of the Community Charter:*

- i) *the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.*

**Present:**

Chair – Mayor West  
Councillor Darling  
Councillor Dupont  
Councillor McCurrach  
Councillor Penner  
Councillor Pollock  
Councillor Washington

**Absent:**

**Meeting Notes:**

- The meeting was closed to the public at 3:01 p.m. and reconvened at 4:16 p.m.

**1. CALL TO ORDER**

The meeting was called to order at 3:00 p.m.

**2. ADOPTION OF THE AGENDA**

**2.1 Adoption of the Agenda**

Moved - Seconded:

*That the April 16, 2019, Regular Committee of Council Meeting Agenda be adopted with the following changes:*

- *That the meeting be closed to the public after adoption of the agenda, and re-number items accordingly.*

Carried

**3. RESOLUTION TO CLOSE**

**3.1 Resolution to Close the April 16, 2019, Regular Committee of Council Meeting to the Public**

Moved - Seconded:

*That the Regular Committee of Council Meeting of April 16, 2019, be closed to the public pursuant to the following subsection(s) of Section 90(1) of the Community Charter:*

Item 4.1

- l) discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report.*

Item 4.2

- k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public.*

Carried

**4. DELEGATIONS**

**4.1 The Pollinator Project**

Jason Liao provided an overview of the pollinator project.

## 5. REPORTS

### 5.1 Cannabis Retail Applications

Moved – Seconded:

*That Committee of Council give further consideration to rezoning applications for the following locations:*

- a) 24-2755 Lougheed Highway
- b) 970 Dominion Avenue
- c) 1502 Broadway Street.

Carried

Opposed: Councillor Washington

Moved – Seconded:

*That Committee of Council give further consideration to the rezoning application for the following location:*

- 1971 Lougheed Highway.

Carried

Opposed: Councillor Washington

Moved – Seconded:

*That Committee of Council defer making a decision on rezoning applications for the following locations in the Downtown Core pending a recommendation arising from the Downtown Action Plan process:*

- a) 2338 Marpole Avenue
- b) 2342 Elgin Avenue
- c) A-2541 Shaughnessy Street.

Carried

Opposed: Councillors Penner & Washington

Moved – Seconded:

*That Committee of Council direct staff to hold the following applications in abeyance until Committee directs staff to bring them forward:*

- 2748 Lougheed Highway
- 302B-2649 Lougheed Highway
- 2617 Kingsway Avenue
- 2648 Kingsway Avenue
- 2132- 2850 Shaughnessy Street
- 815 Village Drive (Fremont Village Unit A)
- 815 Village Drive (Fremont Village Unit B)
- 815 Village Drive (Fremont Village Unit C)
- 1760 Kingsway Avenue
- 102-1940 Oxford Connector
- 201- 2020 Oxford Connector

Carried

### 5.2 2019 Draft Budget Public Input

Moved - Seconded:

*That Committee of Council:*

1. Approve the operating budget as finalized on February 12, 2019, for inclusion in the 2019 – 2023 Financial Plan Bylaw; and
2. Direct staff to prepare the 2019-2023 Financial Plan Bylaw for Council approval.

Carried

Moved – Seconded:

*That Committee of Council direct staff to provide a report on a litter and city cleanliness pilot project.*

Carried

**6. COUNCILLORS' UPDATE**

No updates.

**7. MAYOR'S UPDATE**

No updates.

**8. CAO UPDATE**

No updates.

**9. Adjournment**

**9.1 Adjournment of the Meeting**

Moved - Seconded:

*That the April 16, 2019, Regular Committee of Council Meeting be adjourned at 7:16 p.m.*

Carried

Certified Correct,

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Mayor

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Corporate Officer

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**Present:**

Acting Mayor Penner  
Councillor Darling  
Councillor Dupont  
Councillor McCurrach  
Councillor Pollock

**Absent:**

Councillor Washington  
Mayor West

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**1. CALL TO ORDER**

The meeting was called to order at 2:30 p.m.

**2. ADOPTION OF THE AGENDA**

**2.1 Adoption of the Agenda**

Moved - Seconded:

*That the April 23, 2019, Regular Committee of Council Meeting Agenda be adopted as circulated.*

Carried

**3. CONFIRMATION OF MINUTES**

**3.1 Minutes of Committee of Council**

Moved - Seconded:

*That the minutes of the following Committee of Council Meetings be adopted:*

- *April 9, 2019, Regular Committee of Council Meeting.*

Carried

**4. REPORTS**

**4.1 Metro Vancouver Presentation: Lougheed Land Use Study**

*Staff from Metro Vancouver gave a presentation on the Lougheed Land Use Study.*

**4.2 Rezoning Application - 3346 Finley Street**

Moved - Seconded:

*That Committee of Council recommend to Council that:*

- 1) The zoning of 3346 Finley Street be amended from RS1 (Residential Single Dwelling 1) to RS2 (Residential Single Dwelling 2); and,*
- 2) Prior to adoption of the amending bylaw, the following conditions be met to the satisfaction of the Director of Development Services:*
  - a) Demolition of existing structures;*
  - b) Completion of design and submission of fees and securities for off-site works and services;*
  - c) Submission of a \$2000 security for tree replanting;*
  - d) Registration of a legal agreement to implement design objectives and confirm number of units within a dwelling.*

Carried

**4.3 Development Variance Permit Application – 2389 Hawthorne Avenue**

Moved - Seconded:

*That the Committee of Council:*

- 1) Authorize staff to provide notice of an application to vary underground servicing requirements for a 28-unit apartment building at 2389 Hawthorne Avenue, and*
- 2) Advise Council that it supports approval of Development Variance Permit DVP00065.*

Carried

**4.4 Coquitlam River Bridge & Lougheed Highway Improvements**

Moved - Seconded:

*That Committee of Council direct staff to consult with stakeholders on the functional design for the Coquitlam River Bridge and Lougheed Highway improvements, and seek external funding for design and construction of the works.*

Carried

**4.5 Implementation of the BC Energy Step Code**

Moved – Seconded:

*That Committee of Council recommend to Council that the Building & Plumbing Bylaw be amended to implement the BC Energy Step Code and that the amendment take effect 3 months after the date of adoption.*

Carried

**5. COUNCILLORS' UPDATE**

Council provided updates on City business.

**6. MAYOR'S UPDATE**

No update.

**7. CAO UPDATE**

No update.

**8. ADJOURNMENT**

**8.1 Adjournment of the Meeting**

Moved - Seconded:

*That the April 9, 2019, Regular Committee of Council Meeting be adjourned at 3:57 p.m.*

Carried

Certified Correct,

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Mayor

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Corporate Officer

### RECOMMENDATION:

None.

### REPORT SUMMARY

Monthly reports are being provided from the Community Centre Project Team to ensure Committee is updated regularly on the status of the construction project. This report will cover the project status to the end of March 2019.

### BACKGROUND

For this period, the following reports are attached:

Owner's Representative Progress Report #24 – Tango, March 2019

### DISCUSSION

During March 2019 numerous meetings, co-ordination, procurement, design and construction activities took place. The Owner's Meeting #19 was held on March 26, 2019.

The Design-Builder continues with the final completion of Phase 1AB envelope, mechanical and electrical and fit-out of the interior space in preparation for occupancy. Phase 1C concrete structure and underground mechanical is ongoing. The status of work can be summarized as follows:

- **Phase 1A: Rink 2:** Rink slab preparation is complete. Fit-out and finishes are ongoing.
- **Phase 1B: Rink 3 and Library:** Foundation formwork, rebar and concrete placement is near completion.  
Rink slab preparation is complete. Fit-out and finishes are ongoing.
- **Phase 1C Aquatic and Fitness Centre, All Age and Admin Areas:** Foundation formwork, rebar and concrete placement, suspended slab mechanical and electrical rough-in, roof deck installation, external framing and tiling are ongoing. Pool slab preparation has commenced.

**Phase 2:** Tendering is scheduled to be complete by May 21, 2019.

Key construction activities scheduled for April 2019 are listed in Tango's Monthly Progress Report #24 on page 9.

Ventana provided an updated schedule dated April 16, 2019. The critical path activities for Phase 1AB are now exterior steel stud framing, fire alarm installation and verification, and the occupancy

## March Community Centre Update

process. There is no change to the occupancy date. This schedule forecasts that Phase 1AB will be available for occupancy at the end of the summer and occupancy of 1C in the fall. Discussions with Ventana, Tango and City staff are ongoing regarding the construction schedule and coordination of specific activities required for occupancy for Phase 1AB. Tango continues to monitor the schedule very closely, focusing on the critical path activities and any associated risks that may impact substantial performance.

In March 2019, City staff continued working on the review of Phase 2 design and the procurement of furniture, fixtures and equipment (FFE) items. The package for the Audio Visual Systems was awarded and the request for proposals (RFP) for video walls/scoreboards was posted. RFP's for fitness equipment and library shelving are in the final review stage and will be posted in May.

Staff are preparing information for the operational aspects of the new facility, for discussion with Committee, scheduled for June. This will include an overview of the provisional budget, proposals for admission fees, initial scope and future phasing of programs and services offered, facility allocation policy updates, and facility space naming, advertising and sponsorship.

Based on the information contained in Tango's Monthly Progress Report #24 and during this reporting period, Tango believes the project can be completed by the Substantial Performance Date of October 31, 2021 for the Project Budget of \$132,100,000, provided the current critical path milestone dates can be achieved.

### **FINANCIAL IMPLICATIONS**

In March the city received \$8,944,463.79 from Infrastructure Canada for the claim submitted for eligible 2018 costs. The total grant awarded from the federal government was \$12,500,000. \$11,250,000 has been paid to date with the balance of \$1,250,000 to be paid on completion of the project. A summary of the total project costs expensed as of March 2019 is as follows:

Item	Total Expenses to Date	Original Budget	Revised Budget
Ventana Pre-Contract Work	\$983,000	\$983,000	\$983,000
Ventana Design-Build Contract*	\$56,541,162	\$116,717,000	\$125,055,990**
Project Management	\$979,169	\$1,500,000	\$2,222,620
Legal	\$51,086	Incl. above	\$150,000
Furniture, Fixtures and Equipment	\$0	\$3,900,000	\$3,770,140
Off-Site Improvements	\$287,814	\$3,000,000	\$TBD***
Onsite works (service fees, etc.)	\$43,288	Incl. in other	\$150,000
Communications/Signage	\$12,314	Incl. in other	\$30,000
<b>Total Project</b>	<b>\$58,897,833</b>	<b>\$132,100,000</b>	<b>\$132,100,000</b>



\*Prepayment amount of \$5M has been paid as per the contract and is not included in above totals.

\*\*Change order #6, valued at \$55,875 was also approved for additional offsite design services. This pertains to the separate capital project for water and sewer upgrades on Kelly Avenue which are not part of the scope of the project but because they must be completed in conjunction with the construction of the plaza and centre work, it is most efficient to have this work managed and constructed by Ventana and their team. Therefore, it is an increase to the design build contract, but is not included above as it will be charged directly to the water/sewer capital project (as will construction) and does not impact the project's budget.

\*\*\*The offsite work has now been partially awarded to Ventana, as has additional work related to the separate capital project for water and sewer upgrades on Kelly Avenue as noted above. More information will be provided on the split of this work in future reporting.

### **PUBLIC CONSULTATION**

The following communication activities were undertaken through March 2019:

- Ongoing in-person and email communication between staff and facility users on any changes related to programming, parking and general construction activity updates.
- Four mornings per week from 9am-12pm volunteer facility hosts provided program, parking and other updates to patrons at an information desk in the lobby.
- Information boards and information sheets continue to be available at facilities and at City events.
- Bi-weekly update meetings were held involving Recreation Managers, the Library Manager and Ventana Site Supervisors, to share information about weekly construction site and facility activities.
- Signage was posted to ensure patrons were aware of any parking or facility access changes and information continues to be shared with Wilson Centre members and arena user groups. When possible, affected user groups were notified of any short notice parking or access issues due to construction.
- A strategy was developed to communicate upcoming project and construction impacts that will include communications via print materials, ads in the seasonal leisure guide, local newspaper, social media, web/video updates and on outdoor advertising.
- New video was produced featuring a walk through the facility construction site progress with the Mayor <https://www.youtube.com/watch?v=EvXULqw2LXE>
- Facility construction update sessions were held with the Wilson Seniors Advisory Board on April 10 and for any seniors wishing to attend on April 23.
- The next stakeholder meeting will be on May 22, 2019 at 5:30pm.

The updated project dashboard, which will be available on the City's website, is included in Tango's March monthly report.

## March Community Centre Update

### **FACILITY OPERATION UPDATES**

#### **Terry Fox Library**

Participation in March 2019 was similar to 2018. There were 63 programs offered and a total of 1,731 people in attendance.

#### **Arena**

Overall participation in registered programs for winter 2019 was similar to winter 2018. Drop-in participation for the month of March 2019 was down by 380 participants; a decrease of 41% or \$1,093 in less revenue. The decrease in drop-in participation has been consistent all season and is attributed to fewer drop-in recreation activities offered due to changes in ice allocation. With this change ice bookings are up by 7% compared to winter 2018. In March 47 more hours were booked compared to March 2018, resulting in an increase of \$5,429 in arena rental revenue. March marked the end of ice programs at the Port Coquitlam Recreation Complex. A last chance free public skate was offered and PoCo Minor Hockey arranged a puck drop by the Mayor to acknowledge their final game in the facility on March 15.

#### **Children and Preschool**

March 2019 registered preschool and children program participation was similar to March 2018.

#### **Youth**

There was a daily average of five youth at the drop-in centre Tuesday through Thursday nights and an average of 21 youth on Friday and Saturday nights throughout March 2019. The Friday night late night skates continue to be well attended, with an average of 103 youth per session.

#### **Seniors**

Wilson Centre drop-in program participation in March 2019 was similar to March 2018. Monday to Friday there is an average of 160 seniors attending per day between 8am and 4pm. During this time there are 12 to 14 programs and drop in activities offered. Total fitness is the most popular daytime program with an average of 35 participants. Evening programs for seniors are offered Monday, Wednesday and Thursday. In the evenings table tennis has the highest attendance with an average of 16 seniors.

#### **Concession**

Food service sales (Wilson Centre kitchen and arena concession) were up by 46% or \$3,852 for March 2019 over 2018. This increase is due to the temporary operation of the Wilson Centre kitchen from the concession during the day Monday to Friday.

### **FACILITY MAINTENANCE & SERVICE DISRUPTIONS**

A total of \$2,500 was spent on minor facility repairs required in the month of March. Staff continue to complete essential repairs only, as needed to address safety issues and support core services.

### **ATTACHMENT**

Attachment #1: Owner's Representative Progress Report #24 – Tango, March 2019



## PORT COQUITLAM COMMUNITY CENTRE

### Owner's Representative Progress Report #24

March 2019

## TABLE OF CONTENTS

ITEM		Page No.
1.0	INTRODUCTION	1
2.0	EXECUTIVE SUMMARY	1
3.0	PROJECT SCOPE	1
4.0	PROJECT TEAM	2
5.0	DESIGN AND APPROVALS STATUS	3
6.0	PROCUREMENT & CONTRACT ADMINISTRATION	4
7.0	PROJECT BUDGET	6
8.0	PROJECT SCHEDULE	8
9.0	QUALITY ASSURANCE AND QUALITY CONTROL	10
10.0	SAFETY AND ENVIRONMENTAL	10
11.0	AREAS OF CONCERN AND OUTSTANDING ISSUES	10

## APPENDICES

Appendix 1 – Port Coquitlam Community Recreation Centre Complex – Owner's Schedule: April 16<sup>th</sup>  
 2019 - Update

Appendix 2 – Progress Photographs: March 2019

Appendix 3 - Site Inspection Reports: March 2019

Appendix 4 – Certificate of Payment No.27: April 18, 2019

Appendix 5 – Owners Meeting Minutes #19: March 26, 2019

Appendix 6 - Project Dash Board: March 31, 2019

Appendix 7 – Architecture 49 Site Report #40: April 1, 2019



## 1.0 INTRODUCTION

Tango Management ("Tango") has been engaged by the City of Port Coquitlam ("Owner") to provide Owner's Representative Services for the design and construction of a new Community Centre in Port Coquitlam, BC ("Project").

Tango is pleased to submit its Monthly Progress Report #24 to the Owner. This report represents a summary of key project activities and issues that occurred up to March 31, 2019.

This report is for the sole and confidential use and reliance of the Owner. Tango, its directors, staff, sub-consultants or agents do not make any representation or warranty as to the factual accuracy of the information provided to us on behalf of the Owner, their Contractors, their sub-contractors or agents, upon which this report is based. This report shall not be reproduced or distributed to any party other than the recipients outlined above, without the express permission of Tango. Any use of this report which a third party makes, or any reliance on or decisions made based on it, are the responsibility of such third parties. Tango accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report.

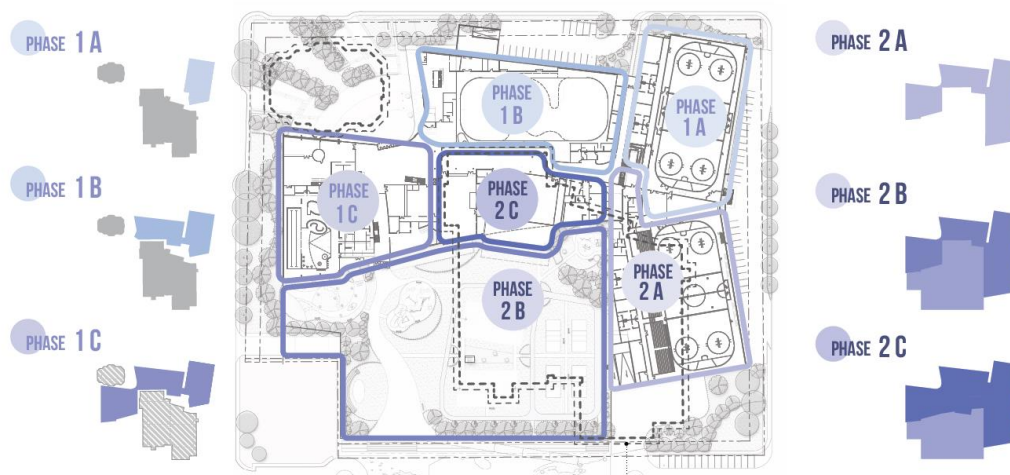
Any advice, opinions or recommendations within this report should be read and relied upon only in the context of this report as a whole. The contents of this report do not provide legal, insurance or tax advice or opinion.

## 2.0 EXECUTIVE SUMMARY

During March 2019 numerous meetings, co-ordination, procurement, design and construction activities have taken place. The Design-Builder continues with the final completion of Phase 1AB envelope, M&E and fit-out. Phase 1C concrete structure and underground mechanical is ongoing. Glulam installation is near completion. M&E and fit-out is ongoing. Based on the information contained in this Monthly Progress Report #23 and during this reporting period, Tango believes the Project can be completed by the Substantial Performance Date of October 31, 2021 for the Project Budget of \$132,100,000, provided the current critical path milestone dates can be achieved.

## 3.0 PROJECT SCOPE

The project scope involves a phased replacement and addition to the Port Coquitlam Recreation Complex, Wilson Centre and Terry Fox Library. This scope will provide a vibrant community hub with three sheets of ice, an indoor leisure pool, new fitness facilities, a new library, a spacious outdoor plaza, and underground parking. The size of the new facility will be 205,000 SQF.

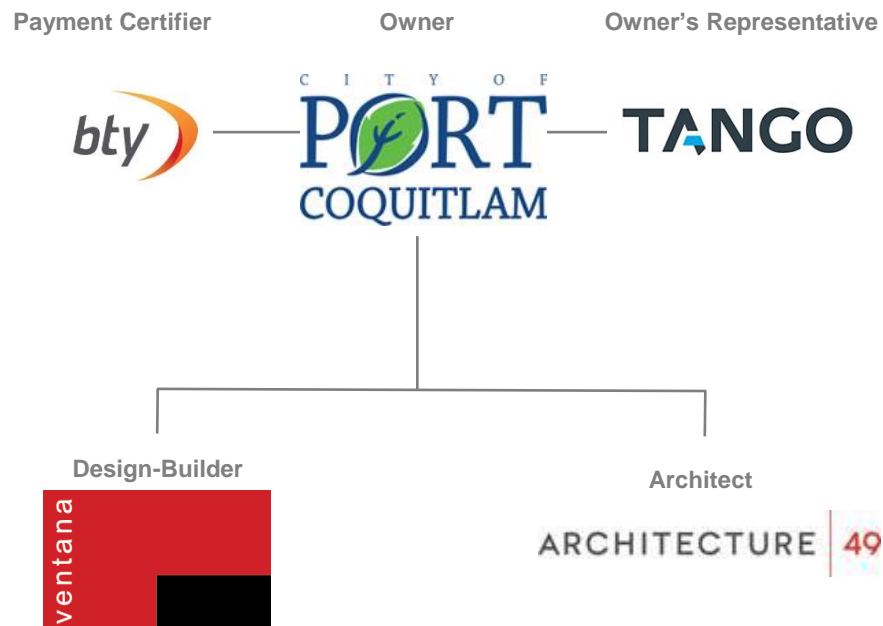


#### 4.0 PROJECT TEAM

The following team members have been appointed to the Project:

<b>Owner</b>	<b>City of Port Coquitlam</b>
<b>Owner's Representative</b>	<b>Tango Management</b>
<b>Design-Builder</b>	<b>Ventana Construction (POCO) Corp</b>
<b>Architect</b>	<b>Architecture 49</b>
<b>Civil Engineer</b>	<b>Hub Engineering</b>
<b>Structural Engineer</b>	<b>BMZ</b>
<b>Mechanical Engineer</b>	<b>WSP Canada</b>
<b>Electrical Engineer</b>	<b>Smith &amp; Anderson</b>
<b>Payment Certifier</b>	<b>BTY Group</b>

#### City of Port Coquitlam Community Recreation Complex Project Team



## 5.0 DESIGN AND APPROVALS STATUS

### Conceptual Design

Conceptual design is complete. Please refer to our Pre-Construction Due Diligence Report (v1.2), dated October 24, 2016 for comments on the Conceptual Design.

### Schematic Design

Schematic design is complete. Please refer to our Pre-Construction Due Diligence Report (v1.2), dated October 24, 2016 for comments on the Schematic Design.

### Design Development & Working Drawings and Construction Documents

The Design-Builder is developing design packages in phases. These include design packages for Building Permits, Tendering and Issued for Construction.

Below is an updated summary of the key design milestone submissions, as per the revised project schedule - updated April 16, 2019:

Drawing Package	Planned Date	Actual Date	Status	Comments
<b>Ground Works / Piling (1ABC)</b>				
BP Submission	24-Feb-17	13-Apr-17	Complete	Construction Ongoing
IFT Drawings	24-Feb-17	6-Apr-17	Complete	Construction Ongoing
IFC Drawings	10-Apr-17	18-Aug-17	Complete	Construction Ongoing
<b>Phase 1ABC - Structure</b>				
IFT Drawings (F/R/C)	31-Aug-17	6-Oct-17	Complete	Construction Ongoing
IFC Drawings (F/R/C)	26-Oct-17	12-Dec-17	Complete	Construction Ongoing
IFT Drawings (S/Steel)	19-Oct-17	19-Dec-17	Complete	Construction Ongoing
IFC Drawings (S/Steel)	30-Nov-17	10-Jan-18	Complete	Construction Ongoing
<b>Phase 1ABC Balance of Design</b>				
BP Submission	14-Jul-17	28-Sep-17	Complete	Construction Ongoing
IFT Drawings	5-Oct-17	3-Oct-17	Complete	Construction Ongoing
IFC Drawings	16-Nov-17	31-Jan-18	Complete	Construction Ongoing
<b>Phase 2ABC - Design</b>				
BP Submission	19-Jan-18		Ongoing	26-Feb-19
IFT Drawings	18-Mar-18		Ongoing	21-May-19
IFC Drawings	12-Jul-18		Ongoing	19-Apr-19

## 5.0 Design and Approval Status (continued)

### Permits / Regulatory Approvals

The following Building Permits have been issued for the construction works:

Regulatory Approval	Planned Date	Award Date	Status	Comments
Conservation Permit	1-Mar-17		Awarded	
Phase 1ABC Ground Works	24-Feb-17	19-Apr-17	Awarded	BP011873
Phase 1ABC Full BP	28-Sep-17	11-Oct-17	Awarded	BP011897
Phase 2ABC Full BP	18-Mar-18	11-Oct-17	Awarded	BP011897

A Development Permit was issued on August 18, 2017.

An Environmental Conservation Development Permit was scheduled to be issued to the Design-Builder on March 1, 2017. We understand this has now been issued.

Note – a part demolition permit (BP011822) was issued on March 9, 2017 for the part demolition of the Wilson Centre.

A Building Permit (BP011822) was issued to the Design-Builder on October 17, 2017. This Building Permit covers all phases of the Project. The Design-Builder will continue to submit design submissions in phases to the Owner, as per the design schedule.

## 6.0 PROCUREMENT & CONTRACT ADMINISTRATION

### Procurement Summary

We understand that procurement and tendering is ongoing. The Design-Builder has confirmed that we will not be receiving a detailed procurement schedule, as part of their monthly reporting. The Design-Builder has included a summary of the trades awarded to date in their monthly progress report, dated April 15, 2019:

Bulk and detailed excavation Phases 1ABC;	Glazing;
Piling Phases 1ABC;	Roofing;
Mechanical and Electrical;	Metal Decking;
Refrigeration;	Pump / Place / Finish;
Formwork Phases 1AB;	Structural Steel;
Reinforcement Phases 1ABC;	Soil Anchors;
Cladding;	Insulated Metal Panels;
Steel Stud;	Paint;
Doors & Hardware;	Flooring;
Tile;	Dasher Boards;
Rink Slabs;	Overhead Doors;
Public Address;	Washroom Accessories, Partitions, & Lockers.;



## 6.0 Procurement & Contract Administration (continued)

Millwork;	Fireplace;
Concrete Polishing;	Pool Specialities;
Countertops;	Sports Flooring & Equipment; and
Asphalt	

The following procurement milestones have been identified in the Design-Builder's schedule:

### Phases 1ABC & 2ABC

- Phase 2ABC Tendering Complete by May 21, 2019.

NOTE – The Design-Builder previously indicated that this will be complete by July 26, 2018.

### Furniture, Fixtures and Equipment (FF&E) Procurement

A Master Procurement Schedule has been developed that identifies all items with vendors, lead-in times, delivery and installation details. We are coordinating with the Design-Builder to ensure all enabling works and infrastructure requirements get incorporated into the design. An FF&E Coordination follow up meeting was held on August 10, 2017, that finalized the draft list. We submitted a revised FF&E list to the Design-Builder on October 18, 2017 for review and coordination. Final feedback was received on October 12, 2018.

Final points of clarification are being worked through and coordinated in-line with the Design-Builder's schedule.

We are finalizing the procurement of the FFE packages with the Owner. The following packages have been awarded:

- AV Systems – PJS Systems Inc.

### Project Coordination / Meeting

The Owner's Meeting #19 was held on March 26, 2019. Please refer to Appendix 5 of this Monthly Progress Report for a copy of the Owners Meeting Minutes #19.

The next Owner's Meeting is scheduled for April 16, 2019.

## 7.0 PROJECT BUDGET

### Project Budget Summary

The Project Budget is summarized below:

<b>A Design and Construction</b>	<b>Dollar Value</b>
<b>1 Design-Builder Pre Contract Costs</b>	\$983,000
<b>2 Design-Builder Contract Price</b>	\$116,717,000
<b>3 Approved Changes</b>	\$3,308,093
<b>4 Current (Revised) Contract Price</b>	\$120,025,093
<b>5 Work Certified as Completed (Base Contract)</b>	\$57,096,903
<b>6 Current Cost to Complete (Base Contract)</b>	\$62,928,190
<b>7 Lien Holdback (Base Contract)</b>	\$5,209,690
<b>B Non-Contract Costs</b>	
<b>8 Non-Contract Costs</b>	\$14,400,000
<b>C Total Project Budget</b>	<b>\$132,100,000</b>

The Design and Construction Budget was prepared by the Design-Builder and forms part of their CCDC14 Design-Build Stipulated Price Contract (2013).

During this reporting period, the Owner approved additional critical scope for offsite utility works that is outside the scope of the Project and will be funded from a separate capital budget. This will be reported on in the forthcoming Monthly Progress Report.

### Payment Certification

BTY Group, the Payment Certifier has issued Certificate of Payment No. 27 dated April 19, 2019, which certifies the current payment due to the Design-Builder, under the terms of the Design-Build Contract ("DBC") for the period ending March 31, 2019.

In summary, the current payment liabilities of the Owner are:

<b>Item</b>	<b>Dollar Value</b>
<b>Current Net</b>	\$3,999,833
<b>Current GST (5.0%)</b>	\$199,992
<b>Total Current Payable to the Design-Builder</b>	<b>\$4,199,825</b>
<b>Total Current Builders Lien Holdback</b>	\$5,654,116

Please refer to Appendix 4 of this report for a copy of Certificate of Payment No. 27.

## 7.0 Project Budget (continued)

### Change Order Management

A summary of the approved Change Orders relative to the Project Budget between the Owner and the Design-Builder up to March 31, 2019 is as follows:

CO#	Description	Dollar Value	Contingency Allocation
1	Bonding Requirements	\$1,800,000	Project Contingency
2	Temporary Power to Site	\$34,751	Project Contingency
3	Floor Area Changes	\$1,003,236	Project Contingency
5	Additional Back-Up Power	\$90,713	Project Contingency
7	Card Readers and Key Pads	\$16,698	Project Contingency
8	Library User Group Changes	\$86,287	Project Contingency
9	Accessible Washroom Emergency Alert	\$28,204	Project Contingency
10	Auto Door Openers	\$55,440	Project Contingency
11	Daycare - Card Readers & Alarms	\$9,834	Project Contingency
12	Additional CCTV	\$24,024	Project Contingency
14	Added Door Security	\$88,364	Project Contingency
17	Terry Fox Display Cases	\$4,950	Project Contingency
20	Exterior Building Signage	\$57,618	Project Contingency
21	Phase 1 Millwork Re-Design Services	\$7,975	Project Contingency
	<b>SUB-TOTAL</b>	<b>\$3,308,093</b>	
15	Scoreboard Credit	-\$42,760	FF&E
	<b>SUB-TOTAL</b>	<b>-\$42,760</b>	
4	Off Site Design Services	\$269,998	Off Sites
6	Additional Off Site Design Services	\$55,875	Capital Utility Budget
13	Offsite Scope of Work (Phase 1A)	\$1,698,500	Off Sites / Capital Utility Budget
16	Offsite Isolation Valves	\$37,711	Capital Utility Budget
18	Offsite Scope of Work (Phase 1B)	\$2,900,900	Off Sites / Capital Utility Budget
19	Hydro conduit relation at Kingsway	\$110,674	Off Sites
	<b>SUB-TOTAL</b>	<b>\$5,073,658</b>	

### Project Contingency

Design and Construction Contingency – The design and construction contingency is being managed by the Design-Builder and forms part of the DBC. Any changes to the Design and Construction Budget will have been a result of an Owner originated Change Order.

## 7.0 Project Budget (continued)

### Claims Management

There were no formal claims that we are aware of during this reporting period.

## 8.0 PROJECT SCHEDULE

### Construction Progress (March End 2019)

We conducted site inspections on March 4, 11, 18 & 25, 2019. At the time of the inspections the status of work can be summarized as follows:

- **Phase 1A: Participant Ice:** Site strip, bulk excavation and backfill is complete. Steel piling is complete. Foundation and suspended slab formwork, rebar and concrete placement is complete. Mechanical & Electrical rough-in is ongoing. Structural Steel is complete. Roof deck, masonry, internal/external framing, glazing and densglass is ongoing. Refrigeration is ongoing. Insulated Metal Panels are complete. Rink slab preparation is complete. Fit-out and finishes are ongoing.
- **Phase 1B: Leisure Ice and Library:** Site strip, bulk excavation and backfill is complete. Steel piling is complete. Foundation formwork, rebar and concrete placement is near completion. Mechanical & Electrical rough-in is ongoing. Structural steel is complete. Masonry is ongoing. Internal and external framing is ongoing. Rink slab preparation is complete. Fit-out and finishes are ongoing.
- **Phase 1C Aquatic and Fitness Centre, All Age and Admin Areas:** Foundation formwork, rebar and concrete placement is ongoing. Suspended slabs are ongoing. Mechanical and electrical rough-in is ongoing. Glulam installation is near completion. Roof deck installation and external framing is ongoing. Tiling is ongoing and pool lab preparation has commenced.

We received a copy of the Design-Builder's updated schedule – ***"Port Coquitlam Community Recreation Complex – Owner's Schedule: April 16<sup>th</sup> 2019 - Update"***.

This schedule remains very "aggressive" and there is zero margin for error and all critical path milestone dates need to be achieved in order for the schedule to be successful.

The critical path activities for Phase 1AB are now exterior steel stud framing in div 1 & 2, level 2 div 2 area framing, fire alarm installation and verification, and the Occupancy process. There is no change to the Occupancy Date, despite a slight change to the completion of some construction activities. The Design-Builder appears to be managing this via the resequencing of certain construction activities.

The Design-Builder deems there to be minimum risks to the balance of the remaining construction activities. This schedule forecasts that Phase 1AB scope will be available for Occupancy at the end of the Summer and Occupancy of 1C in the Fall. The Design-Builder has included specific activities of Occupancy for Phase 1AB in this schedule which is being coordinated with the City.

We will continue to monitor the schedule very closely, focusing on the critical path activities and any associated risks that may impact Substantial Performance.

Please refer to Appendix 2 of this report for progress photographs recording construction activities during March 2019.

## 8.0 Project Schedule (continued)

### Monthly Look Ahead

During April 2019, the following key construction activities are scheduled (based on ***“Port Coquitlam Community Recreation Complex – Owner’s Schedule: April 16<sup>th</sup> 2019 - Update”***).

- **Phase 1ABC – Rinks 2&3, Library and Div 9**
  - Complete Library Level 2 framing;
  - Continue with drywall taping and boarding;
  - Complete library T-Bar install;
  - Complete metal cladding to rink 2 and change rooms;
  - Complete metal cladding to Div 6 corridor;
  - Complete metal cladding to rink 3;
  - Commence library metal cladding;
  - Complete rink 3 painting;
  - Commence dasher board install;
  - Complete library interior glazing;
  - Complete elevator 1&2 install;
  - Complete roll up door install;
  - Commence rubber skate flooring install;
  - Continue with sprinkler and fire alarm install;
  - Complete Div 9 interior glazing;
  - Complete Div 9 interior stud and drywall install;
  - Complete Commercial Kitchen FRP;
  - Commence Commercial Kitchen Build Out;
  - Commence Div 9 fire alarm install;
  - Complete Div 12 glazing; and
  - Commence Div 9 interior finishes.
- **Phase 1C – Aquatics and Fitness Area**
  - Commence pool tank walls and features GL 1CJ to 1CP;
  - Complete exterior steel stud/denglass; and
  - Commence roof, glazing and interior stud/drywall.

Please refer to Appendix 1 of this report for a copy of the revised Design-Builder's Owner's Schedule: April 16<sup>th</sup> 2019 - Update.

## 9.0 QUALITY ASSURANCE & QUALITY CONTROL

### Construction Inspection & Monitoring

The Design-Builder is implementing a Quality Assurance and Quality Control (QAQC) program through the design and construction of the project. We are working closely with the Design-Builder and provide random audits of that program, review and opine on independent testing, physically review the quality of the construction activities, identify key inspections and tests that are completed, witness critical construction activities and collaborate with the Design-Builder to ensure optimum quality is achieved and maintained at all stages of the project.

We received a copy of Architect 49's Site Report 40, dated April 1, 2019. The Lead Consultant has confirmed that the works on site are progressing generally in accordance with the IFC drawings, specifications and building permits issued to date. A copy of the Assurance Statement dated April 1, 2019 is included in Appendix 7 of this report.

We received multiple copies of Metro Testing's Concrete Reports during March 1, 2019 through to March 27, 2019. No major non-conformances were recorded, or instructions issued to the Design-Builder that compromised the progress of the work.

We received a copy of BMZ's Construction Review Memos dated March 2, 13 & 22, 2019. All work is noted to be in general conformance with the structural drawings.

We received a copy of Smith and Anderson's Job Report, dated March 29, 2019. Actions have been noted to be remedied by the Design-Builder.

We received a copy of WSP's Plumbing Field Report, dated March 27, 2019. Actions have been noted to be remedied by the Design-Builder.

We performed site inspections on March 4, 11, 18 & 25 2019 to witness and monitor the progress of the works. Please refer to Appendix 3 of this report for copies of the Site Inspection Reports for this reporting period. Please refer to historic monthly progress reports for commentary on various QAQC inspection and monitoring activities, relative to specific reporting periods.

## 10.0 SAFETY AND ENVIRONMENTAL

On March 1, 2019 there was an accident on site where a crane truck tipped over. No one was hurt. WorkSafe BC attended site and investigated. A copy of the WorkSafe BC Report will be provided to the Owner, once available.

## 11.0 AREAS OF CONCERN & OUTSTANDING ISSUES

In general, all issues and actions raised within meetings and communications during March 2019 have been addressed or remain ongoing as part of the forthcoming design, procurement and construction phases.

The Design-Builder issued an updated schedule, ***"Port Coquitlam Community Recreation Complex – Owner's Schedule: April 16<sup>th</sup> 2019 - Update"*** during this reporting period. This schedule remains aggressive and targets a late summer Occupancy for Phase 1AB scope of work. The timely completion of the offsite servicing work that will service the project is critical in order to achieve Occupancy of the spaces.

## APPENDIX 1

### Port Coquitlam Community Recreation Centre Complex – Owner's Schedule: April 16<sup>th</sup> 2019 - Update





PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE  
April 16th 2019 - Update

Ventana Construction Corporation  
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ID	Task Name	Duration	Start	Finish	% Comp	Predecessors	2018														2020													
							Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep					
1	1 Port Coquitlam Recreation Centre	1194 days?	Fri 2/24/17	Mon 10/25/21	0%		entre																											
2	1.1 Design Phases	144 days	Fri 2/24/17	Wed 9/20/17	0%		ases																											
3	1.1.1 Phase 1ABC - Groundworks	55 days	Fri 2/24/17	Fri 5/12/17	0%		orks																											
9	1.1.2 Pile tender and award	60 days	Mon 6/26/17	Wed 9/20/17	0%		tender and award																											
13	1.2 Phase 1ABC - Design - Structure	560 days	Fri 2/24/17	Tue 5/21/19	0%		ture																											
14	1.2.1 Formwork/Reinforcing	190 days	Fri 2/24/17	Mon 11/27/17	0%		cing																											
19	1.2.2 Structural Steel & Glulam	90 days	Fri 9/22/17	Fri 2/2/18	0%		Structural Steel & Glulam																											
24	1.2.3 Phase 1ABC - Design - Balance	329 days	Mon 5/8/17	Fri 8/31/18	0%		ign - Balance																											
34	1.2.4 Phase 2ABC - Design	160 days	Tue 10/2/18	Tue 5/21/19	0%		Phase 2ABC - Design																											
35	1.2.4.1 IFT Drawings	0 days	Tue 10/2/18	Tue 10/2/18	0%	32FS+7 mons	IFT Drawings																											
36	1.2.4.2 Internal Review and Revisions	6 mons	Wed 10/3/18	Tue 3/26/19	0%	35	Internal Review and Revisions																											
37	1.2.4.3 Full BP Submission and review	50 days	Fri 12/14/18	Tue 2/26/19	0%	35FS+2.5 mons	Full BP Submission and review																											
38	1.2.4.4 Tender	40 days	Wed 3/27/19	Tue 5/21/19	0%	36	Tender																											
39	1.2.4.5 IFC Drawings	10 days	Wed 3/27/19	Tue 4/9/19	0%	36	IFC Drawings																											
40	1.3 Construction Phases	1062 days?	Tue 9/5/17	Mon 10/25/21	0%		Construction Phases																											
41	1.3.1 Phase 1AB	544 days?	Tue 9/5/17	Wed 10/30/19	0%		Phase 1AB																											
42	1.3.1.1 Bulk Excavation	15 days	Tue 9/5/17	Mon 9/25/17	0%		Bulk Excavation																											
43	1.3.1.2 Piling	60 days	Thu 9/21/17	Fri 12/15/17	0%	12	Piling																											
44	1.3.1.3 Parkade Foundations(GL 1B-F)	20 days	Mon 6/11/18	Mon 7/9/18	0%	47	Parkade Foundations(GL 1B-F)																											
45	1.3.1.4 Backfill Parkade Walls	10 days	Tue 7/10/18	Mon 7/23/18	0%	44	Backfill Parkade Walls																											
46	1.3.1.5 M&E Rough In	250 days	Mon 6/11/18	Wed 6/5/19	0%	44SS	M&E Rough In																											
47	1.3.1.6 Footings/Column/Wall	80 days	Mon 12/18/17	Tue 4/17/18	0%	43	Footings/Column/Wall																											
48	1.3.1.7 SOG(at suspended)	20 days	Mon 3/19/18	Tue 4/17/18	0%	47FS-20 days	SOG(at suspended)																											
49	1.3.1.8 Suspended Slabs area AB	55 days	Fri 6/8/18	Mon 8/27/18	0%	48	Suspended Slabs area AB																											
50	1.3.1.9 Structural Steel	98.5 days	Tue 6/19/18	Thu 11/8/18	0%		Structural Steel																											
51	1.3.1.9.1 div 1	10 days	Tue 6/19/18	Tue 7/3/18	0%	49SS+7 days	div 1																											
52	1.3.1.9.2 div 2 refrigeration	10 days	Mon 7/9/18	Fri 7/20/18	0%	51	div 2 refrigeration																											
53	1.3.1.9.3 div 3&4 rink 2	3 wks	Mon 7/23/18	Mon 8/13/18	0%	52	div 3&4 rink 2																											
54	1.3.1.9.4 div 5 library	1.5 wks	Tue 8/14/18	Thu 8/23/18	0%	53	div 5 library																											
55	1.3.1.9.5 div 6 corridor	2 wks	Thu 8/23/18	Fri 9/7/18	0%	54	div 6 corridor																											
56	1.3.1.9.6 div 7 & 8 rink 3	3 wks	Fri 9/21/18	Mon 10/15/18	0%	55FS+2 wks	div 7 & 8 rink 3																											
57	1.3.1.9.7 Metal Decking	65 days	Wed 7/25/18	Mon 10/29/18	0%	51,56FF+10 day	Metal Decking																											
58	1.3.1.9.8 IMP cladding install	50.5 days	Tue 8/28/18	Thu 11/8/18	0%		IMP cladding install																											
59	1.3.1.9.8.1 IMP to refrigeration	1.5 wks	Wed 9/26/18	Fri 10/5/18	0%	60	IMP to refrigeration																											
60	1.3.1.9.8.2 IMP to rink 2	4 wks	Tue 8/28/18	Tue 9/25/18	0%	52FS+5 wks	IMP to rink 2																											
61	1.3.1.9.8.3 IMP above change rooms	2 wks	Mon 10/15/18	Mon 10/29/18	0%	60,56	IMP above change rooms																											
62	1.3.1.9.8.4 IMP to rink 3	8 days	Mon 10/29/18	Thu 11/8/18	0%	61,57	IMP to rink 3																											
63	1.3.1.10 Roofing	107.5 days	Wed 9/19/18	Fri 2/22/19	0%	57SS+30 days	Roofing																											
64	1.3.1.10.1 roofing div 1 & 2	10 days	Fri 11/16/18	Thu 11/29/18	0%	65	roofing div 1 & 2																											
65	1.3.1.10.2 roofing div 3& 4	40 days	Wed 9/19/18	Thu 11/15/18	0%	60FS-1 wk	roofing div 3& 4																											
66	1.3.1.10.3 roofing div 5	15 days	Fri 2/1/19	Fri 2/22/19	0%	68	roofing div 5																											
67	1.3.1.10.4 roofing div 6	15 days	Fri 2/1/19	Fri 2/22/19	0%	66SS	roofing div 6																											
68	1.3.1.10.5 roofing div 7& 8	25 days	Fri 12/28/18	Fri 2/1/19	0%	73,62,75	roofing div 7& 8																											
69	1.3.1.11 Exterior steel stud/densglass	115.5 days	Wed 8/1/18	Fri 1/18/19	0%		Exterior steel stud/densglass																											
70	1.3.1.11.1 steel stud framing to div 1 exterior	4 days	Wed 8/1/18	Tue 8/7/18	0%	51SF+5 days	steel stud framing to div 1 exterior																											
71	1.3.1.11.2 steel stud framing div 2 exterior	3 wks	Wed 8/8/18	Tue 8/28/18	0%	70	steel stud framing div 2 exterior																											
72	1.3.1.11.3 steel stud framing div 5 exterior	3 wks	Fri 12/28/18	Fri 1/18/19	0%	73	steel stud framing div 5 exterior																											
73	1.3.1.11.4 steel stud framing div 6 exterior	5 wks	Tue 11/20/18	Fri 12/28/18	0%	55FS+10 wks	steel stud framing div 6 exterior																											
74	1.3.1.11.5 steel stud framing div 6 interior	3 wks	Fri 12/28/18	Fri 1/18/19	0%	73	steel stud framing div 6 interior																											
75	1.3.1.11.6 steel stud to facia div 7&8	15 days	Tue 11/20/18	Tue 12/11/18	0%	57FS+3 wks	steel stud to facia div 7&8																											
76	1.3.1.12 Interior steel stud/drywall/ceilings	185 days	Wed 8/8/18	Wed 5/1/19	0%	128SS	Interior steel stud/drywall/ceilings																											
77	1.3.1.12.1 level 2 mechanical room framing	3 days	Wed 8/8/18	Fri 8/10/18	0%	70	level 2 mechanical room framing																											
78	1.3.1.12.2 level 2 div 2 area framing	3 wks	Mon 12/3/18	Fri 12/21/18	0%	71FS+13 wks	level 2 div 2 area framing																											
79	1.3.1.12.3 level 1 elevator 2 lobby framing	5 days	Thu 2/21/19	Wed 2/27/19	0%	78FS+8 wks	level 1 elevator 2 lobby framing																											
80	1.3.1.12.4 level 2 ceilings grid 1b11 to 1A7 framing	20 days	Thu 12/27/18	Wed 1/23/19	0%	78	level 2 ceilings grid 1b11 to 1A7 framing																											
81	1.3.1.12.5 library level 1 framing	5 days	Fri 3/15/19	Fri 3/22/19	0%	126	library level 1 framing																											





## PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE

### April 16th 2019 - Update

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ID	Task Name	Duration	Start	Finish	% Comp	Predecessors																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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82	1.3.1.12.6 library level 2 framing	5 days	Fri 3/22/19	Fri 3/29/19	0%	81																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								</



## PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE

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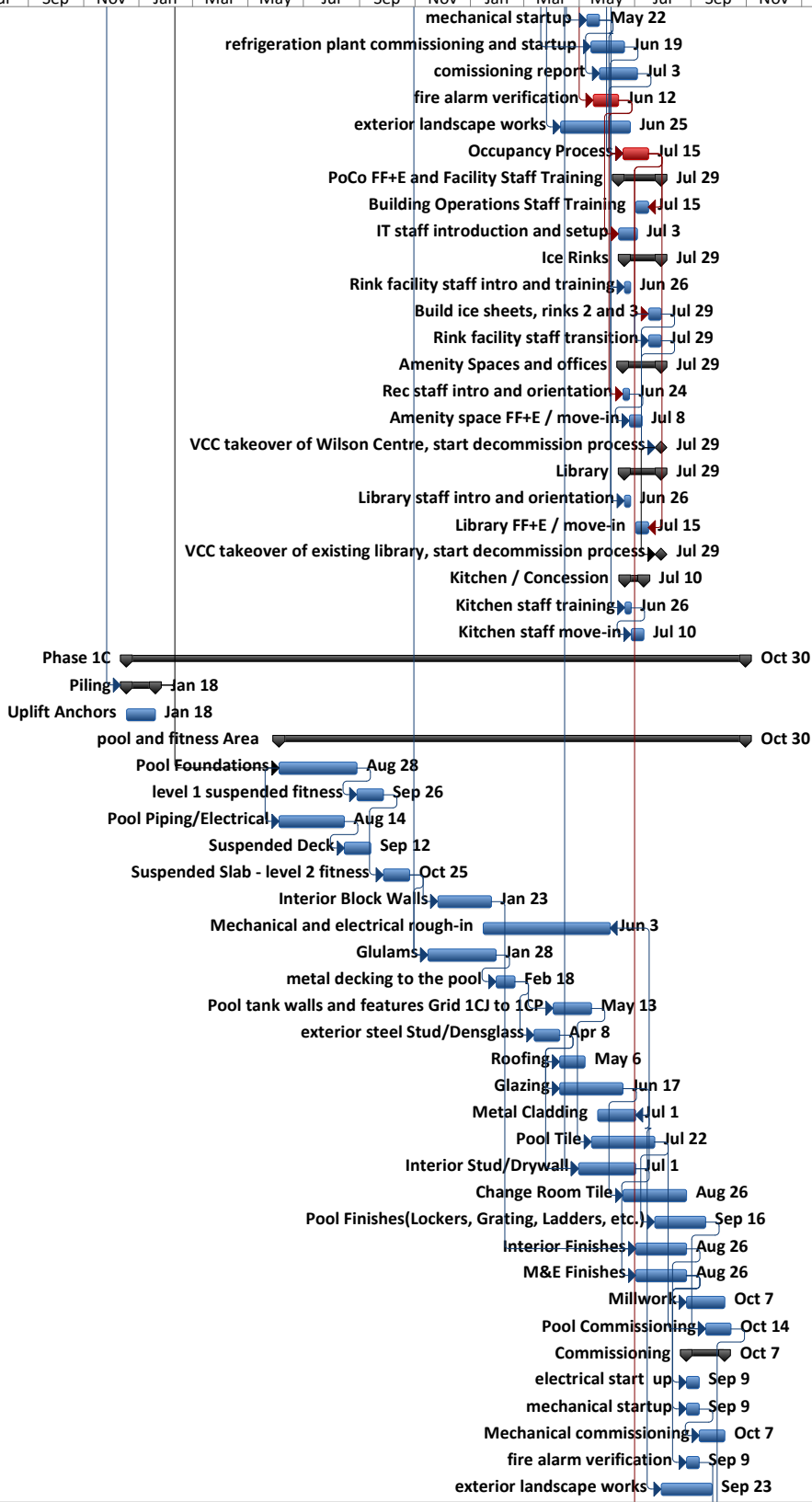
ID	Task Name	Duration	Start	Finish	% Comp	Predecessors
138	1.3.1.19 Interior Finishes	134 days	Tue 12/18/18	Wed 6/26/19	0%	
139	1.3.1.19.1 interior painting	100 days	Thu 1/10/19	Wed 5/29/19	0%	85SS+2 wks
140	1.3.1.19.2 roll up doors	2 wks	Mon 4/1/19	Mon 4/15/19	0%	112FS+1 mon
141	1.3.1.19.3 rubber skate floor installation	6 wks	Thu 4/18/19	Wed 5/29/19	0%	86FS+4 wks
142	1.3.1.19.4 polished concrete floors	6 wks	Thu 5/2/19	Wed 6/12/19	0%	85
143	1.3.1.19.5 sheet flooring installation	4 wks	Thu 5/2/19	Wed 5/29/19	0%	139FS-20 days
144	1.3.1.19.6 ceramic tile	8 wks	Tue 12/18/18	Thu 2/14/19	0%	129FS+3.6 mon
145	1.3.1.19.7 pedimats	5 days	Thu 6/20/19	Wed 6/26/19	0%	141FS+3 wks
146	1.3.1.19.8 Millwork	30 days	Thu 5/2/19	Wed 6/12/19	0%	143FS-1 mon
147	1.3.1.19.9 sliding grills	1 wk	Thu 6/13/19	Wed 6/19/19	0%	142
148	1.3.1.19.10 doors and hardware installation	5 mons	Thu 1/10/19	Wed 5/29/19	0%	139SS
149	1.3.1.20 Mechanical and electrical	265 days	Mon 6/4/18	Wed 6/19/19	0%	
150	1.3.1.20.1 mechanical and electrical roughin	190 days	Mon 6/4/18	Wed 3/6/19	0%	
151	1.3.1.20.2 fire sprinkler system install	125 days	Mon 11/5/18	Fri 5/3/19	0%	84FF+3 wks
152	1.3.1.20.3 M&E Finishes	60 days	Thu 3/28/19	Wed 6/19/19	0%	139FS-45 days
153	1.3.1.20.4 Fire alarm installation	115 days	Mon 12/3/18	Wed 5/15/19	0%	78FS-3 wks
154	1.3.1.21 Div 9 admin and kitchen grid 1c6 to 1c13	146 days	Mon 6/4/18	Thu 1/3/19	0%	
155	1.3.1.21.1 Basement Foundations & slab on grade div 9	50 days	Mon 6/4/18	Tue 8/14/18	0%	219
156	1.3.1.21.2 Suspended Slab - Level 1 kitchen	20 days	Wed 8/22/18	Wed 9/19/18	0%	155FS+5 days
157	1.3.1.21.3 suspended slab level 2 admin	10 days	Thu 9/27/18	Thu 10/11/18	0%	156FS+5 days
158	1.3.1.21.4 Structural Steel div 9 Grid 1C-8 to 1C-13	10 days	Wed 10/31/18	Wed 11/14/18	0%	157FS+13 days
159	1.3.1.21.5 Metal Decking div 9 Grid 1C-8 to 1C-13	5 days	Tue 11/13/18	Mon 11/19/18	0%	158FS-2 days
160	1.3.1.21.6 Exterior steel stud/densglass	2 wks	Tue 12/18/18	Thu 1/3/19	0%	159FS+1 mon
161	1.3.1.22 Div 9 - Metal cladding	20 days	Fri 5/3/19	Fri 5/31/19	0%	
162	1.3.1.22.1 metal cladding to Div 9	20 days	Fri 5/3/19	Fri 5/31/19	0%	98FS-1 mon
163	1.3.1.23 Div-9 Glazing	30 days	Fri 3/1/19	Thu 4/11/19	0%	
164	1.3.1.23.1 exterior glazing	4 wks	Fri 3/1/19	Thu 3/28/19	0%	160FS+2 mons
165	1.3.1.23.2 interior glazing	2 wks	Fri 3/29/19	Thu 4/11/19	0%	164
166	1.3.1.24 interior block walls	20 days	Tue 11/20/18	Mon 12/17/18	0%	159
167	1.3.1.25 interior stud and drywall div 9	20 days	Fri 3/15/19	Thu 4/11/19	0%	164FS-2 wks
168	1.3.1.26 Div 9 Commercial Kitchen	69 days	Fri 3/15/19	Wed 6/19/19	0%	
169	1.3.1.26.1 Ceramic tile	10 days	Fri 3/15/19	Thu 3/28/19	0%	166FS+3 mons
170	1.3.1.26.2 FRP	4 days	Fri 3/29/19	Wed 4/3/19	0%	169
171	1.3.1.26.3 Kitchen Buildout	2 mons	Thu 4/4/19	Wed 5/29/19	0%	170
172	1.3.1.26.4 Commissioning	2 wks	Thu 5/30/19	Wed 6/12/19	0%	171
173	1.3.1.26.5 Fraser Health Inspections and Certification	1 wk	Thu 6/13/19	Wed 6/19/19	0%	172
174	1.3.1.27 Div 9 Interior Finishes	55 days	Fri 3/29/19	Thu 6/13/19	0%	
175	1.3.1.27.1 interior painting	15 days	Fri 4/12/19	Thu 5/2/19	0%	167
176	1.3.1.27.2 sheet flooring installation	20 days	Fri 5/3/19	Thu 5/30/19	0%	175
177	1.3.1.27.3 ceramic tile	20 days	Fri 3/29/19	Thu 4/25/19	0%	169
178	1.3.1.27.4 carpet installation	10 days	Fri 5/31/19	Thu 6/13/19	0%	176
179	1.3.1.27.5 doors and hardware installation	15 days	Fri 5/3/19	Thu 5/23/19	0%	175
180	1.3.1.27.6 Millwork	15 days	Fri 5/24/19	Thu 6/13/19	0%	179
181	1.3.1.28 Div 9 Mechanical and electrical	137 days	Tue 11/20/18	Mon 6/3/19	0%	
182	1.3.1.28.1 mechanical and electrical roughin	75 days	Tue 11/20/18	Thu 3/7/19	0%	166SS
183	1.3.1.28.2 fire sprinkler system install	20 days	Fri 4/26/19	Thu 5/23/19	0%	167SS+30 days
184	1.3.1.28.3 Fire alarm installation	90 days	Fri 1/11/19	Thu 5/16/19	0%	175FF+2 wks
185	1.3.1.28.4 M&E Finishes	30 days	Fri 5/3/19	Thu 6/13/19	0%	175
186	1.3.1.28.5 Div 12 Crane infill	67 days	Fri 3/1/19	Mon 6/3/19	0%	160FS+2 mons



PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE  
April 16th 2019 - Update

Ventana Construction Corporation  
3875 Henning Dr. || Burnaby, BC || V5C 6N5  
Office 604.291.9000  
Fax 604.291.9992  
Web VentanaConstruction.com

ID	Task Name	Duration	Start	Finish	% Comp	Predecessors																								
							2018														2020									
							Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	
194	1.3.1.29.2 mechanical startup	10 days	Thu 5/9/19	Wed 5/22/19	0%	193SS+5 days																								
195	1.3.1.29.3 refrigeration plant commissioning and startup	27 days	Mon 5/13/19	Wed 6/19/19	0%	112FS+2.5 mon																								
196	1.3.1.29.4 comissioning report	30 days	Thu 5/23/19	Wed 7/3/19	0%	194																								
197	1.3.1.29.5 fire alarm verification	20 days	Thu 5/16/19	Wed 6/12/19	0%	153																								
198	1.3.1.30 exterior landscape works	55 days	Wed 4/10/19	Tue 6/25/19	0%	90																								
199	1.3.1.31 Occupancy Process	20 days	Tue 6/18/19	Mon 7/15/19	0%	197FS+3 days,1																								
200	1.3.1.32 PoCo FF+E and Facility Staff Training	33 days	Thu 6/13/19	Mon 7/29/19	0%																									
201	1.3.1.32.1 Building Operations Staff Training	2 wks	Tue 7/2/19	Mon 7/15/19	0%	199FF																								
202	1.3.1.32.2 IT staff introduction and setup	3 wks	Thu 6/13/19	Wed 7/3/19	0%	197																								
203	1.3.1.32.3 Ice Rinks	28.5 days	Wed 6/19/19	Mon 7/29/19	0%																									
204	1.3.1.32.3.1 Rink facility staff intro and training	1 wk	Wed 6/19/19	Wed 6/26/19	0%	195																								
205	1.3.1.32.3.2 Build ice sheets, rinks 2 and 3	2 wks	Tue 7/16/19	Mon 7/29/19	0%	199																								
206	1.3.1.32.3.3 Rink facility staff transition	2 wks	Tue 7/16/19	Mon 7/29/19	0%	205SS																								
207	1.3.1.32.4 Amenity Spaces and offices	30 days	Tue 6/18/19	Mon 7/29/19	0%																									
208	1.3.1.32.4.1 Rec staff intro and orientation	1 wk	Tue 6/18/19	Mon 6/24/19	0%	199SS																								
209	1.3.1.32.4.2 Amenity space FF+E / move-in	2 wks	Tue 6/25/19	Mon 7/8/19	0%	208																								
210	1.3.1.32.4.3 VCC takeover of Wilson Centre, start decommission	0 days	Mon 7/29/19	Mon 7/29/19	0%	206,205																								
211	1.3.1.32.5 Library	28.5 days	Wed 6/19/19	Mon 7/29/19	0%																									
212	1.3.1.32.5.1 Library staff intro and orientation	1 wk	Wed 6/19/19	Wed 6/26/19	0%	204SS																								
213	1.3.1.32.5.2 Library FF+E / move-in	2 wks	Tue 7/2/19	Mon 7/15/19	0%	199FF																								
214	1.3.1.32.5.3 VCC takeover of existing library, start decommission	0 days	Mon 7/29/19	Mon 7/29/19	0%	210SS																								
215	1.3.1.32.6 Kitchen / Concession	15 days	Thu 6/20/19	Wed 7/10/19	0%																									
216	1.3.1.32.6.1 Kitchen staff training	1 wk	Thu 6/20/19	Wed 6/26/19	0%	173																								
217	1.3.1.32.6.2 Kitchen staff move-in	2 wks	Thu 6/27/19	Wed 7/10/19	0%	216																								
218	1.3.1.33 Phase 1C	472 days	Mon 12/18/18	Wed 10/30/19	0%																									
219	1.3.1.33.1 Piling	20 days	Mon 12/18/18	Thu 1/18/18	0%	43																								
220	1.3.1.33.1.1 Uplift Anchors	20 days	Mon 12/18/18	Thu 1/18/18	0%																									
221	1.3.1.33.2 pool and fitness Area	360 days	Mon 6/4/18	Wed 10/30/19	0%																									
222	1.3.1.33.2.1 Pool Foundations	60 days	Mon 6/4/18	Tue 8/28/18	0%	219																								
223	1.3.1.33.2.2 level 1 suspended fitness	20 days	Wed 8/29/18	Wed 9/26/18	0%	222																								
224	1.3.1.33.2.3 Pool Piping/Electrical	50 days	Mon 6/4/18	Tue 8/14/18	0%	222SS																								
225	1.3.1.33.2.4 Suspended Deck	20 days	Wed 8/15/18	Wed 9/12/18	0%	224																								
226	1.3.1.33.2.5 Suspended Slab - level 2 fitness	20 days	Thu 9/27/18	Thu 10/25/18	0%	223																								
227	1.3.1.33.2.6 Interior Block Walls	40 days	Mon 11/26/18	Wed 1/23/19	0%	226FS+20 days																								
228	1.3.1.33.2.7 Mechanical and electrical rough-in	100 days	Tue 1/15/19	Mon 6/3/19	0%	237FF-20 days																								
229	1.3.1.33.2.8 Glulams	50 days	Thu 11/15/18	Mon 1/28/19	0%	158,226																								
230	1.3.1.33.2.9 metal decking to the pool	15 days	Tue 1/29/19	Mon 2/18/19	0%	229																								
231	1.3.1.33.2.10 Pool tank walls and features Grid 1CJ to 1CP	30 days	Tue 4/2/19	Mon 5/13/19	0%	230FS+1.5 mon																								
232	1.3.1.33.2.11 exterior steel Stud/Densglass	20 days	Tue 3/12/19	Mon 4/8/19	0%	230FS+3 wks																								
233	1.3.1.33.2.12 Roofing	20 days	Tue 4/9/19	Mon 5/6/19	0%	232																								
234	1.3.1.33.2.13 Glazing	50 days	Tue 4/9/19	Mon 6/17/19	0%	232																								
235	1.3.1.33.2.14 Metal Cladding	30 days	Tue 5/21/19	Mon 7/1/19	0%	234FF+2 wks																								
236	1.3.1.33.2.15 Pool Tile	50 days	Tue 5/14/19	Mon 7/22/19	0%	231																								
237	1.3.1.33.2.16 Interior Stud/Drywall	45 days	Tue 4/30/19	Mon 7/1/19	0%	233SS+15 days,																								
238	1.3.1.33.2.17 Change Room Tile	50 days	Tue 6/18/19	Mon 8/26/19	0%	234																								
239	1.3.1.33.2.18 Pool Finishes(Lockers, Grating, Ladders, etc.)	40 days	Tue 7/23/19	Mon 9/16/19	0%	236																								
240	1.3.1.33.2.19 Interior Finishes	40 days	Tue 7/2/19	Mon 8/26/19	0%	237,227																								
241	1.3.1.33.2.20 M&E Finishes	40 days	Tue 7/2/19	Mon 8/26/19	0%	240SS																								
242	1.3.1.33.2.21 Millwork	30 days	Tue 8/27/19	Mon 10/7/19	0%	240																								
243	1.3.1.33.2.22 Pool Commissioning	20 days	Tue 9/17/19	Mon 10/14/19	0%	236,239																								
244	1.3.1.33.2.23 Commissioning	30 days	Tue 8/27/19	Mon 10/7/19	0%																									
245	1.3.1.33.2.23.1 electrical start up	10 days	Tue 8/27/19	Mon 9/9/19	0%	241																								
246	1.3.1.33.2.23.2 mechanical startup	10 days	Tue 8/27/19	Mon 9/9/19	0%	241																								
247	1.3.1.33.2.23.3 Mechanical commissioning	20 days	Tue 9/10/19	Mon 10/7/19	0%	246																								
248	1.3.1.33.2.23.4 fire alarm verification	10 days	Tue 8/27/19	Mon 9/9/19	0%	241																								
249	1.3.1.33.2.24 exterior landscape works	40 days	Tue 7/30/19	Mon 9/23/19	0%	235FS+1 mon																								







## PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE

**Ventana Construction Corporation**  
3875 Henning Dr. || Burnaby, BC || V5C 6N5  
Office 604.291.9000  
Fax 604.291.9992  
Web [VentanaConstruction.com](http://VentanaConstruction.com)

ID	Task Name	Duration	Start	Finish	% Comp	Predecessors																												
							2018														2020													
							Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep					
250	1.3.1.33.2.25 Occupancy Process	12 days	Tue 10/15/19	Wed 10/30/19	0%	248,243																												
251	1.3.2 Phase 2	595 days	Tue 7/16/19	Mon 10/25/21	0%																													
252	1.3.2.1 Demo	90 days	Tue 7/16/19	Mon 11/18/19	0%																													
253	1.3.2.1.1 Existing Rink Abatement	60 days	Tue 7/16/19	Mon 10/7/19	0%	199																												
254	1.3.2.1.2 Make Safes and Demolition	60 days	Tue 8/27/19	Mon 11/18/19	0%	253SS+30 days																												
255	1.3.2.1.3 Existing library abatement	4 wks	Tue 7/16/19	Mon 8/12/19	0%	253SS																												
256	1.3.2.1.4 Library make safes and demolition	2 mons	Tue 8/13/19	Mon 10/7/19	0%	255																												
257	1.3.2.2 Phase 2ABC	535 days	Tue 10/8/19	Mon 10/25/21	0%																													
258	1.3.2.2.1 Phase 2A	455 days	Tue 10/8/19	Mon 7/5/21	0%																													
259	1.3.2.2.1.1 Bulk Excavation	20 days	Tue 10/8/19	Mon 11/4/19	0%	254FS-30 days																												
260	1.3.2.2.1.2 Piling	30 days	Tue 11/5/19	Mon 12/16/19	0%	259																												
261	1.3.2.2.1.3 Backfill	15 days	Tue 12/17/19	Mon 1/6/20	0%	260																												
262	1.3.2.2.1.4 M&E Rough In	200 days	Tue 12/17/19	Mon 9/21/20	0%	261SS,260																												
263	1.3.2.2.1.5 Footings/Column/Wall	50 days	Tue 1/7/20	Mon 3/16/20	0%	261,260																												
264	1.3.2.2.1.6 SOG	15 days	Tue 3/17/20	Mon 4/6/20	0%	263																												
265	1.3.2.2.1.7 Suspended Slabs/Bleachers	60 days	Tue 4/7/20	Mon 6/29/20	0%	264																												
266	1.3.2.2.1.8 Structural Steel	40 days	Tue 10/6/20	Mon 11/30/20	0%	265,286																												
267	1.3.2.2.1.9 Metal Decking	20 days	Tue 12/1/20	Mon 12/28/20	0%	266,287																												
268	1.3.2.2.1.10 Roofing	50 days	Tue 12/29/20	Mon 3/8/21	0%	267,288																												
269	1.3.2.2.1.11 Insulated Metal Panel	50 days	Tue 12/29/20	Mon 3/8/21	0%	267,268SS																												
270	1.3.2.2.1.12 Glazing	40 days	Tue 3/9/21	Mon 5/3/21	0%	269																												
271	1.3.2.2.1.13 Interior Block Walls	50 days	Tue 3/9/21	Mon 5/17/21	0%	268																												
272	1.3.2.2.1.14 Rink Slab	45 days	Tue 3/9/21	Mon 5/10/21	0%	268																												
273	1.3.2.2.1.15 Dasher Boards	20 days	Tue 5/11/21	Mon 6/7/21	0%	272																												
274	1.3.2.2.1.16 Interior Steel Stud/Drywall	35 days	Tue 3/9/21	Mon 4/26/21	0%	268																												
275	1.3.2.2.1.17 Interior Finishes	30 days	Tue 4/27/21	Mon 6/7/21	0%	268,274																												
276	1.3.2.2.1.18 M&E Finishes	15 days	Tue 6/1/21	Mon 6/21/21	0%	275FF+10 days																												
277	1.3.2.2.1.19 Millwork	20 days	Tue 5/25/21	Mon 6/21/21	0%	276FF																												
278	1.3.2.2.1.20 Commissioning	10 days	Tue 6/22/21	Mon 7/5/21	0%	272,273,276																												
279	1.3.2.2.2 Phase 2C(GL 1B-F - 2B-E)	435 days	Tue 11/5/19	Mon 7/5/21	0%																													
280	1.3.2.2.2.1 Bulk Excavation	30 days	Tue 11/5/19	Mon 12/16/19	0%	259																												
281	1.3.2.2.2.2 Piling(Balance)	50 days	Tue 12/17/19	Mon 2/24/20	0%	260																												
282	1.3.2.2.2.3 Parkade Foundations(GL 1B-F - 2B-E)	40 days	Tue 1/14/20	Mon 3/9/20	0%	281SS+20 days																												
283	1.3.2.2.2.4 M&E Rough In	200 days	Tue 1/14/20	Mon 10/19/20	0%	282SS																												
284	1.3.2.2.2.5 SOG(GL 1B-F - 2B-E)	30 days	Tue 3/10/20	Mon 4/20/20	0%	282																												
285	1.3.2.2.2.6 Suspended Slab(GL 1B-F - 2B-E)	60 days	Tue 4/21/20	Mon 7/13/20	0%	284																												
286	1.3.2.2.2.7 Structural Steel	60 days	Tue 7/14/20	Mon 10/5/20	0%	285																												
287	1.3.2.2.2.8 Metal Decking	25 days	Tue 10/6/20	Mon 11/9/20	0%	286																												
288	1.3.2.2.2.9 Roofing	20 days	Tue 11/10/20	Mon 12/7/20	0%	287																												
289	1.3.2.2.2.10 Metal Cladding	50 days	Tue 11/10/20	Mon 1/18/21	0%	288SS																												



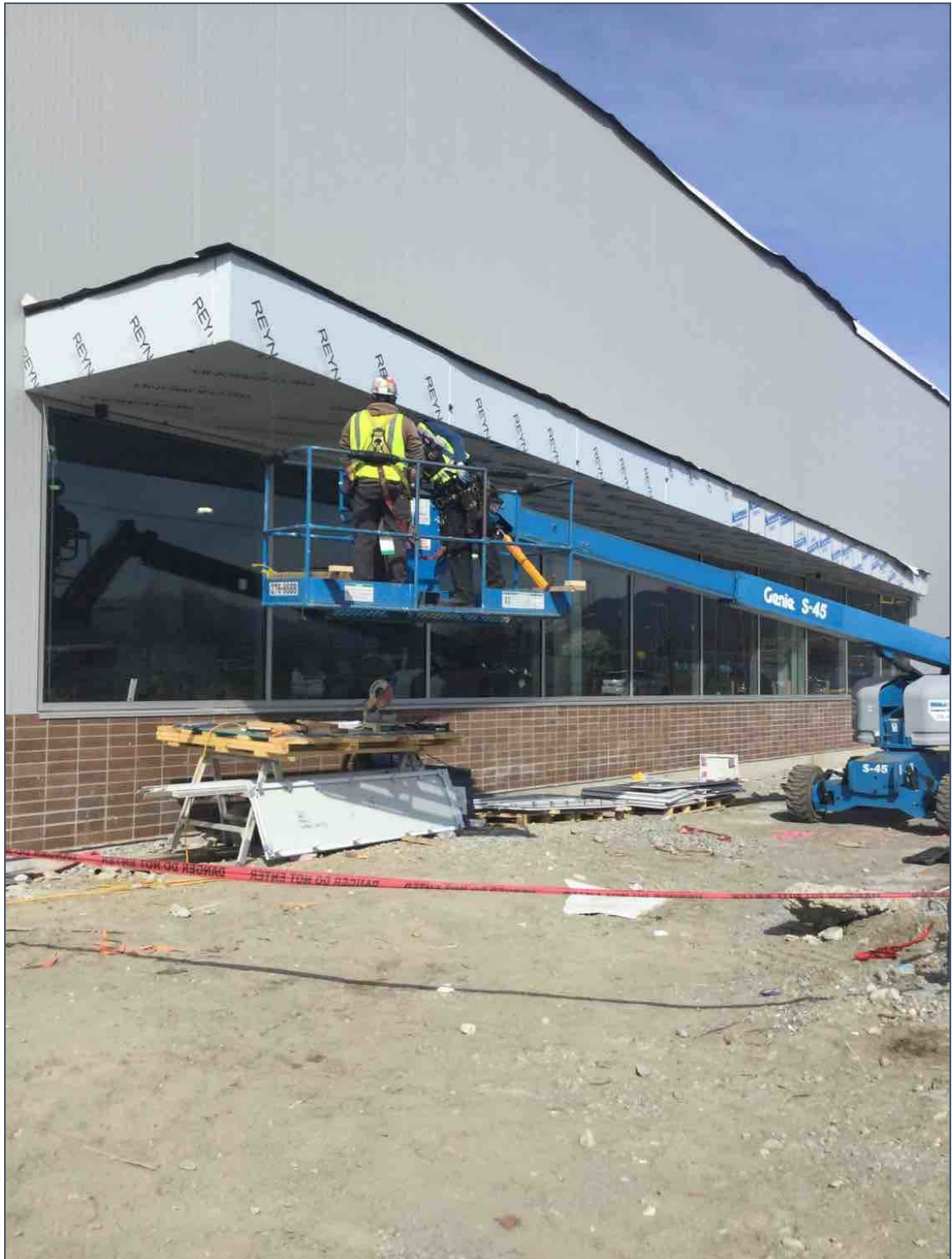
PORT COQUITLAM COMMUNITY RECREATION COMPLEX - OWNER'S SCHEDULE  
April 16th 2019 - Update

Ventana Construction Corporation  
3875 Henning Dr. || Burnaby, BC || V5C 6N5  
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ID	Task Name	Duration	Start	Finish	% Compl	Predecessors																												
							2018													2020														
							Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul	Sep	Nov	Jan	Mar	May	Jul
306	1.3.2.2.3.10 Line Painting	20 days	Tue 6/1/21	Mon 6/28/21	0%	302	Line Painting Jun 28																											
307	1.3.2.2.3.11 Hard / Soft Landscaping	120 days	Tue 4/20/21	Mon 10/4/21	0%	304,305SS	Hard / Soft Landscaping																											
308	1.3.2.2.3.12 M&E Finishes	60 days	Tue 6/1/21	Mon 8/23/21	0%	302	M&E Finishes Aug 23																											
309	1.3.2.2.3.13 Commissioning and life safety testing	30 days	Tue 8/24/21	Mon 10/4/21	0%	308	Commissioning and life safety testing																											
310	1.3.2.2.3.14 Occupancy Process	15 days	Tue 10/5/21	Mon 10/25/21	0%	309	Occupancy Process																											

## APPENDIX 2

### Progress Photographs – March 2019



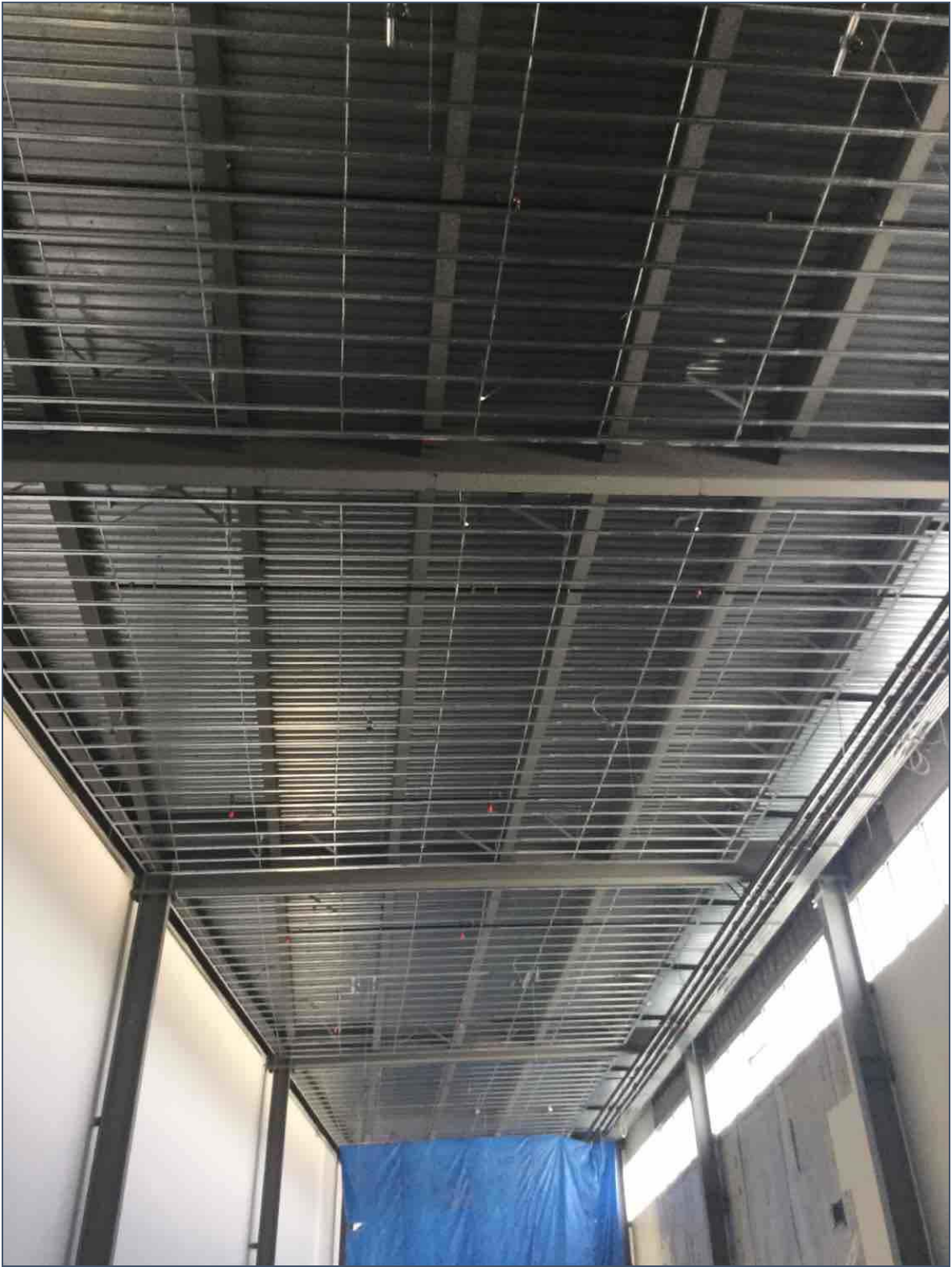
Phase 1A – Cladding Panels to East Elevation Glazing Canopy



Phase 1A – Concessions Fit-Out

Phase1B – Rink 3 Slab Preparation

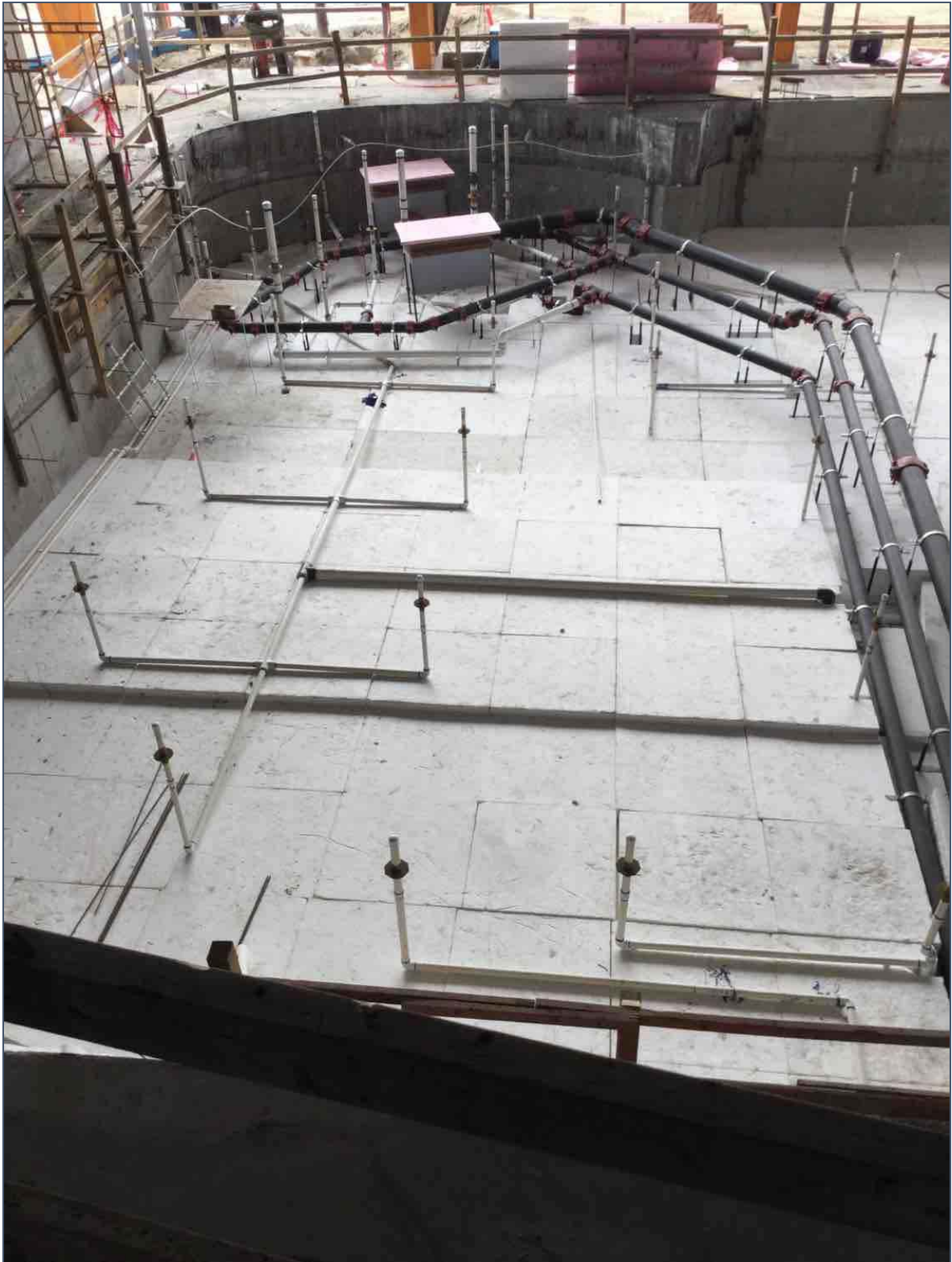




Phase 1B – Ceiling grid for drywall ceiling to public corridor



Phase 1C – Kitchen Fit-Out



Phase 1C – Leisure pool Insulation void filler placed and pool jets installed to sloped entry area

## APPENDIX 3

### Site Inspection Reports: March 2019

# Field Review Report



**Project:** City of Port Coquitlam Community Recreation Complex

**Reporting Date:** 2019-03-04

**Prepared By:** Alun Lewis

**Weather:** Sunny:   x    
Cloudy:   x  

Rain:             
Snow:           

Wind:             
Other:           

**Temperature:** High of:   5    
Low of:  -2 

Tango's Staff: (# on site)		Trade's Manpower: (# on site )	
Superintendents	1	Demolition	2
Engineers		Waterproofing	
Office Staff	1	Insulation	
CSO / First Aid		Spray Insul/Fire Proof	
Carpenters		Caulking/Firestopping	22
Labourers		Concrete Formwork	6
Operators		Roofing	2
		Doors & Hardware	6
		Reinforcing Steel	14
		Windows/Glazing	3
		Structural Steel	7
		Exterior Cladding	13
		Metal Decking	4
		SS/Drywall	15
		Masonry	10
		Drywall Taper	10
		Rough Carpentry	
		Resilient Tile	
		Finish Carpentry	2
		Ceramic Tile	
		Millwork	4
		Elevator	
		Tango's Subtotal	
		Trade's Subtotal	120
		<b>SITE TOTAL</b>	

## JOB DELAYS OR POSSIBLE DELAYS:

Reporting against updated Feb 15th schedule

Schedule has been stacked with some items moved back weeks / months

items 64-68 - (Sept 19 - Feb 22) - All cap flashings to be commenced to roof. Area of roof above changerooms & elec room to have insulation and roof membrane commenced (temp torch on placed at present)

item 76 sub sections - no allowance made for the interior walls to the rink

item 80 - level 2 ceiling grid (Dec 27 - Jan 23) - Not commenced

item 86 - tbar install (Feb 21 - March 20) - Not commenced

item 96 - metal cladding rink 3 exterior (Feb 15 - April 20) - Not commenced

items 120 - 125 - Glazing (Nov 01 - March 12) - All beauty caps to be commenced

item 132 - exterior masonry changerooms (Jan 07 - Jan 18). Not complete. N elevation stagnant

item 133 - exterior masonry rink 2 (Jan 21 - Feb 01). Not complete. E elevation advancing. N elevation stagnant

item 134 - exterior masonry to refrigeratoin (Feb 04 - Feb 15). No prep works commenced

item 135 - elevators. Ahead of schedule

item 140 - roll up doors (Feb 20 - March 5). Not commenced

item 160 - exterior steelstud / densglass (Dec 18 - Jan 03). S elevation of multipurpose rooms and parapet to be completed

item 166 - interior CMU (Nov 20 - Dec 17). Entrance wing walls to changerooms off public corridor to be built

item 167 - interior steelstud & drywall (Jan 04 - Feb 28). Majority of steelstud walls placed. No boarding commenced

item 178 - doors & hardware (March 01 - March 21) - Not commenced

item 179 - interior painting (March 01 - April 11) - Not commenced

item 225 - pool piping / electrical (June 04 - Aug 14). Pool piping advanced slightly & equipment room ibeing loadded out but no works in eight weeks

item 226 - suspended deck (Aug 15 - Sept 12) - Required item above to be completed

item 227 - pool tank walls & features (Aug 15 - Oct 25) - Requiness 2 line items above

item 229 - glulams (Nov 15 - Jan 14). Bolting of installed glulams required. Welding ongoing. Glulam diagonal braces to be installed.

Roof steelwork beams being installed, delaying meta ldeck to SE corner

item 230 - metal decking to pool (Jan 15 - Jan 28). SE corner to complete. Awaiting steel roof beam install to be completed

item 231 - exterior steelstud / demsglass (Jan 29 - Feb 25). Parapet, fascia & soffit commenced to W elevation

item 232 - roofing (Feb 26 - March 25) - Not commenced

item 233 - metal cladding (Feb 26 - May 06) - Not commenced

item 237 - interior block walls (Nov 26 - Jan 23). Male changeroom to complete. Universal changerooms to complete. Stores at W elevation of fitness & weights to complete

item 238 - changeroom tile (Jan 24 - April 03). Thickset to staff areas completed and commenced female washroom thickset

## QAQC

As previously noted and discussed with Ventana

**GENERAL COMMENTS: ( Job progress-schedule items started, not started etc.)**



		Comments
Formwork	6	Phase 1C - Sacking concrete walls
Structural steel	7	Phase 1C - Install steel roof beams over pool to release metal deck. Install glulam and steel bolts
Metal decking	4	Phase 1C - Complete metal deck over offices (div 9) and commence infill (div 12)
Masonry	10	Phase 1A - Exterior masonry to E elevation of rink
		Phase 1C - CMU to stores at W end of weights room. CMU to universal changerooms
Windows	14	Phase 1B - Install interior glazing to 2nd floor library flex room. Caulking and gaskets to public corridor
		Phase 1C - Caulking and gaskets to S elevation of multipurpose rooms
Steelstud / taping	25	Phase 1A - Sanding walls to main floor offices adj skate lobby. Install board, mud and tape walls to rink
		Phase 1B - Sanding walls to skate lobby. Mud & Tape walls to public space
		Phase 1C - Steelstud framing to soffit / fascia / parapet along W elevation of pool / weights
Ceramic tile	2	Phase 1C - Mix & place thickset to female changerooms
Elevator	4	Phase 1A & 1B - Elevator 2 & 1 install works
Painting	2	Phase 1B - Painting to changerooms
Plumbing	22	Phase 1C - Rough in to offices and universal changerooms. PRV install to boiler room. Pool piping.
Mechanical	2	Phase 1C - Fabricate ducting on site
Refrigeration	6	Phase 1A - Pipework and insulation in refrigeration room
Sprinklers	3	Phase 1B - Work to sprinklers along public corridor
Electrical	13	Phase 1C - Pulling wires to CMU walls. Rough in to steelstud walls in offices
		Phase 1B - Pulling wires



# Field Review Report



**Project:** City of Port Coquitlam Community Recreation Complex

**Reporting Date:** 2019-03-11

**Prepared By:** Alun Lewis

**Weather:** Sunny: \_\_\_\_\_ Rain:   x   Wind: \_\_\_\_\_ **Temperature:** High of:   7    
Cloudy:   x   Snow: \_\_\_\_\_ Other: \_\_\_\_\_ Low of:   1  

Tango's Staff: (# on site)		Trade's Manpower: (# on site )					
Superintendents	1	Demolition		Waterproofing		Painting	3
Engineers		Site Work		Insulation		Misc. Specialties	
Office Staff		Landscaping		Spray Insul/Fire Proof		Cleaners	
CSO / First Aid		Paving		Caulking/Firestopping		Plumbing	17
Carpenters		Concrete Formwork	9	Roofing		Mechanical	3
Labourers		Rink prep / conc		Doors & Hardware		Refrigeration	2
Operators		Reinforcing Steel		Windows/Glazing	18	Sprinklers	8
		Structural Steel	7	Exterior Cladding	6	Electrical	17
		Metal Decking	7	SS/Drywall	10	Controls	2
		Masonry	9	Drywall Taper	17	Pool Piping	
		Rough Carpentry		Resilient Tile			
		Finish Carpentry		Ceramic Tile	3	Tango's Subtotal	
		Millwork		Elevator	3	Trade's Subtotal	141
						SITE TOTAL	

## JOB DELAYS OR POSSIBLE DELAYS:

Reporting against updated Feb 15th schedule

items 64-68 - (Sept 19 - Feb 22) - All cap flashings to be commenced to roof. Area of roof above changerooms & elec room to have insulation and roof membrane commenced (temp torch on placed at present)

item 76 sub sections - no allowance made for the interior walls to the rink

item 80 - level 2 ceiling grid (Dec 27 - Jan 23) - Commenced infront of elevator 2

item 86 - tbar install (Feb 21 - March 20) - Not commenced

item 96 - metal cladding rink 3 exterior (Feb 15 - April 20) - Prep works commenced

items 120 - 125 - Glazing (Nov 01 - March 12) - Beauty caps outstanding to exterior glazing

item 133 - exterior masonry rink 2 (Jan 21 - Feb 01). Not complete. N& E elevations progressing

item 134 - exterior masonry to refrigeratoin (Feb 04 - Feb 15). No prep works commenced

item 135 - elevators. Ahead of schedule

item 140 - roll up doors (Feb 20 - March 5). Not commenced

item 160 - exterior steelstud / denglass (Dec 18 - Jan 03). S elevation of multipurpose rooms and parapet to be completed

item 166 - interior CMU (Nov 20 - Dec 17). Entrance wing walls to changerooms off public corridor to be built

item 167 - interior steelstud & drywall (Jan 04 - Feb 28). Majority of steelstud walls placed. No boarding commenced

item 175 - sheet flooring installation (March 01 - April 04). Not commenced (Area not weathertight & heated to allow start)

item 178 - doors & hardware (March 01 - March 21) - Not commenced

item 179 - interior painting (March 01 - April 11) - Not commenced

item 225 - pool piping / electrical (June 04 - Aug 14). Pool piping advanced & equipment room has no work in nine weeks

item 226 - suspended deck (Aug 15 - Sept 12) - Insulation void infill being placed

item 227 - pool tank walls & features (Aug 15 - Oct 25) - Requiness line item above

item 229 - glulams (Nov 15 - Jan 14). Bolting of installed glulams required. Glulam diagonal braces to be installed to pool S elevation. Erecting steelwork for glazing openings

item 230 - metal decking to pool (Jan 15 - Jan 28). Metal deck being screwed down today

item 231 - exterior steelstud / demsglass (Jan 29 - Feb 25). Parapet, fascia & soffit ongoing to S & E elevation

item 232 - roofing (Feb 26 - March 25) - Not commenced

item 233 - metal cladding (Feb 26 - May 06) - Not commenced. No allowance in schedule for masonry to W elevation

item 234 - glazing (Feb 26 - May 20). Not commenced. Openings to 2nd floor S elevation being measured today

item 237 - interior block walls (Nov 26 - Jan 23). Male changeroom to complete. Universal changerooms to complete. Stores at W elevation of fitness & weights to complete

item 238 - changeroom tile (Jan 24 - April 03). Thickset to staff areas ongoing and female washroom thickset complete. No progress since mid last week, due to no heat in this area

## QAQC

As previously noted and discussed with Ventana

Is an FD required in corridor of universal showers (off 1C public corridor)??

GENERAL COMMENTS: ( Job progress-schedule items started, not started etc.)		
		Comments
Formwork	9	Phase 1C - Concrete wall repairs. Strip surge tank falswork
Structural steel	7	Phase 1A - Install handrails to exterior staircase from concessions
		Phase 1B - Install steel plates to door openings
		Phase 1C - Install bolts in glulams. Erect steelwork for glazing openings to S elevatoin of pool
Metal decking	7	Phase 1C - Screw metal deck down over pool (div 11)
Masonry	9	Phase 1A - Masonry to N elevation of rink
		Phase 1C - Prep work along W elevation. CMU walls to universal changerooms to pool
Windows	18	Phase 1C - Install glass & blanking panels to S elevation (main & 2nd floor). Measure openings along 2nd floor S elevation of weights room.
		Phase 1A - Caulking to frames along N elevation of rink
Exterior cladding	6	Phase 1B - Prep for cladding along E & N elevation of public corridor
		Phase 1C - Peal & stick prep to div 10 & div 12 interface wall
Steelstud / tapers	27	Phase 1A - Tape, mud & sand walls to rink. Ceiling frames to 2nd floor public viewing
		Phase 1B - Taping vapour barrier to N elevation of public corridor
		Phase 1C - Mud & sand walls to library. Steelstud parapet to pool roof
Ceramic tile	3	Phase 1C - Commence kitchen floor tile
Elevator	3	Phase 1A - Progress elevator 2
Painting	3	Phase 1A - Spray painting to ceiling mounted M&E pipes in concessions
Plumbing	17	Phase 1C - Sanitary pipework in parkade. Domestic water PRV station pipework
		Phase 1A - 2nd floor mechanical room progress works. Progress water entry room
HVAC	3	Phase 1C - HVAC install to universal changerooms
Refrigeration	2	Phase 1A - Pipe insulation install in refirgeration room
Sprinklers	8	Phase 1B - Sprinkler bracing in library
		Phase 1C - Sprinkler install to 2nd floor offices
Electrical	17	Phase 1A - Wiring panels to electrical room
		Phase 1B - Pulling wires & installing conduit to library 2nd floor
		Phase 1C - Light install to changerooms off public corridor
Controls	2	Phase 1A - Programming to 2nd floor electrical room

# Field Review Report



**Project:** City of Port Coquitlam Community Recreation Complex

**Reporting Date:** 2019-03-18

**Prepared By:** Alun Lewis

**Weather:** Sunny:   x    
Cloudy:           

Rain:             
Snow:           

Wind:             
Other:           

**Temperature:** High of:   14    
Low of:    3  

Tango's Staff: (# on site)		Trade's Manpower: (# on site )	
Superintendents	1	Demolition	3
Engineers		Waterproofing	
Office Staff		Insulation	
CSO / First Aid		Spray Insul/Fire Proof	
Carpenters		Caulking/Firestopping	
Labourers		Plumbing	23
Operators		Concrete Formwork	3
		Roofing	7
		Mechanical	2
		Rink prep / conc	5
		Doors & Hardware	
		Refrigeration	5
		Reinforcing Steel	13
		Windows/Glazing	6
		Sprinklers	6
		Structural Steel	7
		Exterior Cladding	6
		Electrical	18
		Metal Decking	13
		SS/Drywall	
		Controls	
		Masonry	8
		Drywall Taper	5
		Pool Piping	
		Rough Carpentry	
		Resilient Tile	
		Finish Carpentry	2
		Ceramic Tile	
		Millwork	4
		Elevator	
		Tango's Subtotal	
		Trade's Subtotal	125
		<b>SITE TOTAL</b>	

## JOB DELAYS OR POSSIBLE DELAYS:

Reporting against updated Feb 15th schedule

items 64-68 - (Sept 19 - Feb 22) - All cap flashings to be commenced to roof. Area of roof above changerooms & elec room to have insulation and roof membrane commenced (temp torch on placed at present)

item 76 sub sections - no allowance made for the interior walls to the rink

item 80 - level 2 ceiling grid (Dec 27 - Jan 23) - Commenced to elevator 2 (& boarded) and grid to concessions

item 86 - tbar install (Feb 21 - March 20) - Commenced to concessions N corridor & hangers to public viewing

item 96 - metal cladding rink 3 exterior (Feb 15 - April 20) - Prep works commenced

items 120 - 125 - Glazing (Nov 01 - March 12) - Beauty caps outstanding to exterior glazing

item 133 - exterior masonry rink 2 (Jan 21 - Feb 01). Not complete. E elevations progressing & flashings required to top of masonry

item 134 - exterior masonry to refrigeratoin (Feb 04 - Feb 15). No prep works commenced

item 135 - elevators. Ahead of schedule

item 140 - roll up doors (Feb 20 - March 5). Not commenced

item 160 - exterior steelstud / densglass (Dec 18 - Jan 03). S elevation of multipurpose rooms and parapet to be boarded

item 165 - interior glazing (March 01 - March 14). Not complete

item 166 - interior CMU (Nov 20 - Dec 17). Entrance wing walls to changerooms off public corridor to be built

item 167 - interior steelstud & drywall (Jan 04 - Feb 28). Boarding commenced to 2nd floor offices

item 175 - sheet flooring installation (March 01 - April 04). Not commenced (Area not weathertight & heated to allow start)

item 178 - doors & hardware (March 01 - March 21) - Not commenced

item 179 - interior painting (March 01 - April 11) - Not commenced

item 185 - M&E finishes (Feb 05 - March 18). Not commenced.

item 225 - pool piping / electrical (June 04 - Aug 14). Pool piping advanced & equipment room has no work in ten weeks

item 226 - suspended deck (Aug 15 - Sept 12) - Insulation void infill being placed to hot tub

item 227 - pool tank walls & features (Aug 15 - Oct 25) - Requiness line item above

item 229 - glulams (Nov 15 - Jan 14). Bolting of installed steelwork required. Glulam diagonal braces to be installed to pool S elevation.

Erecting steelwork for glazing openings

item 231 - exterior steelstud / densglass (Jan 29 - Feb 25). Parapet, fascia & soffit ongoing

item 232 - roofing (Feb 26 - March 25) - Not commenced

item 233 - metal cladding (Feb 26 - May 06) - Not commenced. No allowance in schedule for masonry to W elevation

item 234 - glazing (Feb 26 - May 20). Not commenced. Openings to 2nd floor S elevation being measured today

item 237 - interior block walls (Nov 26 - Jan 23). Universal changerooms to complete. Stores at W end of fitness & weights to complete

item 238 - changeroom tile (Jan 24 - April 03). Thickset to staff areas ongoing and female washroom thickset complete. No progress for 1 1/2 weeks, due to no heat in this area

QAQC		
As previously noted and discussed with Ventana		
Ventana confirmed the pool piping is not encased in concrete, with the exception of the drain bodies and thrust blocks for change of direction pipework		
GENERAL COMMENTS: ( Job progress-schedule items started, not started etc.)		
		Comments
Formwork	3	Phase 1C - Sacking walls to staircase 1C3
Steelwork	7	Phase 1C - Erect steelwork to S elevation of pool. Fabricate together pieces for erection
Masonry	8	Phase 1A - Masonry prep works along E elevation of rink
		Phase 1C - CMU to W side of roof (condensor & dehumidifier unit location) / E elevation of pool
Roofing	7	Phase 1C - Insulation & membrane to div 9 & 12
Windows	13	Phase 1B - Pressure plates to glazing @ NE of rink. Gaskets to glazing on 2nd floor library interior.
		Gaskets along exterior W elevation of library
Cladding	6	Phase 1B - Prep works and install of metal cladding sheets to public corridor
Steelstud / drywall / tapers	18	Phase 1B - Boarding to S elevation of rink. Insulation install to E elevation of rink. Corner beads to walls on 2nd floor library. Mudding walls to 2nd floor library.
		Phase 1C - Boarding to offices. Steelstud to washrooms and M&E rooms
Ceramic tile	2	Phase 1C - Floor tiling to kitchen
Elevator	4	Phase 1A - Wall install to elevator 2 cab
Painting	3	Phase 1A - Painting to rink walls. Painting to CMU walls
		Phase 1B - Painting to changeroom CMU walls
Plumbing	23	Phase 1A - Install works to 2nd floor mechanical room
		Phase 1B - Install water lines along N elevation of rink to changeroom corridor. Plumbing liens along public corridor
		Phase 1C - RWL connections. Install roof drain to div 12 roof ahead of roofers. Continue works to domestic water PRV in boiler room.
Mechanical	2	Phase 1B - Install HVAC to N elevation of rink
Refrigeration	5	Phase 1A - Pipe insulation and piping to refrigeration room
Sprinklers	6	Phase 1B - Sprinkler main & branches along public corridor
Electrical	18	Phase 1A - Wiring to 2nd floor electrical room
		Phase 1B - Pull wiring in library
		Phase 1C - Install hangers & whips for lights from ceiling. Rough in to offices adj lounge

# Field Review Report



**Project:** City of Port Coquitlam Community Recreation Complex

**Reporting Date:** 2019-03-25

**Prepared By:** Alun Lewis

**Weather:** Sunny:   x    
Cloudy:           

Rain:             
Snow:           

Wind:            **Temperature:** High of:   16    
Other:            Low of:     4    

Tango's Staff: (# on site)		Trade's Manpower: (# on site )					
Superintendents	1	Demolition		Waterproofing		Painting	3
Engineers		Site Work		Insulation		Misc. Specialties	
Office Staff		Landscaping		Spray Insul/Fire Proof		Cleaners	
CSO / First Aid		Paving		Caulking/Firestopping		Plumbing	21
Carpenters		Concrete Formwork	10	Roofing	4	Mechanical	3
Labourers		Rink prep / conc		Doors & Hardware		Refrigeration	1
Operators		Reinforcing Steel		Windows/Glazing	9	Sprinklers	8
		Structural Steel	2	Exterior Cladding	8	Electrical	18
		Metal Decking		SS/Drywall	17	Controls	
		Masonry	7	Drywall Taper	10	Pool Piping	
		Rough Carpentry		Resilient Tile			
		Finish Carpentry		Ceramic Tile	2	Tango's Subtotal	
		Millwork		Elevator	4	Trade's Subtotal	127
						<b>SITE TOTAL</b>	

## JOB DELAYS OR POSSIBLE DELAYS:

Reporting against updated Feb 15th schedule

items 64-68 - (Sept 19 - Feb 22) - All cap flashings to be commenced to roof. Area of roof above changerooms & elec room to have insulation and roof membrane commenced (temp torch on placed at present)

item 80 - level 2 ceiling grid (Dec 27 - Jan 23) - Commenced to elevator 2 (& boarded) and grid to concessions

item 86 - tbar install (Feb 21 - March 20) - Tbar grid installed

item 96 - metal cladding rink 3 exterior (Feb 15 - April 20) - Cladding commenced

item 133 - exterior masonry rink 2 (Jan 21 - Feb 01). All elevations flashings required to top of masonry

item 134 - exterior masonry to refrigeratoin (Feb 04 - Feb 15). No prep works commenced

item 135 - elevators. Ahead of schedule

item 140 - roll up doors (Feb 20 - March 5). Not commenced

item 165 - interior glazing (March 01 - March 14). Not complete

item 167 - interior steelstud & drywall (Jan 04 - Feb 28). Boarding commenced to 2nd floor offices

item 175 - sheet flooring installation (March 01 - April 04). Not commenced (Area not weathertight & heated to allow start)

item 178 - doors & hardware (March 01 - March 21) - Not commenced

item 179 - interior painting (March 01 - April 11) - Not commenced

item 185 - M&E finishes (Feb 05 - March 18). Not commenced.

item 225 - pool piping / electrical (June 04 - Aug 14). Pool piping advancing to hot tub & equipment room has no work in ten weeks

item 226 - suspended deck (Aug 15 - Sept 12) - Insulation void infill being placed to hot tub

item 227 - pool tank walls & features (Aug 15 - Oct 25) - Requiress line item above

item 229 - glulams (Nov 15 - Jan 14). Bolting of installed steelwork required. Glulam diagonal braces to be installed to pool S elevation.

Welding of wind bracing ongoing

item 231 - exterior steelstud / densglass (Jan 29 - Feb 25). Parapet, fascia & soffit ongoing

item 232 - roofing (Feb 26 - March 25) - Not commenced

item 233 - metal cladding (Feb 26 - May 06) - Not commenced. No allowance in schedule for masonry to W elevation

item 234 - glazing (Feb 26 - May 20). Not commenced.

item 237 - interior block walls (Nov 26 - Jan 23). Stores at W end of fitness & weights to complete

item 238 - changeroom tile (Jan 24 - April 03). Thickset to staff areas ongoing and female washroom thickset complete. Male changerooms now have heat and screed levelling packs have been set

## QAQC

As previously noted and discussed with Ventana

Electrical whips have been laid over top of pool metal dec kadn drilled through. This will lead to moist vapour drive from the pool above the metal deck and rusting of the metal deck from above. To be discussed at meeting. Grommets to be used to seal the metal deck - electrical whip holes

GENERAL COMMENTS: ( Job progress-schedule items started, not started etc.)		
		Comments
Formwork	10	Phase 1C - Grinding wall to main floor corridor opposite changerooms.
		Phase 1A - Formwork to player & penalty box benches
Steelwork	2	Phase 1C - Bolting and welding steelwork & glulam connections
Masonry	7	Phase 1C - Masonry to W elevation of fitness area. CMU to E elevation of pool / W side of roof
		top mech room. Prep ahead of masonry to W elevation of pool
Roofing	4	Phase 1C - Insulation and membrane to div 12
Windows	9	Phase 1C - Measure for openings to multipurpose rooms. Install glass, gaskets and caps to
		lounge - café glazing. Install glass to offices to W side of lounge
Cladding	8	Phase 1B - Metal cladding to E elvation of public corridor. Install insulation and carrier bars for
Steelstud / drywall / tapers	27	Phase 1A - Patching and sanding to bulkheads prior to final painting.
		Phase 1B - Tbar grid to corridor between changerooms. Tape & mud walls to rink. Sand bulkhead
		around library staircase
		Phase 1C - Insulation & boarding to 2nd floor walls. Boarding to changeroom ceilings off corridor
Ceramic tile	2	Phase 1C - Base tile to kitchen
Elevator	4	Phase 1A & 1B - Progress elevator machine rooms
Painting	3	Phase 1A - Painting to corridor walls between changerooms & final coat to changerooms
Plumbing	21	Phase 1A - Work on plumbing to concessions ceiling
		Phase 1C - Water lines from pumps in boiler room. Piping and inlets to leisure pool sloped entry
		Piping within kitchen and lounge areas
Mechanical	3	Phase 1C - Fab HVAC ducting
Refrigeration	1	Phase 1A - Pipe insulation and piping to refirgeration room
Sprinklers	8	Phase 1B - Flexible sprinkler connections to Tbar ceiling in library
Electrical	18	Phase 1A - Wiring to 2nd floor electrical room & mech rooms
		Phase 1B - Pull wiring in library. Install panels to elec-tel closet in library



## APPENDIX 4

Certificate of Payment No.27: April 18, 2019

# CERTIFICATE OF PAYMENT

27 (Progress Claim 28)



<b>PROJECT:</b>	City of Port Coquitlam Community Recreation Complex	<b>FILE:</b>	3 - 9308
<b>LOCATION:</b>	2579 - 188th Street Surrey, BC	<b>INSPECTION DATE:</b>	05-Apr-19
		<b>CERTIFICATE DATE:</b>	18-Apr-19

<b>Owner</b> The City of Port Coquitlam 2580 Shaughnessy St Port Coquitlam, BC V3C 3G3  <b>Attention: Ms. Kristen Dixon</b>	<b>Design-Builder</b> Ventana Construction (Poco) Corp. 3875 Henning Dr. Burnaby, BC V5C 6N5  <b>Attention: Mr. Andrew Cameron</b>
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		Contract Price	Change orders	Revised Contract Price
<b>Total Contract Amount</b>		\$ 116,717,000	\$ 8,338,990	\$ 125,055,990

PAYMENT CALCULATION	Gross Amount to Date	Previous Period	Gross Amount This Period	Holdback	Net Payment This Period
Total Work Completed	\$ 61,541,162	\$ 57,096,903	\$ 4,444,259	\$ 444,426	\$ 3,999,833
<b>Total Work Completed</b>	<b>\$ 61,541,162</b>	<b>\$ 57,096,903</b>	<b>\$ 4,444,259</b>	<b>\$ 444,426</b>	<b>\$ 3,999,833</b>
Add: Holdback Released	\$ 0	\$ 0	\$ 0	\$ 0	\$ 0
<b>Current Net Payable</b>			<b>\$ 4,444,259</b>	<b>\$ 444,426</b>	<b>\$ 3,999,833</b>
Plus GST (5.0%) on Net Payable					\$ 199,992
<b>Total Current Payable Amount</b>					<b>\$ 4,199,825</b>
Holdback Retained to Date (incl. this Certificate)					\$ 5,654,116
Total GST Paid to Date (incl. this Certificate)					\$ 2,544,352
<b>PROJECT COST TO COMPLETE</b>					<b>\$ 63,514,828</b>

This is to Certify that, for the Port Coquitlam Community Recreational Centre, a payment of \$4,199,825 (incl. GST) will be due to the Design Builder after the City of Port Coquitlam's Representative has given approval for payment for the work completed during the period ending March 31, 2019. As per the Builder's Lien Act, a 10% Holdback amount has been deducted amounting to \$444,426. The total Holdback retained to date is \$5,654,116 and the total GST paid to date is \$2,544,352 (not including the pre-payment costs). The Adjusted Project Cost to Complete is \$63,514,828 (Not incl. GST & holdback).

<b>CERTIFIED BY:</b>   Neil Murray, MRICS Associate Director	<b>REVIEWED BY:</b>   Rob Wilson, MRICS, PQS Director
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## APPENDIX 5

### Owner's Meeting Minutes #19: March 26, 2019

<b>Date Issued</b>	2019-04-03
<b>Project</b>	Port Coquitlam Community Recreation Complex, 2150 Wilson Ave, Port Coquitlam
<b>Meeting</b>	Owners Meeting Minutes #19
<b>Meeting Held On</b>	2019-03-26

**Present:**

Lewis Reilly	City of Port Coquitlam	POCO	604.927.5411	lreilly@tangomanagement.ca
Lori Bowie	City of Port Coquitlam	POCO	604.927.5411	bowiel@portcoquitlam.ca
Andrew Cameron	Ventana Construction (Poco) Corporation	VCC	604.291.9000	acameron@ventanaconstruction.com
Jerry Brouwer	Ventana Construction (Poco) Corporation	VCC	604.291.9000	jbrouwer@ventanaconstruction.com
Joseph Lenz	Ventana Construction (Poco) Corporation	VCC	604.291.9000	jlenz@ventanaconstruction.com
Tallon O'Neill	Ventana Construction (Poco) Corporation	VCC	604.291.9000	TO'Neill@ventanaconstruction.com

**Copies To:**

Kristen Dixon	City of Port Coquitlam	POCO	604.927.5411	dixonk@portcoquitlam.ca
Alun Lewis	Tango Managment	TM	604.734.6416	alewis@tangomanagement.ca
John Bowser	Tango Managment	TM	604.734.6416	bowser@tangomanagement.ca
Dan Marsolais	Ventana Construction (Poco) Corporation	VCC	604.291.9000	dmarsolais@ventanaconstruction.com
Haley Hartley	Ventana Construction (Poco) Corporation	VCC	604.291.9000	hhartley@ventanaconstruction.com
Lloyd Froome	Ventana Construction (Poco) Corporation	VCC	604.291.9000	lfroome@ventanaconstruction.com
Matt Fraser	Ventana Construction (Poco) Corporation	VCC	604.291.9000	mfraser@ventanaconstruction.com
Marco Bordignon	Ventana Construction Corporation	VCC	604.291.9000	mbordignon@ventanaconstruction.com

**Old Business**

	DESCRIPTION	ACTION BY	REQUIRED BY
<b>1.01 SAFETY</b>			
19.1	<b>VCC advised of a fall and a truck roll over incident since the last meeting. After receipts of finalized reports VCC will distribute to POCO/Tango.</b>	Info	-
19.2	<b>No security events took place. VCC advised they will be increasing security guard to full time.</b>	Info	-

## 1.02 DESIGN

14.1	Play Structure- VCC to RFI types to Tango.  Meeting 15 - Tango RFI via owner RFI 85. JL to review with MB.  Meeting 16- Poco advised the play structure is to be fenced in with lockable gate.  <b>Meeting 19- VCC will provide a fenced play structure with lockable gate. POCO to provide play structure comments for landscape review. VCC to set up a plaza/play structure finalization meeting, POCO to advise on availability.</b>	VCC, POCO	-
15.3	POCO/ Tango to review if daycare demographic will require structure, and if age-group prompts a specific structure.	POCO, TM	2018-12-19
17.3	Millwork: Poco to review millwork email from VCC(Joseph) and confirm millwork revision by way of Owner RFI in order for A49 to proceed with design.  <b>Meeting 19- VCC to forward main reception shop drawings</b>	Info	-
18.1	VCC to request A49 CPI rendering for City review.  <b>Meeting 19- POCO/Tango confirm not to proceed with CPI. Design to be per IFC drawings.</b>	Info	-
18.2	Main Reception and Hall of Fame Area: POCO (Lori) to forward and email requesting design brief. VCC will review with A49.	POCO	2019-02-26
19.1	<b>POCO requested interior windows for Div 9. Tango to mark up drawings to indicate potential added interior windows at faculty offices (div 9).</b>	TM	2019-04-03
19.2	<b>POCO requested a door be added to the library L2 flex space. VCC to provide rough order of magnitude.</b>	VCC	2019-04-03

## 1.04 SCHEDULE

19.1	<b>VCC noted the following milestones:</b> <ul style="list-style-type: none"><li>• Public corridor south wall is painted</li><li>• Interior glazing is in progress</li><li>• Ceiling install has started</li><li>• Div 12 structure/roofing is complete</li><li>• Div 9/12 roof is complete</li><li>• Rink 3 ACM in progress , Library to follow</li></ul>	Info	-
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## 1.05 CITY/STAKE HOLDERS MEETING

19.1	<b>The next stake holder meeting is May 22nd.</b>	Info	-
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## 1.07 OFFSITE WORK

- 17.1 VCC/POCO held a meeting Jan 14/19 to review phase 2 approval and phase 1 traffic management plans. VCC to forward pricing for overnight work and creating a temporary roadway.

POCO

-

**Meeting 19- Phase 1B has been approved and phase 2 is pending POCO approval.**

## 8.01 FFE P1C

- 15.1 Tango to forward FFE final comments to VCC for coordination as they are relatively minor in nature.

Info

-

Meeting 16- Tango to finalize P1AB FFE mark-ups before the xmas break, all other area FFE comments to be provided in the New Year.

Meeting 17- P1ABC mark-ups received. Spec's for scoreboards is pending POCO finalization of FFE budget

Meeting 18- Tango to review with Patcon if Video wall/scoreboard spec can be obtained ahead of Tender Close.

**Meeting 19- Tango noted that the Patcon video wall/scoreboard spec cannot be obtained before the tender closes which is to close April 11/19.**

## 8.03 FT. DRESSING RM.

- 9.1 VCC to review feature dressing room at Langley Event Centre for sqft. Tango to review Coquitlam Rec Centre, together decide feasibility of feature room for the rec centre.

Info

-

Meeting 10- POCO noted that proceeding with the feature change room is dependent on stake holder buy in.

Meeting 12- VCC noted sketch is to be per Arch progress set.

Meeting 13- BTY is reviewing rough order of magnitude.

Meeting 14- VCC to review with BTY.

Meeting 15- Done. A49 to comment on design rough-in hours.

Meeting 17- Tango to forward VCC response to BTY for finalization

Meeting 18- Tango to review design costs.

**Meeting 19- This minute will be carried, however the update will happen at phase 2 design meetings.**

## 9.01 OWNER RFI'S

- 18.1 It was noted that Owner RFI 094 is critical. VCC to review and advise.

TM

2019-04-03

**Meeting 19- Tango to review design costs.**

- 19.1 TRX Layout- VCC has forward pricing for approval.

Info

-

## 10.02 TREE REMOVAL



17.1	VCC to review milled wood completion with Silverback Jan 21st. Post review- VCC to advise of potential uses of wood.	VCC	2019-04-10
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**Meeting 19- VCC to confirm the two tree types and sizes which were removed mistakenly.**

#### 11.03 OWNER DELIVERABLES

14.2	LED Signage- Tango to provide direction on LED building signage by Oct 19/18.	Closed	-
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Meeting 17- ASI received, pending pricing.

Meeting 18- VCC advised pricing has been received and will forward to Tango for review.

**Meeting 19- Exterior building signage pricing has been approved.**

17.1	Snooker Task Lighting: POCO to provide VCC with the snooker task lighting specs. VCC to review revised layout with A49 and send to POCO (Lori).	VCC	2019-04-04
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Meeting 18- VCC is working with Electrical contractor for a equal alternate to the spec the City provided and will advise.

#### 11.05 FIBRE OPTIC

16.1	VCC to provide as-builts of additional conduit/fibre lines that have been located. Tango to have Poco IT (Robin) review.	VCC	-
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#### 17.01 PHASE 2 CITY PARKING

17.1	VCC to review probability for utilization of existing library lot for phase 2 City parking.	VCC	2019-02-01
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#### 18.01 DEMO/ABATEMENT WILSON CENTRE & LIBRARY

18.1	VCC is currently reviewing abatement services for Wilson Centre and Library. Once scopes and dates are refined VCC will review with POCO and Abatement engineer.		-
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**Meeting 19- Ongoing.**

#### 18.02 RECEPTION FIRE SEPARATION

18.1	VCC to review fire separation at main reception with City Inspector (Larry) and Fire Marshall	Closed	-
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**Meeting 19- VCC advised City inspector and Fire Marshall are okay with VCC phasing plan.**

---

#### New Business

##### DESCRIPTION

##### ACTION BY

##### REQUIRED BY

#### 19.01 HANDY DART ACCESS

19.1	Team to review ideal location for the Handy dart access.	All	-
------	--	-----	---

**19.02 PARKING COUNT**

19.1	VCC to provide parking count at North plaza with consideration of early bulk excavation / piling commencement.	VCC	2019-04-16
------	--	-----	------------

**19.03 OPERATIONAL MOVE IN AREA / SCHEDULING / SEQUENCING**

19.1	Topic created for future discussions.	-
------	---------------------------------------	---

**19.04 OWNER SUPPLIED WASHROOM ACCESSORIES**

19.1	VCC to provide an itemized list of owner supplied washroom accessories that VCC will be installing.	VCC	-
------	---	-----	---

**19.05 NEXT MEETING**

19.1	The next meeting will be held April 16th, time is TBD invite to follow shortly.	Info	-
------	---	------	---

---

These minutes are believed to be a true and accurate record of all items discussed. Any errors and/or omissions should be reported, in writing, to Ventana Construction (POCO) Corp. as soon as possible.

Recorded by:  
Ventana Construction (POCO) Corp.  
Joseph Lenz

## APPENDIX 6

Project Dash Board: March 31, 2019

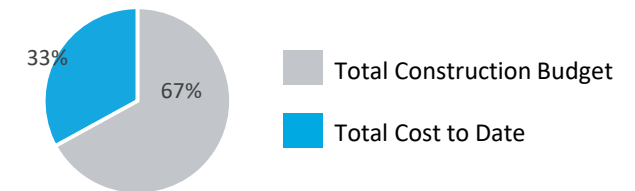
# PROJECT DASH BOARD

Updated: 2019-3-31

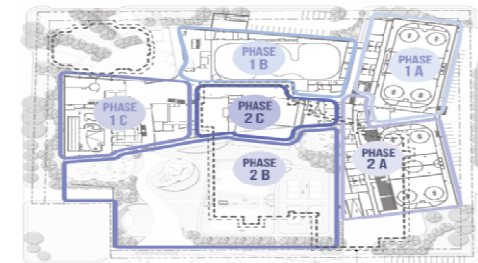
## PROJECT SCHEDULE

Task / Activity	Start	Finish	2017	2018	2019	2020	2021
Design	Dec-16	Jan-19					
Permits	Feb-17	Feb-19					
Procurement	Feb-17	May-19					
Phase 1A - Participant Ice	Mar-17	Jul-19					
Phase 1B - Leisure Ice & Library	Apr-17	Jul-19					
Phase 1C - Aquatics, Fitness, All Age & Admin	Aug-17	Oct-19					
Phase 2A - Spectator Ice	Oct-19	Jul-21					
Phase 2B - Underground Parking	Oct-20	Oct-21					
Phase 2C - MP, Flex Hall & Child Care	Jan-20	Jul-21					

## CONSTRUCTION BUDGET



## PHASING PLAN



### PHASE 1A - Overview



### PHASE 1B - Overview



### PHASE 1C - Overview



## APPENDIX 7

Architecture 49 Site Report #40: April 1, 2019

Architecture49 Inc.  
270 - 1075 West Georgia  
Vancouver BC  
V6E 3C9

T 1.604.736.5329  
F 1.604.736.1519  
architecture49.com

April 01, 2019

Tango Management Group  
2288 Manitoba Street  
Vancouver, BC V5Y 4B5

Attention: Lewis Reilly, Director  
[lreilly@tangomanagment.ca](mailto:lreilly@tangomanagment.ca)

**Reference: Port Coquitlam Community Recreation Complex, Port  
Coquitlam, BC**

To whom it may Concern:

We reviewed the project on-site on March 28, 2019 and via photographs, and based on the visit, review, photos, inspection reports and ongoing correspondence with the site supervisor to date, we verify that to the best of knowledge the work is progressing generally in accordance with the project's IFC drawings, specifications and building permits issued to date.

Sincerely,  
**ARCHITECTURE49 INC.**



Stella Nicolet, Architect AIBC, AAA, AIA, LEED AP BD+C, CCCA, CCA  
Managing Principal



**Date:** April 01, 2019

**FR No.:** 040

**Contractor:** Ventana Construction (Poco) Corp.  
Attn: Joseph Lenz  
Email: [jlenz@ventanaconstruction.com](mailto:jlenz@ventanaconstruction.com)

**From:** Dave Maté  
**Architecture49 Inc.**  
270 – 1075 West Georgia  
Vancouver, BC, V6J 4Y3  
Tel: (604) 736-5329  
Fax: (604) 736-1519

**Owner:** City of Port Coquitlam  
c/o: Tango Management Group  
Email: [ireilly@tangomanagement.ca](mailto:ireilly@tangomanagement.ca)

**Attachments No. of Pages:** 23

**Project/File:** 159-00406-02 Field Reports

**Project:** Port Coquitlam Community  
Recreation Complex

**Location:** Port Coquitlam, B.C.

**Copies to:**

<input checked="" type="checkbox"/> To: Ventana Construction	Attn: Andrew Cameron Tallon O'Neill Jerry Brouwer Matt Fraser	email <a href="mailto:acameron@ventanaconstruction.com">acameron@ventanaconstruction.com</a> <a href="mailto:toneill@ventanaconstruction.com">toneill@ventanaconstruction.com</a> <a href="mailto:jbrouwer@ventanaconstruction.com">jbrouwer@ventanaconstruction.com</a> <a href="mailto:mfraser@ventanaconstruction.com">mfraser@ventanaconstruction.com</a>
<input checked="" type="checkbox"/> To: Tango Management Group	Attn: Lewis Reilly	email <a href="mailto:lrilly@tangomanagement.ca">lrilly@tangomanagement.ca</a>
<input checked="" type="checkbox"/> To: Architecture49 Inc	Attn: Stella Nicolet Simon Mellor Antonio Rigor	email <a href="mailto:Stella.Nicolet@architecture49.com">Stella.Nicolet@architecture49.com</a> <a href="mailto:Simon.mellor@architecture49.com">Simon.mellor@architecture49.com</a> <a href="mailto:Antonio.rigor@architecture49.com">Antonio.rigor@architecture49.com</a>

**Date of Visit:** March 28, 2019

**Weather:** Sun & Cloud

**Temperature:** +15° C

**Observations (General Work):**

- Site works appears in general compliance with the construction documents.
- Health and site safety measures observed to be in place.

**Work in Progress:**

- Rink 2 Radiant heat lines mechanical
- Service Point 1A125 T-Bar ceiling framing
- Corridor 1A213 T-Bar ceiling framing and sprinklers
- Equipment Storage 1A214 T-Bar ceiling framing and sprinklers
- Concession Storage 1A212 T-Bar ceiling framing and sprinklers
- Public Corridor ceiling framing between GL 1C-7 & 13.
- Public Corridor ceiling GWB
- Public Corridor along GL1B-14 between 1B-F & 1A-H and GL1B-14 & 1B-F insulation at u/s and front face of parapet. Wall Type 5
- Roof Type R1 membrane repair at GL 1B-1 & 1B-F
- Rink 3 mullion framing at GL 1B-4 between 1B-E & F

- Library Level 2 GWB painting, primer.
- Library north elevation glazing sealing.
- Library east elevation along GL 1B-4, AVB, insulation, and thermal clips. Wall Type 4 & 4a
- Phase 1C Expansion Joint along GL 1C-7 west end of corridor roof level and 1C-E at Administration Roof level.
- Phase 1C Level 2 GL 1C-11+, Circulation 1C200 firestopping (mineral wool).
- Phase 1C North and West Elevations parapet sheathing.
- Phase 1C roof soffit framing along GL 1C-1+
- Phase 1C Pool formwork.
- Phase 1C west elevation along Gridline 1C-1 between 1C-C & 1C-P, AVB, insulation and thermal clips. Wall Type W1

**Attachments:**

- Structural, Mechanical & Electrical

**Information or Action required**

Rink 2 Door 1A100G Damaged IMP requires remedial work



Equipment Storage 1A214 east wall electrical firestopping to be completed.



Rink 3 west wall along GL 1B-4 concrete remedial work.

**Site Photos:**



Rink 2 East elevation canopy east face ACM Panels

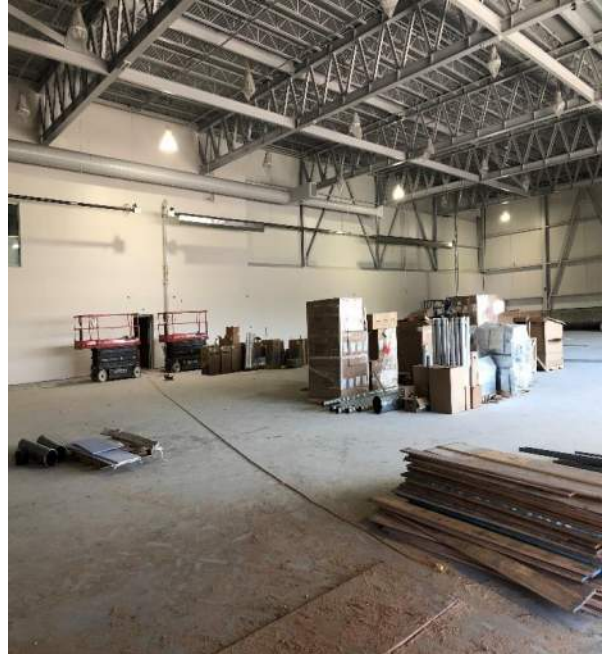


Rink 2 East elevation canopy soffit ACM Panels





Rink 2 Radiant heater lines at west side



Rink 2 west wall looking north west.



Service Point 1A125 T-Bar ceiling framing.



Electrical Room 1A215 west wall firestopping



Electrical Room 1A215 east wall firestopping



Corridor 1A213 T-Bar ceiling framing looking east



Corridor 1A213 T-Bar ceiling framing looking west



Equipment Storage 1A214 T-Bar ceiling framing and sprinklers





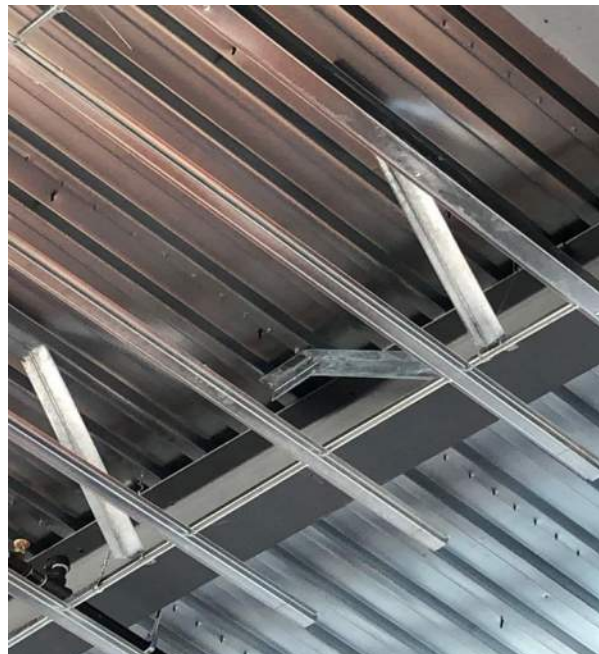
Concession Storage 1A212 T-Bar ceiling framing and sprinklers



Public Corridor ceiling framing looking west



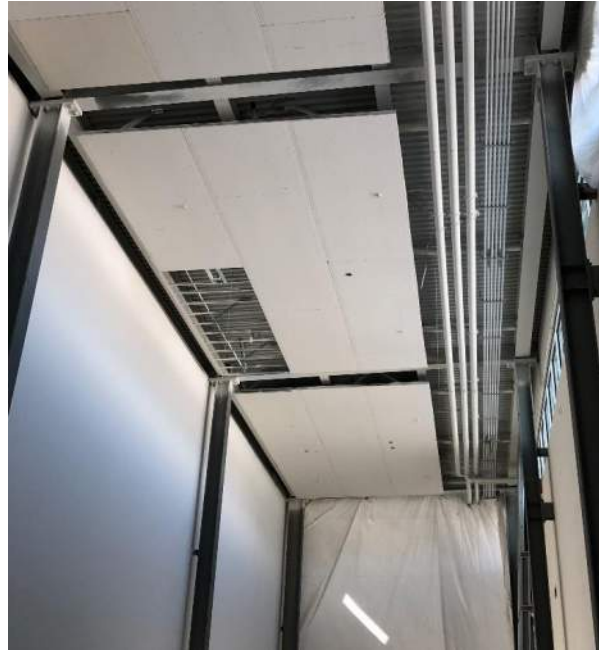
Public Corridor ceiling framing between GL 1C-7 & 13 looking west.



Public Corridor ceiling framing between GL 1C-7 & 13



Public Corridor ceiling GWB installation



Public Corridor ceiling.



Rink 3 north elevation looking south east.



Public Corridor along GL1B-14 between 1B-F & 1A-H insulation at u/s and front face of parapet. Wall Type 5.





Public Corridor south elevation at GL1B-14 & 1B-F insulation at u/s and front face of parapet. Wall Type 5.



Public Corridor east & north elevation at GL1B-14 & 1B-F insulation at u/s and front face of parapet. Wall Type 5.



Public Corridor along GL1B-F & 1B-11 exterior cladding. Wall Type 5



Public Corridor along GL1B-F & 1B-11 exterior looking west Wall Type 5.



Roof Type R1 membrane repair at GL 1B-1 & 1B-F



Rink 3 mullion framing at GL 1B-4 between 1B-E & F



Rink 3 mullion framing/shimming at GL 1B-4 between 1B-E & F



Library Level 2 GWB painting, primer.





Library north elevation glazing sealing.



Library east elevation along GL 1B-4, AVB, insulation and thermal clips. Wall Type 4



Library north elevation soffit, AVB, insulation and thermal clips. Wall Type 4a.



Phase 1C Expansion Joint along GL 1C-7 west end of corridor roof level looking south.



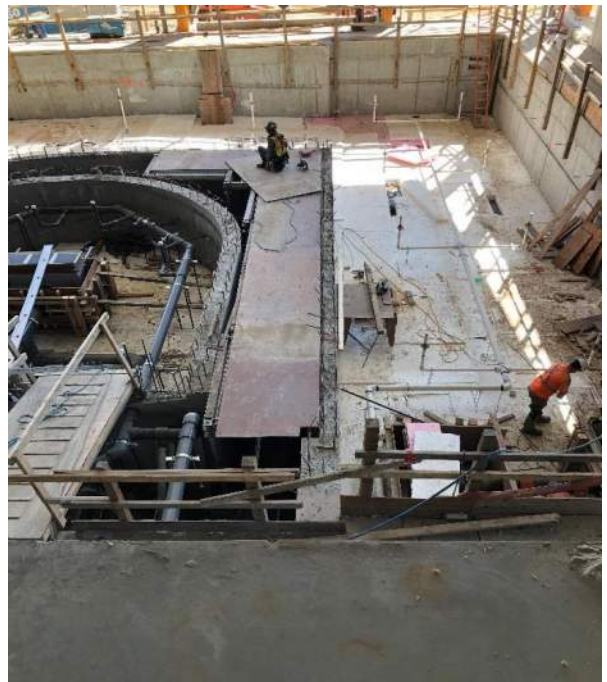
Phase 1C Expansion Joint along 1C-E at Administration roof level looking east.



Phase 1C Level 2 GL 1C-11+, Circulation 1C200 firestopping (mineral wool)



Phase 1C roof soffit framing along GL 1C-1+



Phase 1C Pool formwork.





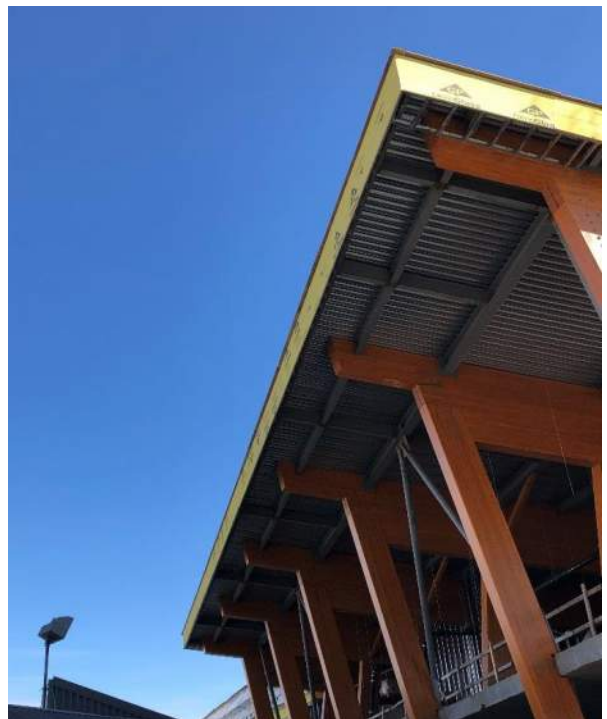
Phase 1C west elevation along Gridline 1C-1 between 1C-C & 1C-P, AVB, insulation and thermal clips. Wall Type W1



Typical



Phase 1C North and West Elevations parapet sheathing.



Phase 1C North and West Elevations parapet sheathing.

**Issued by the Consultant:**

Dave Maté  
Sr. Contract Administrator



April 01, 2019

*Name and title of person signing*

*Signature*

*Date*

**BRYSON MARKULIN ZICKMANTEL**  
**STRUCTURAL ENGINEERS**

Reviewed by SER:

Initials

Suite #501 – 510 Burrard Street, Vancouver, B.C. V6C 3A8 • (604) 685-9533 • [www.bmzse.com](http://www.bmzse.com)

**CONSTRUCTION REVIEW MEMO**

**PROJECT:** Poco Rec Center **JOB #:** 80058-01 **DATE:** March 7/19

Work reviewed: Roof decking  
grid ICG-ICQ/ICB-ICL

Work was in general conformance  
with structural drawings

**BMZ:** 

Note: This memo reports observations made during construction review, only. Any comments requiring action by the contractor are to assist the contractor to comply with the contract documents and are not to be taken as a contract change notice. These observations do not, in any way, relieve the contractor of the sole responsibility to construct the work in accordance with the contract documents, nor do these observations in any way, represent a complete list of all work needed to comply with the contract documents. The contractor is required to independently check all his own work, and is not to rely on these observations, in any way, as relieving him of this important responsibility.



**BRYSON MARKULIN ZICKMANTEL**  
**STRUCTURAL ENGINEERS**

Reviewed by SER:

Initials

Suite #501 – 510 Burrard Street, Vancouver, B.C. V6C 3A8 • (604) 685-9533 • [www.bmzse.com](http://www.bmzse.com)

**CONSTRUCTION REVIEW MEMO**

**PROJECT:** Para Pec Center **JOB #:** 80058-01 **DATE:** March 13/19

Work reviewed: Level steel roof decking  
grid 1C1-1C6/1C1-1C6

Work is in general conformance with  
structural drawings

**BMZ:** 

Note: This memo reports observations made during construction review, only. Any comments requiring action by the contractor are to assist the contractor to comply with the contract documents and are not to be taken as a contract change notice. These observations do not, in any way, relieve the contractor of the sole responsibility to construct the work in accordance with the contract documents, nor do these observations in any way, represent a complete list of all work needed to comply with the contract documents. The contractor is required to independently check all his own work, and is not to rely on these observations, in any way, as relieving him of this important responsibility.

**BRYSON MARKULIN ZICKMANTEL**  
**STRUCTURAL ENGINEERS**

Reviewed by SER:

Initials

Suite #501 – 510 Burrard Street, Vancouver, B.C. V6C 3A8 • (604) 685-9533 • [www.bmzse.com](http://www.bmzse.com)

**CONSTRUCTION REVIEW MEMO**

**PROJECT:** Para Her Center **JOB #:** 80058-01 **DATE:** March 22/19

Work reviewed: Rink 2 roof anchors & 3 locations  
cooling tower walkway and screen  
support.

Work is in general accordance with structural  
drawings.

**BMZ:** 

Note: This memo reports observations made during construction review, only. Any comments requiring action by the contractor are to assist the contractor to comply with the contract documents and are not to be taken as a contract change notice. These observations do not, in any way, relieve the contractor of the sole responsibility to construct the work in accordance with the contract documents, nor do these observations in any way, represent a complete list of all work needed to comply with the contract documents. The contractor is required to independently check all his own work, and is not to rely on these observations, in any way, as relieving him of this important responsibility.



## MECHANICAL AND PLUMBING FIELD REPORT

<b>DATE:</b>	March 27, 2019	<b>FR NO.:</b>	MP.16
<b>Contractor</b>	Ventana Construction	<b>FROM:</b>	Lowell Suelto/Seann Caldwell
<b>ATTN:</b>	Andrew Cameron		WSP Canada Inc.
	acameron@ventanaconstruction.com		840 Howe Street
<b>Mechanical:</b>	Omega Mechanical Ltd.		Vancouver BC
<b>ATTN:</b>	Mitch Kelly/Nick Sciankowy		V6Z 2A9
<b>EMAIL:</b>	<a href="mailto:mitch@omegamechanical.com">mitch@omegamechanical.com</a>		
<b>PROJECT:</b>	Port Coquitlam Recreation Complex	<b>PROJECT NO.:</b>	159-00406-02
<b>ATTACHMENTS:</b>		<b>LOCATION:</b>	2150 Wilson Ave, Port Coquitlam

### Distributed to:

<input checked="" type="checkbox"/>	Omega Mechanical LTD.	<b>Attn:</b>	Gary Martin/Kyle Parhar	<b>Email:</b>	<a href="mailto:gmartin@omegamechanical.ca">gmartin@omegamechanical.ca</a>

**Date of Inspection:** March 7, 2019      **Weather:** Sunny      **Temperature:** 12°C  
March 27, 2019

**General Note:** Strike-thru items are completed or fully addressed and will be deleted in the next report.

### General (Work Reviewed):

- 1A Water Entry Room and Mechanical Rooms to date.
- Plumbing piping and rough-ins installed in 1ABC to date.
- Mechanical piping and HVAC in 1ABC to date.

### Work in Progress:

- Rough-in of Phase 1ABC plumbing piping (Water, Sanitary and Venting)
- Phase 1ABC Storm piping from roof drains down to tie-in points above grade.
- Phase 1ABC Gas piping mains inside building.
- Phase 1AB hydronic piping.
- Phase 1ABC Sheet metal ductwork inside building
- Phase 1ABC sprinkler piping inside building

1000-840 Howe Street  
Vancouver, BC, Canada V6Z 2M1

T T +1 604 685-9381  
F +1 604 683-8655  
[www.wsp.com](http://www.wsp.com)

## FIELD REPORT

### Observations:

1. Phase 1C, Pool Area: Slab is completely poured below the pool. WSP discussed with Omega that domestic hot and cold for the foot shower could be fed from the Phase 1C mechanical room, thru the pool equipment room and follow the same routing as the pool piping serving the water park. WSP to issue SI after confirming details with A49. Pipe coring thru foundation wall has been made to accommodate piping serving shower. Pool wood framing is being built-up. Deck Drainage openings are installed. Update: Pool Equipment piping install is progressing, (photo #7)
2. Roof curbs are in place for DH-1 and DH-4 (photos #1 and #2)
3. Radiant Floor manifolds are installed (photo #3)
4. Phase 1A, Mechanical Room (second floor): Most of the equipment are on concrete pads. Equipment includes Boilers B-1, B-2, domestic hot water heaters, tanks, pumps, and heat pump heat Hydronic main piping installation has been progressing (approximately 50% installed) at the ceiling level – contractor to confirm structural approval has been provided prior to full install.
5. ~~Phase 1ABC: Gas Meter at NE corner of Rink 2 installed. A portion of the gas piping downstream of the meter (inside building) has been installed and connected. Gas from a temporary gas meter is being used for temporary heat (photo #5).~~
6. Phase 1B: Library Area: Domestic water, storm, sanitary and vent line at ground floor ceiling level have been installed. Piping not yet insulated. Plumbing fixture rough-ins on level 1 have been installed.
7. Phase 1B, Rink 3: ~~Depressed Concrete floor slab has been poured for the ice rink. Heating header installed above depressed slab (Photo #7B). Radiant tubing is being stored on the NE corner of Rink 3. Slab insulation was placed. Concrete rink slab has been poured (photo #4).~~
8. Phase 1C: 150mm storm piping at phase 1C at the north side between gridlines 1C6 and 1C13 will have a potential conflict with 3300mm height dropped ceiling. A-49 has confirmed ceiling will be dropped to accommodate storm piping. The RWL drop shown at the corner of Facility Manager office 1C120 will also need to be relocated due to a wall layout change during construction.
9. ~~Phase 1AB: Seismic slack cables and insulated drains are installed on heat pumps.~~
10. Phase 1B: Heat pumps are installed. ~~with no lines or ducts.~~
11. Phase 1C: No HVAC is installed except main ducts on Level 1 and basement.
12. Concession grease hood is installed (photo #6)
13. Water line to refrigerator room is changed to 40mm (photo #8)
14. ~~Phase 1C, Level 1N: HVAC is installed with no seismic restrains or drains for heat pumps.~~
15. Plumbing rough-ins in phase 1C are complete.
16. Mechanical and plumbing components to-date installed as per contract documents.

## FIELD REPORT

### Photos:



Photo #1: DH-1 Roof Curb



Photo #4: DH-2 Roof Curb



Photo #3: Radiant Floor Manifold



Photo #4: Rink #5 Slab



Photo #5: Elevator Machine Exhaust



Photo #6: Concession Grease Hood



Photo #7: Pool Piping



Photo #8: Water Line to Refrigeration



## FIELD REPORT

### Information or Action Required:

1. Items are currently in progress; Submit pipe pressure test reports for Consultant Records.
2. Ensure temporary heaters provide a minimum of 10 deg. Space temperature or as required by the structural engineer when pouring and curing the concrete rink slabs. Heating is on in Rink #3.
3. Maintain record as-built redline drawings on site.
4. Provide piping between HRV-5 and Condenser WCU-1 in mechanical room 1A 202. Consider installing piping in ceiling for future HRV-1 and future condenser WCU-2.
5. DH-2 ductwork will have to be revised for modified unit orientation by connecting RA to on existing wall opening, sealing one existing wall opening and ducting to a new wall opening using long radius duct elbows.
6. Fastening of large pipes in mechanical room 1A202 to underside of ceiling deck is not acceptable by structural engineer. Omega Mechanical to provide locations of connections to joists on fabrication drawings.
7. Phase 2C, Level 2; Ensure that all drainage piping with offsets greater than 45° to have cleanouts as required code
8. Phase 1C – Level 1; Kitchen drain location interferes with wall finish. Relocate drain to ensure enough space is allowed for the floor drain grate.
9. Elevator machine room exhaust fan is 50mm too low for code requirements. Source another lower fan (photo #5)

### Issued by the Consultant:

Lowell Suelto, ASCT  
Seann Caldwell, P.Eng.



March 27, 2019

\_\_\_\_\_  
Name and Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

U:\15\159-00406-00 PoCo Rec Center\5 CONSTRUCTION\3 Field Reports\Mech\Mechanical Reports\Inspection\Mechanical Field Report - Inspection 16- Phase 1A&C.docx



## Smith + Andersen

338 – 6450 Roberts Street Burnaby British Columbia V5G 4E1

604 294 8414 f 604 294 6405 smithandandersen.com

---

PROJECT NAME: Port Coquitlam Recreation Center

---

COMPANY: A49

---

ATTENTION: Antonio Rigor, David Mate

---

PROJECT NO.: 16590.000

DATE: 2019-03-29

---

JOB REPORT NO.: E-14

ISSUED BY: Ryan Blaney

---

General review is being performed in accordance with the requirements of the BRITISH COLUMBIA BUILDING CODE and Standard Guidelines of the Professional Engineers of BRITISH COLUMBIA to ensure that the work is generally being performed in accordance with the Contract Documents.

This list is submitted to assist the Contractor and must not be construed as being a complete list of non-conforming items for the purpose of determining whether the requirements of the Contract Documents have been met.

It is the responsibility of the Contractor to carry out their own inspection to determine that the Contract is being performed in accordance with the requirements of the Contract Documents.

---

The site was visited on 2019-03-21 to review the Electrical installations. The following observations have been made:

### 1.1 GENERAL OBSERVATIONS

- 1.1.1 Electrical installation is ongoing.
- 1.1.2 Level 2 Concession area electrical roughed-in. Lighting roughed-in.
- 1.1.3 Level 2 Concessions – Panel RP-2CC installation in progress.
- 1.1.4 Level 2 - Electrical Room #3 installation in progress.
- 1.1.5 Level 2 - Electrical Room #2 installation in progress. Placement of 225 kVA transformer to adjacent combustible wall surfaces is less than 300mm required by CEC (26-246).
- 1.1.6 Public corridor areas receptacles and EM signs roughed-in.
- 1.1.7 Parkade Electrical Room #7 installation has progressed.
- 1.1.8 Boiler Room Panel RP-BBR install in progress.
- 1.1.9 Electrical Room #6 installation in progress.
- 1.1.10 Pool area under construction. Minimal electrical progress.
- 1.1.11 Fitness area electrical rough-in progress. Lighting wiring rough-in in progress.
- 1.1.12 Level 2 Office areas have been roughed-in.



- 1.1.13 Electrical Room #5b installation in progress.
- 1.2 ITEMS REQUIRING ATTENTION-ITEMS WILL BE REMOVED UPON COMPLETION
  - 1.2.1 Checkerplates installed in Main Electrical room. These plates' shop drawings were specifically rejected by the engineer and present a safety hazard while being worked on. They should be cut and reconfigured into manageable pieces prior to allowing personnel to work on them as was suggested by the superintendent.
  - 1.2.2 300A circuit breaker feeding 225 kVA TX-BA to specifically be 275A rated circuit breaker. Downstream electrical system currently unprotected and under-rated.
  - 1.2.3 300A circuit breaker feeding 225 kVA TX-2A to specifically be 275A rated circuit breaker. Downstream electrical system currently unprotected and under-rated.
  - 1.2.4 225kVA Transformer TX-2A is currently too close to combustible wall finishes. Either fiber-cement board to be lined on walls within 300mm of transformer and 150mm wall clearance to be maintained or transformer to be shifted such that 300mm clearance is achieved.
- 1.3 DISCUSSIONS WITH CONTRACTOR
  - 1.3.1 Electrical Contractor is aware of the observed attention items regarding the circuit breaker sizes and transformer clearances. Will be taking action on them accordingly.
  - 1.3.2 There was a mechanical coordination meeting on site in order to determine exact operation of some smoke control fans and roof top units associated with kitchen hoods. This coordination will be ongoing throughout the next month. Details will be fleshed out, and solutions implemented.



Item 1.1.2



Item 1.1.3



Item 1.1.4



Item 1.1.5



Item 1.1.7



Item 1.1.9



Item 1.1.10



Item 1.1.11



Item 1.1.12

END OF ELECTRICAL JOB REPORT #E-14

16590.000.E - Job Report #E-14.docx

## Temporary Parking – 2266 Wilson Avenue

### **RECOMMENDATION:**

That Committee of Council direct staff to construct and maintain a temporary parking lot extension to the lot at 2266 Wilson Avenue at a total cost of \$20,000, to be allocated from the Parking Reserve Fund and to amend the financial plan as required.

### **PREVIOUS COUNCIL/COMMITTEE ACTION**

Council previously considered expanding the existing parking lot at 2266 Wilson Avenue for additional parking to supplement the loss of parking during the Community Center construction, however deferred the decision until such time as parking constraints were realized.

### **REPORT SUMMARY**

Over the past few months, staff has noted an increase in complaints from residents and sporting groups regarding the lack of facility parking at the Community Centre. Considering Phases 1A, B and C are nearing completion, and Phase 2 construction is imminent (and there will not be any access to new parking stalls until Phase 2 is completed in late 2021), the current parking situation will only be exacerbated. This report recommends the existing parking lot at 2274 Wilson Avenue be extended by constructing a temporary parking area. This is anticipated to add approximately 35 additional parking stalls and cost \$20,000. It would take approximately one week to construct. The lot would be constructed of gravel (or asphalt millings depending on availability).

### **BACKGROUND**

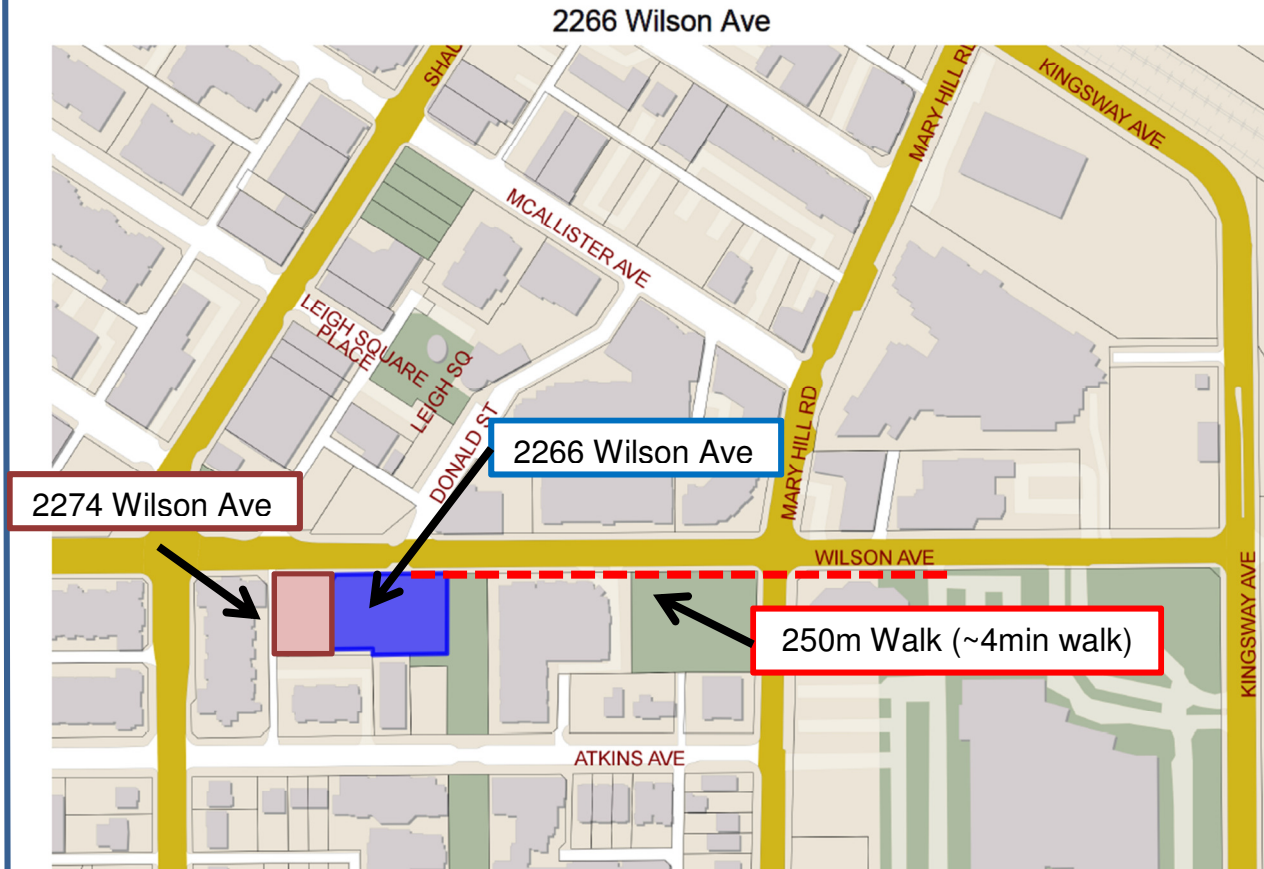
The phased construction of the Port Coquitlam Community Center impacts parking to different degrees per phase. As anticipated, as Phase 1 A, B and C near completion, the majority of the remaining parking stalls will be lost as Phase 2 construction begins. This loss of parking, in conjunction with the opening of new community center space will further exacerbate parking concerns.

When Council last considered this matter, a number of sites were reviewed, including both 2266 Wilson Avenue, as well as 2276 Kingsway Avenue. Both sites are owned by the City of Port Coquitlam. Staff are bringing forward 2266 Wilson Avenue given its close proximity (less than half the distance of the Kingsway location) to the Community center, minimal construction costs and a determination that the land could be used on a temporary basis without impacting the timing to implement actions for the Downtown.



## Temporary Parking – 2266 Wilson Avenue

This site is illustrated on the Map below and is an extension of the current parking lot located at 2274 Wilson Avenue:



Staff are also working with Ventana to determine if temporary parking can be provided on the corner of Mary Hill Road and Wilson, once the existing Library is demolished. The library may provide additional parking however this would not negate the need to provide additional parking now given the library site won't become available for parking consideration for several months.

In addition, staff are working with TransLink to allow for off-peak utilization of the West Coast Express lot at Wilson Avenue and Kingsway Avenue and will be bringing forward an update to Council in the future.

### **DISCUSSION**

In regards to constructing a temporary parking facility at 2266 Wilson Ave, the cost to establish and maintain an additional 35 parking stalls for approximately two years would be \$20,000 and would require 5 days to construct. This parking area would be located approximately 275m from the main entrance to the Community Centre (approximately 4 min walk) and accessed by extending the

## Temporary Parking – 2266 Wilson Avenue

drive aisles within the existing parking lot. The intent of this parking is to be temporary in nature and could be constructed of gravel or asphalt millings (depending on availability). Staff have discussed this proposal with the City's Land and Development Facilitator to confirm that the timing would not impact current development opportunities.

### **FINANCIAL IMPLICATIONS**

The cost to construct and maintain a temporary parking lot at 2266 Wilson Ave would be \$20,000, and could be paid for from the Parking Reserve Fund. There is currently an unallocated amount of \$2.3 million in the Parking Reserve Fund.

### **ENVIRONMENTAL IMPLICATIONS**

A pervious surface (i.e., gravel or asphalt millings) is recommended to reduce run-off and site impacts of the expansion. Ongoing maintenance will be required to reduce ponding and to maintain control of drain water. Erosion and sediment control measures will be implemented as required.


In addition, all existing trees would remain, and soil disturbances will be located outside of critical root zone, as established by a City arborist, for established vegetation. This will also ensure there is an adequate buffer between the Donald Street Pathway and the temporary parking lot.

### **PUBLIC CONSULTATION**

Staff would post signage to inform adjoining residents and the public that the City is expanding the existing parking lot to provide for temporary additional parking spaces to coincide with the construction of the new Community Center.

### **OPTIONS**

(Check = Staff Recommendation)

#	Description
1 	Direct staff to construct and maintain a temporary extension to the parking lot at 2266 Wilson Ave at a cost of \$20,000 to be paid for through accumulated surplus and to amend the financial plan as required.
2	Defer consideration of additional parking to a later date or request staff consider an alternate location (e.g., the City's Kingsway property).

### **ATTACHMENTS**

None.

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