

THE CORPORATION OF THE CITY OF PORT COQUITLAM  
“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT PERMIT

NO. DP000522

Issued to: JUAN RICARDO DUQUE  
FABRIO ALBERTO DUQUE  
ANDRES LOPERA MEDINA  
(Owner as defined in the Local Government Act,  
hereinafter referred to as the Permittee)

Address: 1384 TRAFALGAR STREET, COQUITLAM, BC V3E 0E9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this Permit.
2. This Development Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

Address: 3609 ST THOMAS STREET

Legal Description: LOT 59 SECTION 6 TOWNSHIP 40 NEW WESTMINSTER DISTRICT  
PLAN 19853

P.I.D.: 010-575-045

3. The above property has been designated as a Development Permit Area under Section 9.0 – Development Permit Area in the “Official Community Plan Bylaw, 2013, No. 3838”.
4. “Port Coquitlam Zoning Bylaw, 2008, No. 3630” and “Parking and Development Management Bylaw, 2018, No.4078” are varied, supplemented or both in accordance with the following:
  - a. The form and character of the building, including the siting, height and general design, shall be as shown on drawings numbered DP000522(1) to DP000522(10) which are attached hereto and form part of this permit.
  - b. The form and character of on-site landscaping shall be as shown on drawing numbered DP000522(11) and the following standards for landscaping are imposed:

- (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto.
  - (ii) All planting materials shall be able to survive for a period of one year from the date of the site landscape approval by the Municipality.
- c. The building and landscaping shall provide the energy conservation, water conservation and GHG emission reduction elements as shown on Schedule A to the drawings which are attached hereto and form part of this permit.

**5. Landscape Security**

- (a) As a condition of the issuance of this permit, the security set out below will be held by the Municipality prior to the issuance of a building permit to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clause 4 above. There is filed accordingly an irrevocable Letter of Credit or cash security in the amount \$5,000 for the purpose of landscaping.
- (b) Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. A condition of the posting of the security is that should the Permittee fail to carry out the works or services as hereinabove stated, according to the terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by its servants, agents or contractors, and any surplus shall be paid over to the Permittee.
- (c) The Permittee shall complete the landscaping works required by this permit within six months of the final inspection for the final phase of the development. Within the six-month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within the six-month period, the Municipality has the option of continuing to hold the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping, and recoup additional costs from the Permittee if necessary. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

- (d) Should the Permittee carry out the works and services permitted by this permit within the time set out above, the security shall be returned to the Permittee.

6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit, which shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction permitted by this permit within two years of the (issuance) date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

APPROVED BY THE COMMITTEE OF COUNCIL THE \_\_\_\_\_ DAY OF \_\_\_\_\_ MONTH 20\_\_\_\_.

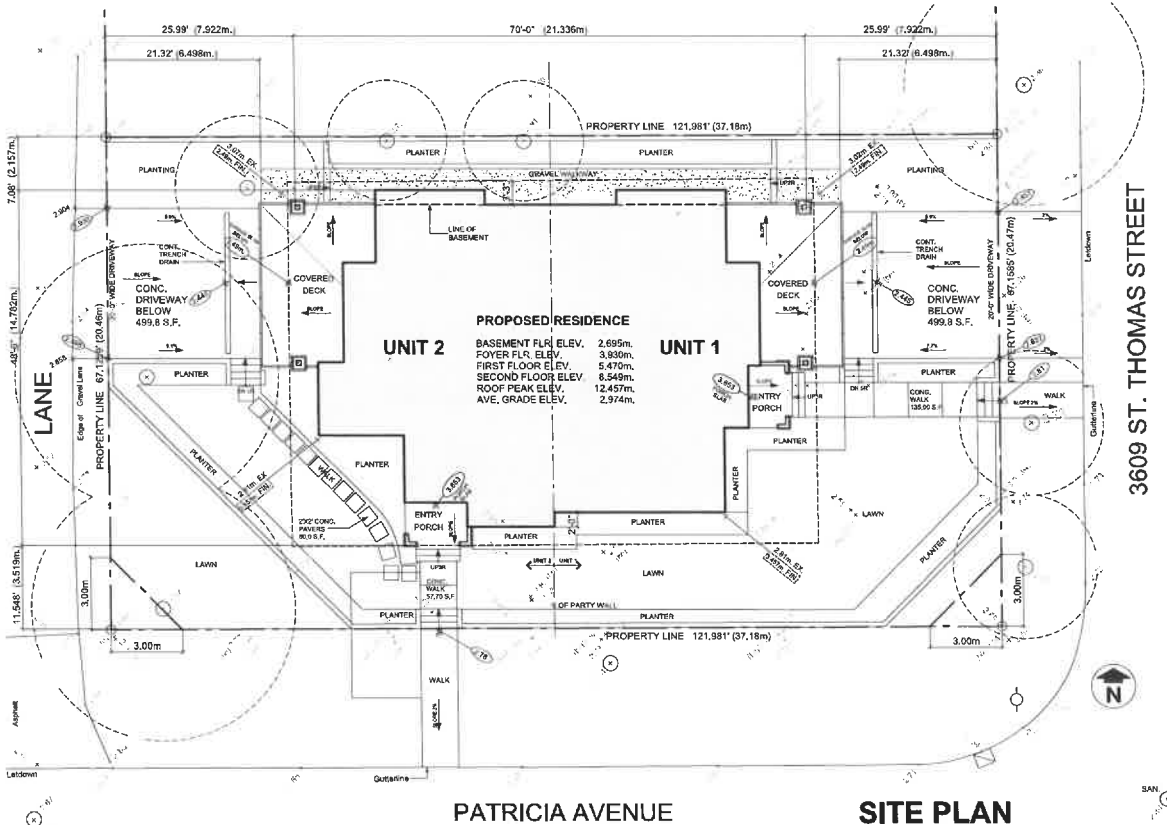
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ MONTH 20\_\_\_\_.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND  
CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

\_\_\_\_\_  
Applicant (or Authorized Agent or  
Representative of Applicant)



**SITE PLAN**  
SCALE: 1/8"=1'-0"

# **CIVIC ADDRESS**

3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

## **LEGAL DESCRIPTION**

TOPOGRAPHIC SITE PLAN OVER  
LOT 59 SECTION 4 TOWNSHIP 40  
NEW WESTMINSTER DISTRICT PLAN 19853

## **ZONING - R.D.**

LOT AREA: 8191.327 S.F. (191.0 S.M.)

## **FLOOR AREA IN BASEMENT**

**GARAGE UNIT 1**  
PERMITTED 496.130 S.F. (46.0 S.M.)  
ACTUAL 530.72 S.F. (49.308 S.M.)  
**FOYER / LOBBY UNIT 1**  
PERMITTED 107.639 S.F. (10.0 S.M.)  
ACTUAL 104.81 S.F. (9.737 S.M.)  
**GARAGE UNIT 2**  
PERMITTED 486.139 S.F. (46.0 S.M.)  
ACTUAL 534.24 S.F. (49.622 S.M.)  
**FOYER / LOBBY UNIT 2**  
PERMITTED 107.639 S.F. (10.0 S.M.)  
ACTUAL 106.25 S.F. (9.87 S.M.)

## **FLOOR AREA-PRINCIPAL BLDG.**

PERMITTED 4505.23 S.F. (415.2 S.M.)  
ACTUAL 4502.33 S.F. (415.2 S.M.)

## **LOT COVERAGE:**

PERMITTED 3276.53 S.F. (40%)  
ACTUAL 2771.20 S.F.

## **AREA BREAKDOWN:**

HOUSE FOOTPRINT X 2 2855.40 S.F.  
DRIVEWAYS X 2 869.40 S.F.  
PARKING X 2 262.70 S.F.  
TOTAL 4107.50 S.F.

## **IMPERVIOUS SURFACE:**

PERMITTED 5324.24 S.F. (494.64 S.M.)  
ACTUAL 4107.70 S.F.

## **BUILDING HEIGHT:**

PERMITTED 29.527' (9.0m)  
ACTUAL 29.31' (9.32m)

## **FLOOR AREA**

| BREAKDOWN      | UNIT 1                    | UNIT 2                    |
|----------------|---------------------------|---------------------------|
| BASEMENT FLOOR | 536.75 S.F. (49.308 S.M.) | 212.44 S.F. (19.736 S.M.) |
| FIRST FLOOR    | 1048.0 S.F. (98.22 S.M.)  | 1100.0 S.F. (102.19 S.M.) |
| SECOND FLOOR   | 894.4 S.F. (82.69 S.M.)   | 968.9 S.F. (90.10 S.M.)   |
| FOYER / LOBBY  | 104.81 S.F. (9.737 S.M.)  | 106.25 S.F. (9.87 S.M.)   |
| 2-CAR GARAGE   | 534.24 S.F. (49.622 S.M.) | 557.8 S.F. (51.74 S.M.)   |
| ENTRY PORCH    | 40.50 S.F. (3.74 S.M.)    | 80.40 S.F. (7.41 S.M.)    |
| COVERED DECK   | 227.94 S.F. (21.15 S.M.)  | 37.94 S.F. (3.48 S.M.)    |

## **GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- READER IS TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING DIMENSIONS.
- ALWAYS TAKE PRECEDENCE OVER SHOWN DIMENSIONS.
- DIMENSIONS ARE TAKEN TO FACE OF STUD AND CONCRETE OF EXTERIOR WALLS AND TO CENTRE OF STUD OR INTERIOR WALL UNLESS OTHERWISE SPECIFIED.
- CONSTRUCTION METHODS ARE TO CONFORM TO THOSE PRESCRIBED BY B.C.C.C. 2019.
- SURVEY INFORMATION IS SUPPLIED BY OTHERS IN EVENT OF DISCREPANCY BETWEEN THESE DRAWINGS AND THE INFORMATION PROVIDED BY THE SURVEYOR, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- ALL MATERIALS ARE TO BE USED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- PROVIDE TEMPORARY DRAINAGE TO KEEP THE SITE AND WORK WATER FREE AND REINSTATE THE SITE UPON COMPLETION.
- FOOTING TO EXTEND BELOW FROST PENETRATION AND MUST REST ON SOLID BEARING. THE QUALITY OF BEARING MUST BE CONFIRMED BY THE AUTHORITY HAVING JURISDICTION. LEAVE OPENINGS IN FOUNDATION FOR SERVICES REQUIRED.
- EXPOSED SHEET METAL FLASHING SHALL BE 6013 GALVANIZED STEEL UNLESS OTHERWISE SPECIFIED.
- SHEET METAL FLASHING SHALL BE INSTALLED OVER EXISTING OPENINGS.
- WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 40% FELT.
- ROOF TRUSSES TO BE DESIGNED BY OTHERS.
- GLASS WITHIN 12" OF THE FLOOR SHALL BE IN SAFETY GLASS.
- GLASS IN WINDOWS & DOORS TO BE DOUBLE-GLAZED. ALL WINDOW FRAMES TO BE THERMALLY BROKEN.
- GLASS SIDESETS & WINDOWS WITH 30" OF DOOR LOOKS ARE TO BE SAFETY GLASS.
- GLASS SIDESETS GREATER THAN 20" IN WIDTH THAT COULD BE MISTAKEN FOR DOORS, TO BE SAFETY GLASS.
- GLASS IN WINDOWS LESS THAN 4" ABOVE FLOOR FLOOR IS TO BE SAFETY GLASS.
- GLASS IN ENTRANCES, SHOWERS AND IN BATHROOMS TO BE SAFETY GLASS.
- ALL BATHROOMS TO BE WATERPROOFED TO A MINIMUM HEIGHT 5" OF ABOVE FLOOR LEVEL.
- ALL EXPOSED METAL PLUMBING VENTS, DOWNPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT FINISH AS CLOSELY AS POSSIBLE.
- WOOD FASCIA AND BARGE BOARD SHALL BE STAINED ON ALL SURFACES, INCLUDING ALL ON-SITES SAW CUT ENDS.
- ENCLOSED ROOF AND ATTIC SPACES SHALL BE VENTED IN ACCORDANCE WITH B.C.C.C. 2019 (NOT LESS THAN 1/60 OF CEILING AREA).
- ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% IN EAVE AND 25% IN ROOF TOP.
- NATURAL VENTILATION OF ENCLOSED CRAWL SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE B.C.C.C. 2019 NOT LESS THAN 1/60 OF CRAWL SPACE AREA AND AS EVENLY DISTRIBUTED AS POSSIBLE.
- VAULTED CEILING SHALL BE VENTED TO 1/10 OF INSULATED CEILING AREA INSULATION SHALL BE 1" BELOW TOP OF JOIST.
- CAULK ALL EXTERIOR OPENINGS.
- PLUMBING AND MECHANICAL SHALL BE IN ACCORDANCE WITH V.B.S.L. 2018 AND ALL OTHER PLUMBING CODES.
- THE DESIGN AND INSTALLATION OF THE HEATING SYSTEM SHALL BE IN ACCORDANCE WITH B.C.C.C. 2019 AND SHALL BE OTHER TYPE NOTED ON THE DRAWINGS.
- THE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE B.C.C.C. 2019, AND ALL APPLICABLE CODES.
- THE BOTTOM OF AN OPERABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 4'-11" ABOVE THE FLOOR LEVEL AND HAVE A MINIMUM OPENING DIMENSIONS OF 15" WITH AN AREA OF 2.5 SQ. FT.
- HANDRAIL, ACTING AS A GUARD IS TO BE BETWEEN 36" AND 38".
- WATERPROOF WALL BOARD REQUIRED AS TILE BASE AND/OR TUBS AND SHOWERS B.C.C.C. 2019.
- 10 POUND INSULATION UNDER ENTIRE SLAB WITH RADIANT HEAT.
- NO MEMBER FACILITATING CLIMBING PERMITTED FROM 4" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (ALL GUARDS).
- MAXIMUM 4" OPENING IN ALL STAIR DECK AND BALCONY GUARDS (INTERIOR & EXTERIOR) EXCEPT SPACE BETWEEN BOTTOM RAIL AND STAIR TREAD.
- PROVIDE 4" CLEARANCE BETWEEN CHAIR AND SISING.
- WALL TIES FOR MASONRY REQUIRED IN CONFORMANCE WITH B.C.C.C. 2019.
- NEVER STANCHIONS FOR DWELLING SECURITY AS OUTLINED B.C.C.C. 2019.
- ALL R.F.P. WINGS REQUIRED FOR OUT BUILDING EXTERIOR DOORS.
- SPRINKLER SYSTEM TO BE DESIGNED, CONSTRUCTED, INSTALLED AND TESTED IN CONFORMANCE.
- WITHIN 100' INSTALLATION OF SPRINKLER SYSTEM RESIDENTIAL OCCUPANCIES, INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE TO BE COVERED AS PER B.C.C.C. 2019.
- UNCLEAN OR EQUAL REQUIRED TO BATHROOM FLOORS.
- CONTINUOUS OR INTERMITTENT EXHAUST FANS TO ALL BATHROOMS AND KITCHENS.
- ONE INCH WIDE SMOKE ALARM REQUIRED PER FLOOR, SMOKE ALARMS TO BE INTERCONNECTED.
- SMOKE ALARM REQUIRED ON EVERY FLOOR LEVEL, WITHIN 5.0m OF BEDROOM DOOR AND 1.5m OF EACH OTHER.
- 40 A.B.C. DRY CHEMICAL FIRE EXTINGUISHER IS REQUIRED NEAR THE KITCHEN.
- SECURE HOT WATER TANK TO PREVENT OVERTURNING.
- ALL WINDOWS AND DOORS ARE TO BE INSTALLED TO COMPLY WITH NEW HAF STANDARDS AND SPECIFICATIONS. SEE S.2.4 OF THE 2018 B.C.C.C.
- THE LEAKAGE OF AIR INTO AND OUT OF CONTAINED SPACES SHALL BE CONTROLLED BY CONSTRUCTING A CONTINUOUS AIR BARRIER SYSTEM AS SPECIFIED IN 2018 B.C.C.C. 3.6.2.4.
- CONSTRUCTION OF AIR BARRIER DETAILS SHALL COMPLY WITH 2018 B.C.C.C. 3.6.2.5.
- SEWAGE WATER HEATING SYSTEM SHALL COMPLY WITH 2018 B.C.C.C. 3.6.2.6.
- MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS PLACED WITHIN AN EXTERIOR WALL MUST BE INSULATED BEHIND TO THE EFFECTIVE THERMAL RESISTANCE SPECIFIED IN SECTION 3.6.2.6.1 AND 3.6.2.6.2.
- WALLS & CEILING SEPARATING CONTAINED SPACES FROM ATTACHED GARAGE ARE TO COMPLY WITH EFFECT THERMAL RESISTANCE MINIMUM AS SPECIFIED IN SECTION 3.6.2.6.1 (EVEN IF GARAGE IS HEATED AND INSULATED).

## **LEGEND:**

388.50 EX.  
EXISTING GRADE ELEVATIONS  
FINISHED GRADE ELEVATIONS  
T.O. CONCRETE WALL ELEVATIONS  
T.O. CONCRETE SLAB ELEVATIONS  
T.O. FLOOR ELEVATIONS  
DIRECTION OF DRAINAGE  
EXISTING TREES TO REMAIN



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1782 view st., port moody.  
british columbia V3H3Y2  
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project title

**RESIDENCE -  
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PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title

**SITE PLAN**

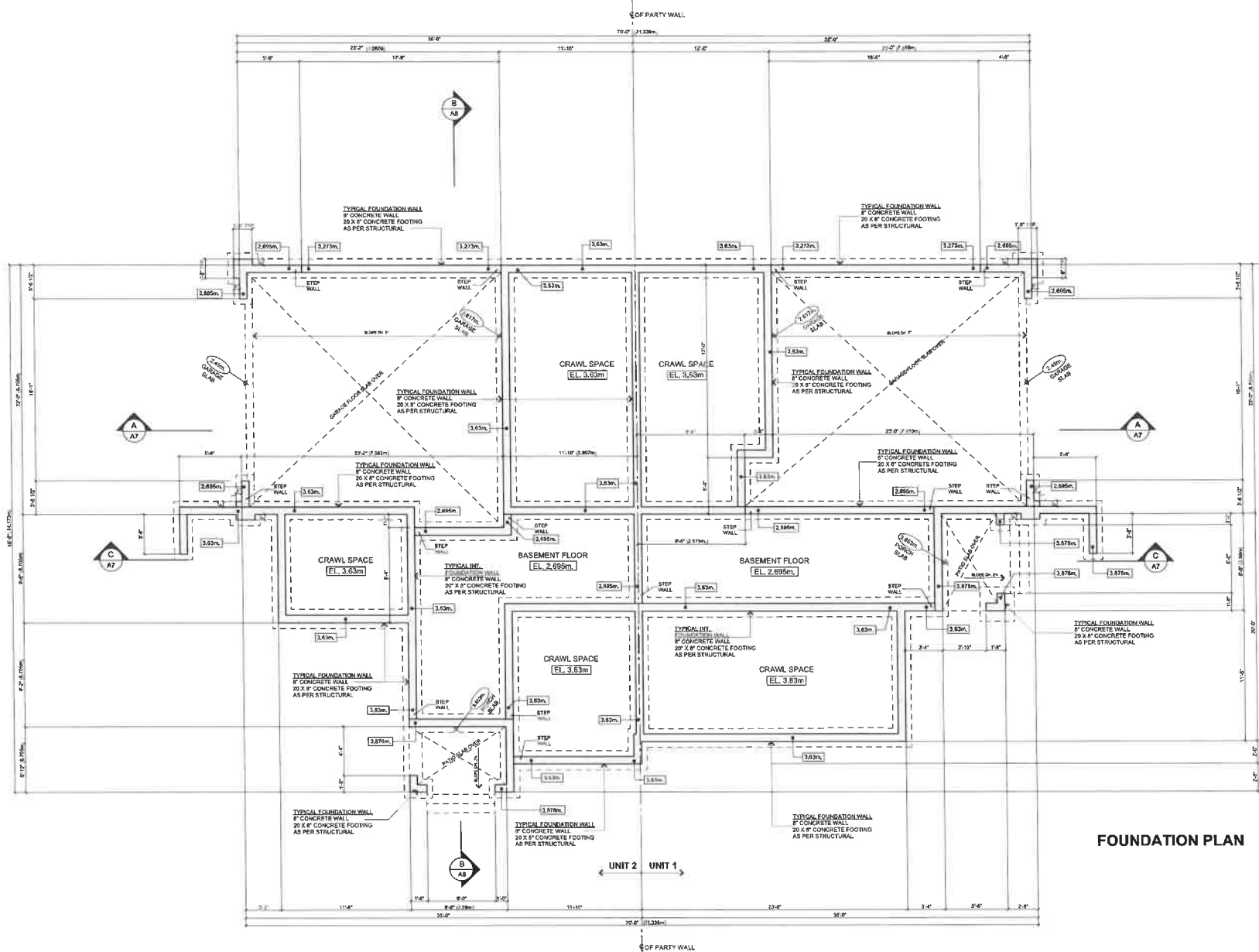
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of 10**



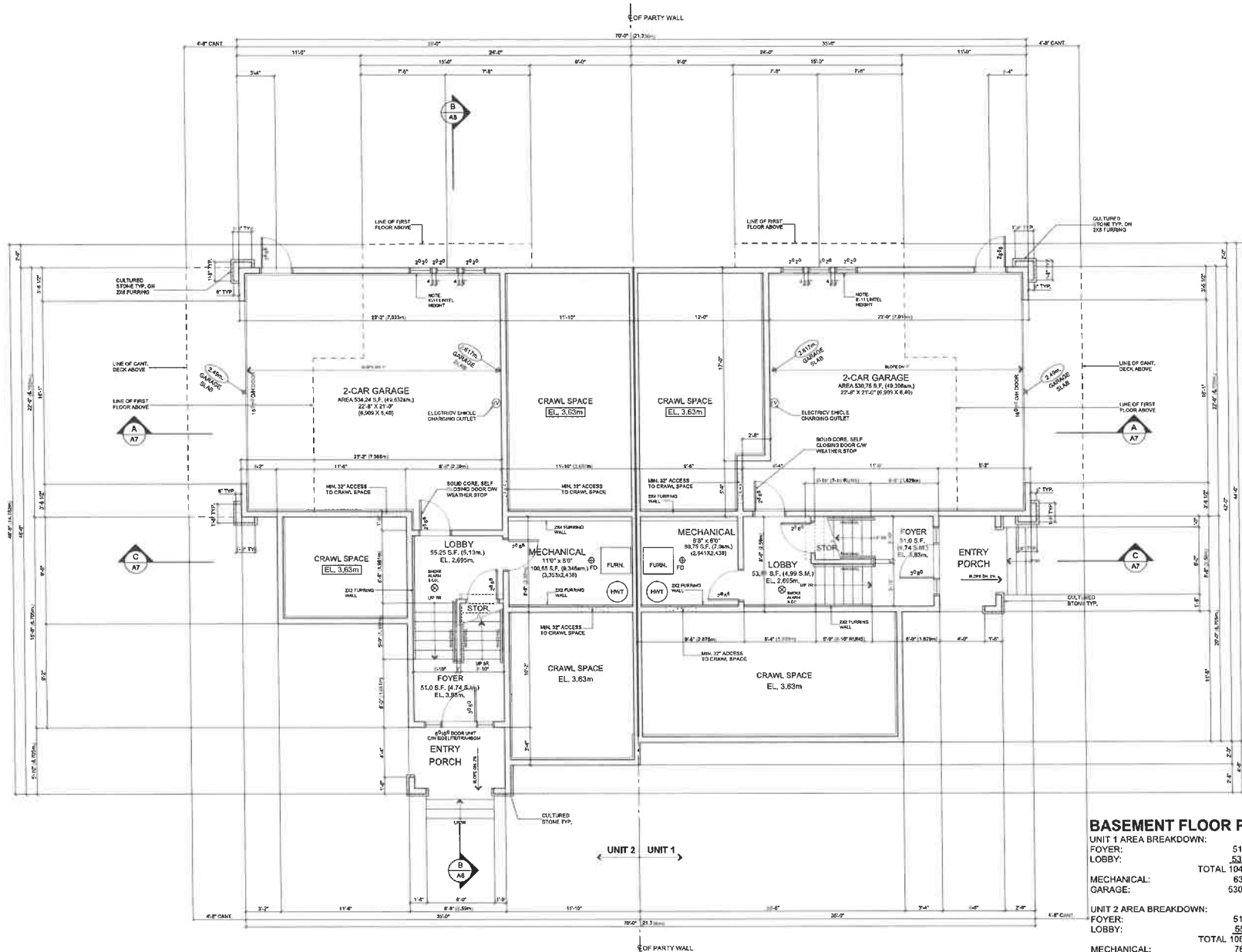
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project file  
**RESIDENCE -  
DUQUEZ / LOPERA  
PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title  
**FOUNDATION PLAN**

date started: MAY, 2022  
job no.  
drawn alexs  
scale: 1/8" = 1'-0"  
sheet no.

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of 10



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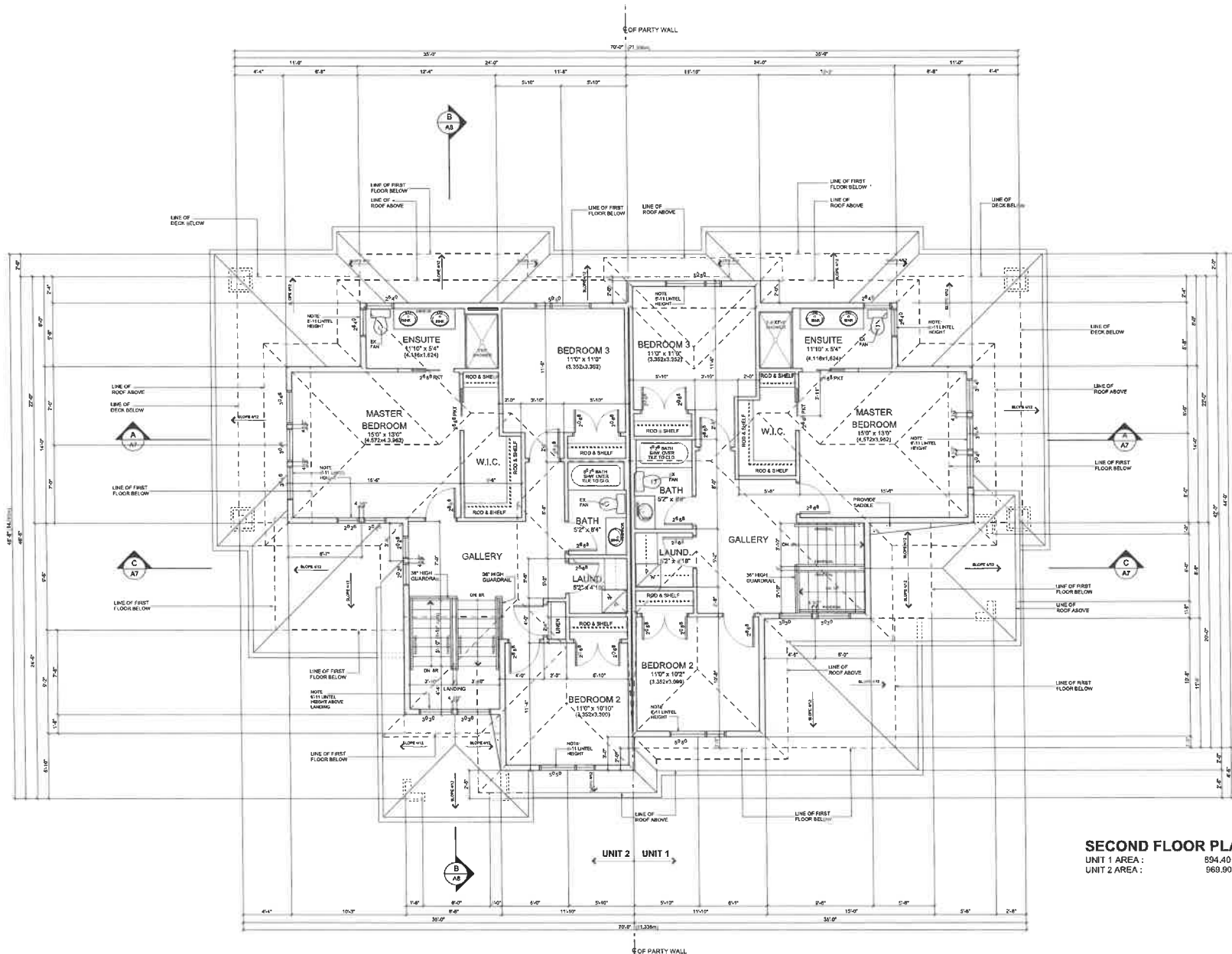
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PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title  
**BASEMENT  
FLOOR PLAN**

date started: issue/revision  
job no.  
drawn: alex chkd.  
scale: 1/4" = 1'-0"  
sheet no.

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NOTE:  
BUILDING MUST BE EQUIPPED  
WITH FIRE SPRINKLERS AS PER  
CITY OF PORT COQUITLAM CURRENT  
BUILDING AND PLUMBING BYLAW  
AND IN ACCORDANCE TO NFPA 13D  
STANDARDS



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PROPOSED DUPLEX**  
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PORT COQUITLAM, B.C.

sheet title

**SECOND FLOOR PLAN**

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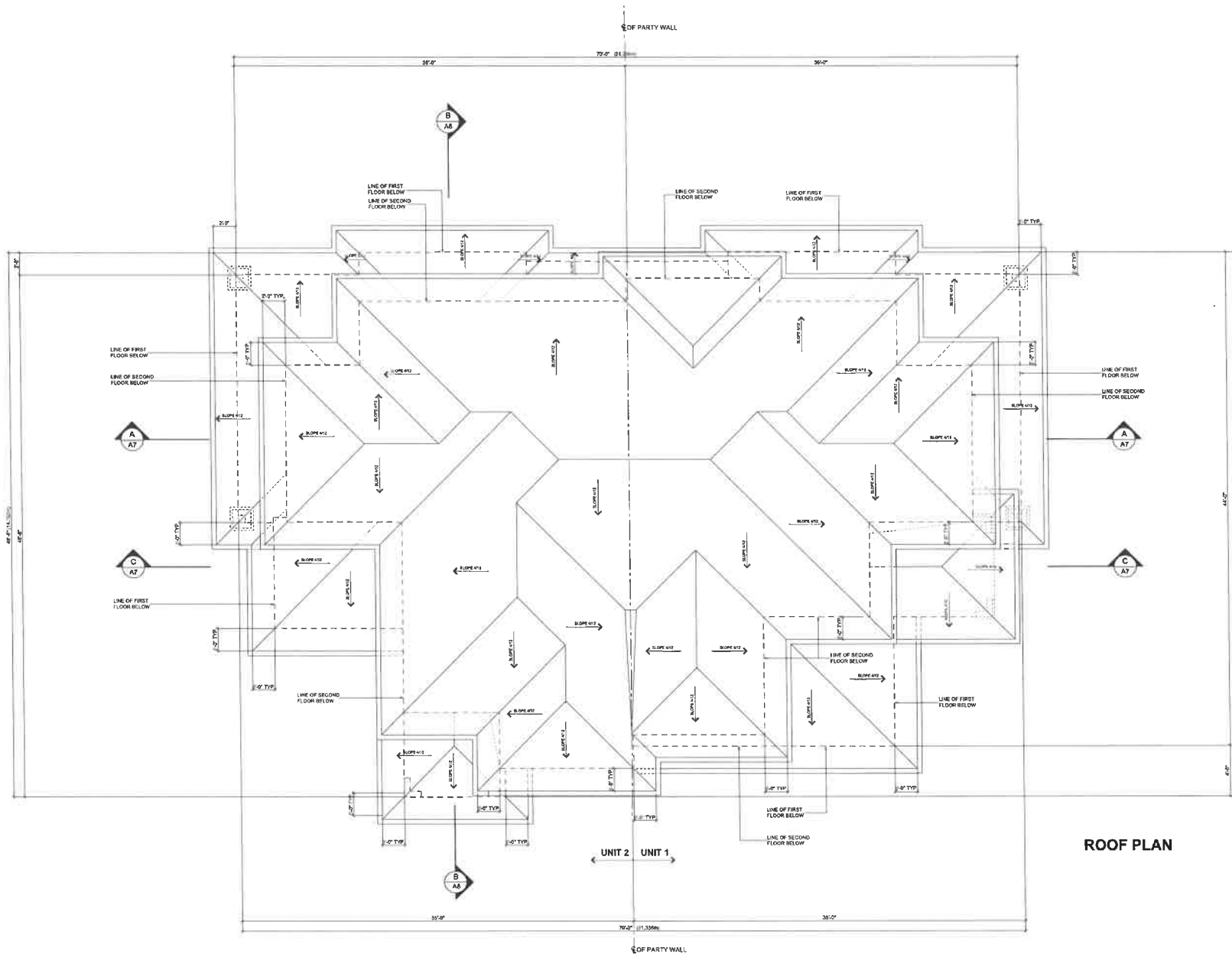
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## SECOND FLOOR PLAN

UNIT 1 AREA : 594.40 S.F.  
UNIT 2 AREA : 594.40 S.F.

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ROOF PLAN



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project title

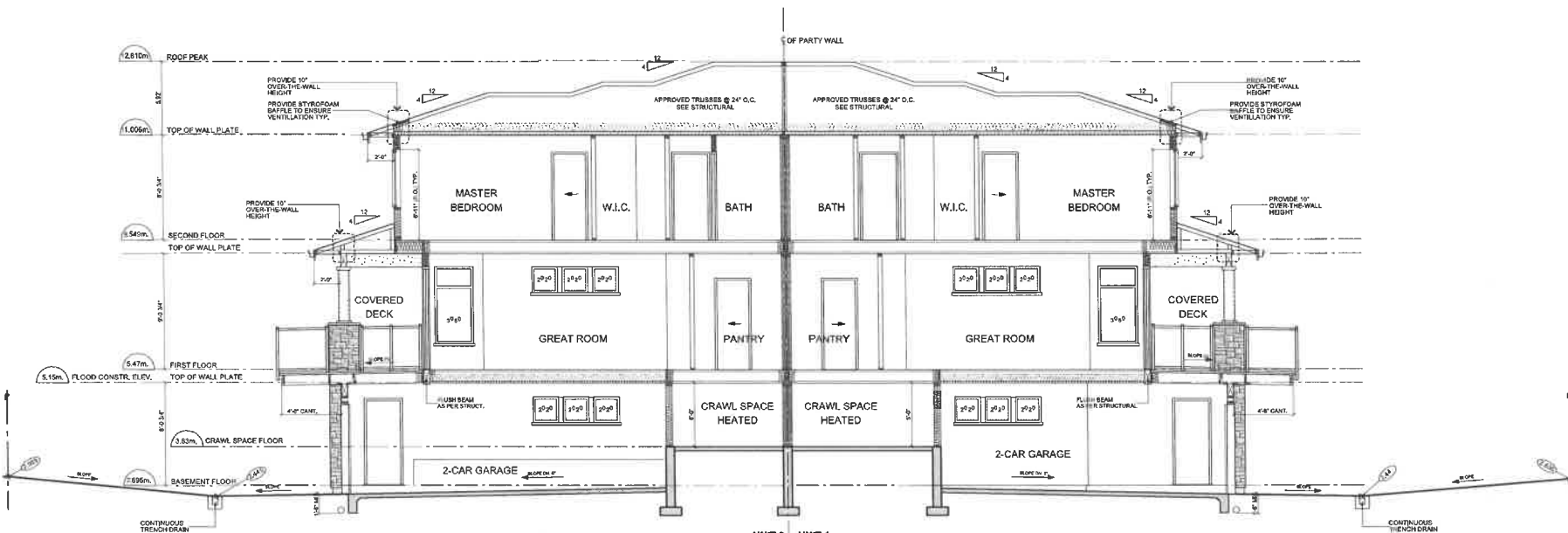
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PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title

ROOF PLAN

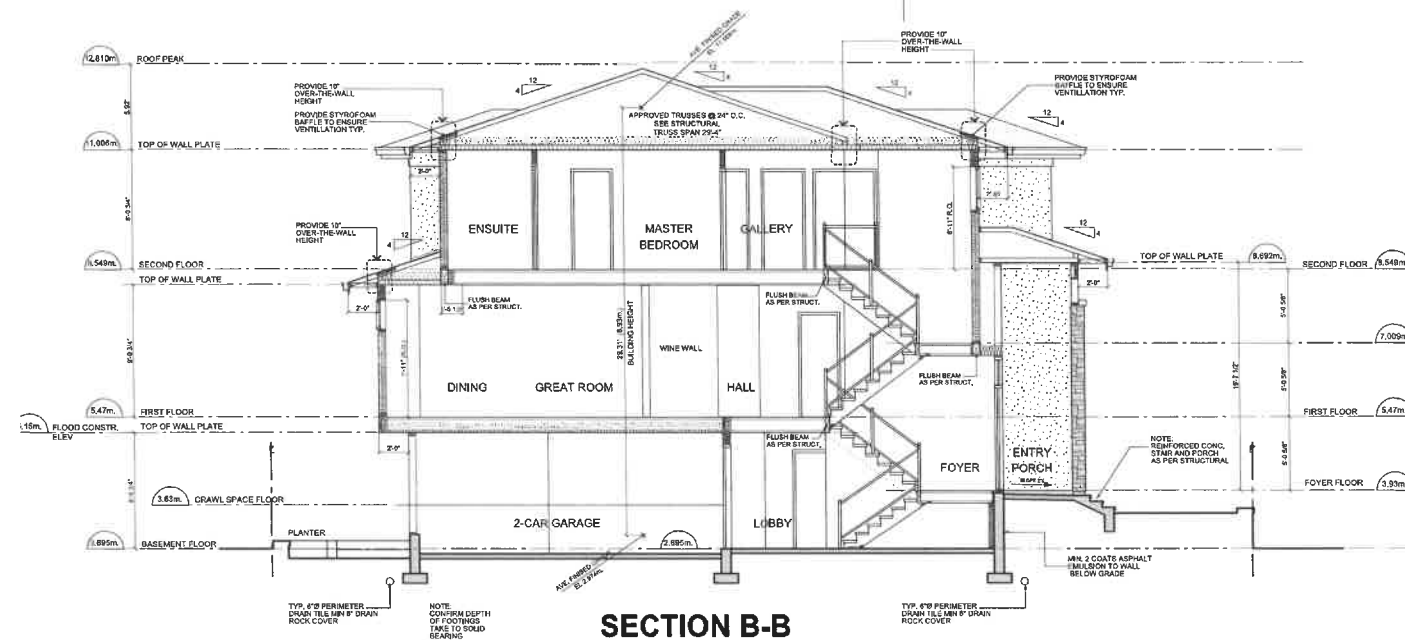
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SECTION A-A

UNIT 2 UNIT 1



SECTION B-B



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PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title

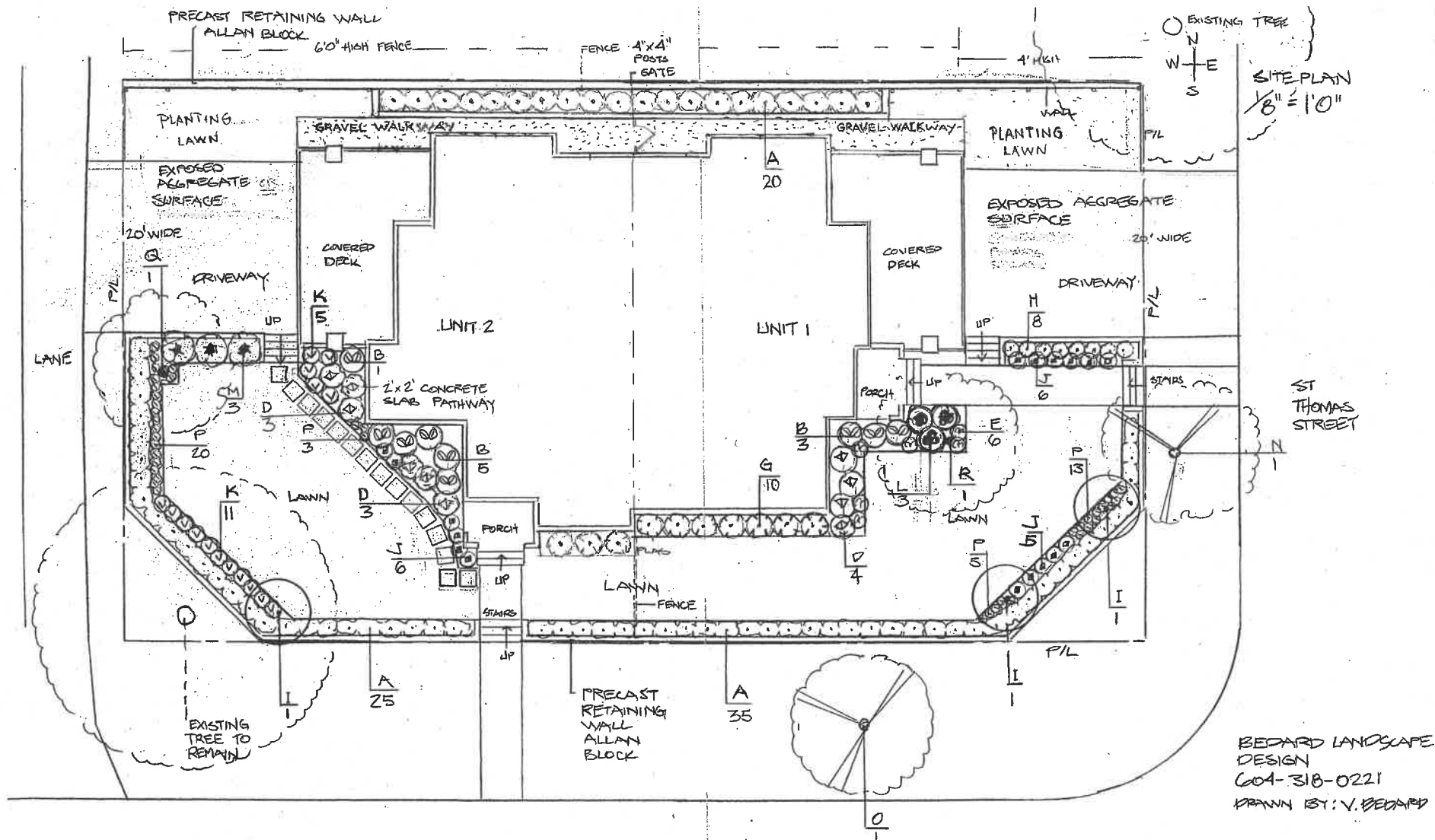
SECTION A-A  
SECTION B-B

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MAY, 2022  
job no.  
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### PLANT LIST

- A CEDAR HEDGE #7 POTS (2'6" o.c.)
- B VIBURNUM DAVIDII #5
- C SPIREA BUMALDA 'MAGIC CARPET' #2
- D RHODODENDRON DAVIESII #3
- E BERBERIS CRIMSON PIGMY #2
- F BERGENIA BRESSINGHAM BRONZE #1
- G CHOISYA TERMINATA #3
- H BUXUS MICROPHYLLA 'GREEN GEM' #2
- I HIBISCUS SYRIACUS GRAFTED ON STANDARD #7
- J SALVIA MAY NIGHTS #1
- K GERANIUM BROOKSIDE #1

- L HYDRANGEA ARBORESCENS 'ANNABELLE' #3
- M HYDRANGEA PANICULATA 'LITTLE LIME PUNCH' #2
- N ACER RUBRUM ARMSTRONG - 2 1/2" CALIPER
- O GINKGO BILOBA - 2 1/2" CALIPER
- P CAMPANULA CARPATICA 'WHITE CLIPS'

- REPLACEMENT TREES
- Q OXYDENDRON ARBOREUM - 2 1/2" CALIPER
  - R CORNUS NUTTALLI 'EDDY'S WHITE WONDER' - 2 1/2" CAL

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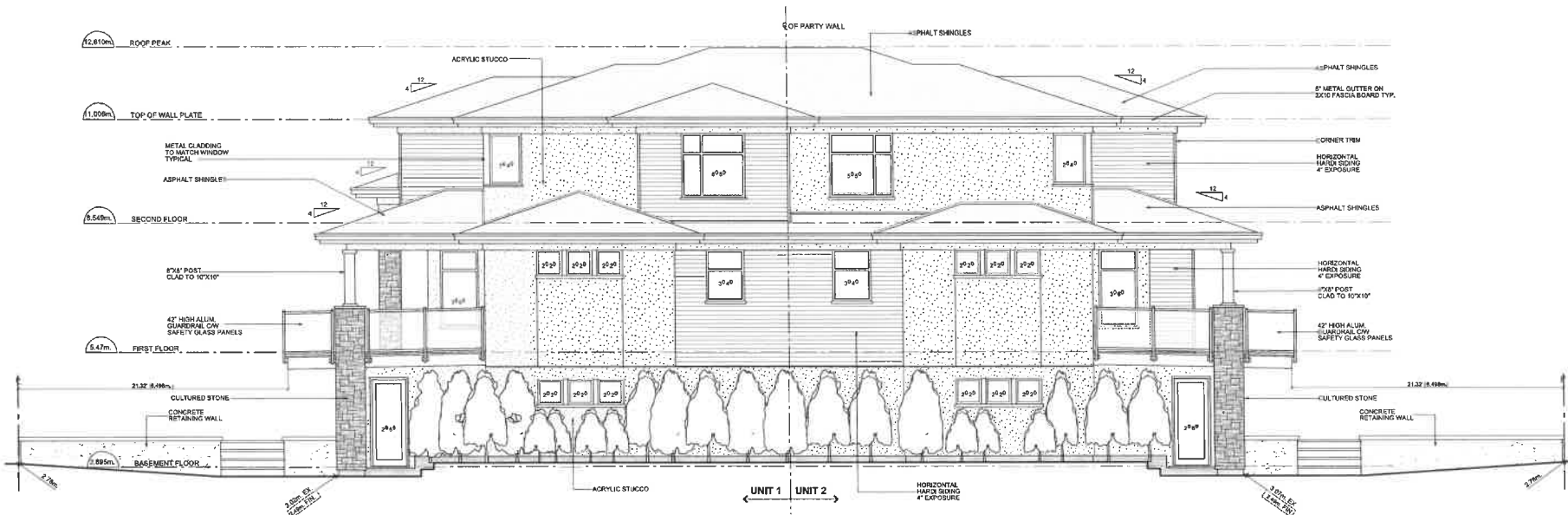


**EAST ELEVATION (ST. THOMAS STREET)**

**NEIGHBOURING HOUSE PROFILE  
AT 3621 THOMAS STREET**



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**NORTH ELEVATION**

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PROPOSED DUPLEX**  
3609 ST. THOMAS STREET,  
PORT COQUITLAM, B.C.

sheet title  
**EAST ELEVATIONS  
NORTH ELEVATIONS**

date started: MAY, 2022  
job no.  
drawn: chkd.  
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