

THE CORPORATION OF THE CITY OF PORT COQUITLAM
"DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849"

DEVELOPMENT PERMIT AMENDMENT

NO. DP000276 (Amendment)

Issued to: Kiren Enterprises Ltd., INC.NO.BC0616420
(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: 18838 122nd Street, Pitt Meadows, BC, V3Y 2K6

1. This Development Permit Amendment applies to and only to DP000276 issued June 23rd, 2020.
2. DP000276 is amended to:
 - a. extend the date of expiry to December 31, 2025;
 - b. replace drawings numbered DP000276 (1) to DP000276 (17) and Schedule A with drawings numbered DP000276 amendment (1) to DP000276 amendment (17) and Schedule A amendment which are attached hereto and form part of this permit; and
 - c. increase the landscape security to \$174,218.

APPROVED BY THE COMMITTEE OF COUNCIL THE ____ DAY OF ____ 2024.

SIGNED THIS ____ DAY OF _____, 2024.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or
Representative of Applicant)

DEVELOPMENT PERMIT

1161 KINGSWAY AVENUE, PORT COQUITLAM, B.C.

PROJECT DIRECTORY

PROJECT OWNER
 Harjit Sekhon
 #101, 12473 Harris Road,
 Pitt Meadows, B.C.
 604.377.1304
 hsekhon@refractiondevelopment.com

ARCHITECT
 Contoura Architecture Ltd.
 Vipul Chauhan, Architect ABC
 #900 - 1200 W. 73rd Avenue
 Vancouver, BC
 604.264.1450
 vipul@contoura.ca

SURVEYOR
 Cameron Land Surveying Ltd.
 Land Surveyors
 Unit 206-16055 Fraser Highway
 Surrey, B.C. V4N 0G2
 604.597.3777

CIVIL ENGINEER
 Mainland Engineering Corporation
 #206, 8363 – 128 Street, Surrey, BC –
 V3W 4G1
 604-543-8044
 avmash@mainlandeng.com

BUILDING & ZONING DATA

CIVIC ADDRESS : 1161 KINGSWAY AVENUE
LEGAL DESCRIPTION : LOT A, SECTION 17 & 18, NEW WEST DISTRICT,
 PLAN BCP19376, 6ENRIE
Legal Type : LAND
Folio : 881020-001
PID : 026-403-382
Plan Number : BCP19376
Zoning : M1 - GENERAL INDUSTRIAL
Site Area : 3685 m²

INTENT OF ZONE

To accommodate and regulate heavy industrial uses for employment generation including manufacturing, processing, assembly, distribution, service and repair uses which carry out a portion of their operations outdoors or require outdoor storage, including large transportation facilities such as railway yards and truck terminals.

AREA CALCULATIONS

| | | |
|---|---|----------------------------------|
| SITE AREA | : | 3685 m² (39,665 sqft) |
| MIN. ALLOWABLE M1 SITE AREA | : | 1200 m² (12,917 sqft) |
| FRONTAGE | : | 44.7 m (146.6') |
| MINIMUM ALLOWABLE M1 FRONTAGE | : | 9 m (29.5') |
| F.A.R. | : | N/A |
| PROPOSED GROSS FLOOR AREA | : | 1225 m² (13292 SQFT) |
| MAXIMUM ALLOWED | : | UNDECLARED |
| LOT COVERAGE PERMITTED | : | UNDECLARED |
| PROPOSED COVERAGE | : | 849 m² (9142 SQFT) |
| BUILDING HEIGHT PERMITTED | : | UNDECLARED |
| PROPOSED | : | 8.1 m (26') |
| STOREYS PERMITTED | : | UNDECLARED |
| PROPOSED | : | 2 (1 PLUS MEZZANINE) |
| SETBACKS | | |
| FRONT PERMITTED | : | 6 m (19.7 ft) |
| FRONT PROPOSED | : | 25.5 m (83.7 ft) |
| REAR PERMITTED | : | 3 m (9.8 ft) |
| REAR PROPOSED | : | 9 m (29.5 ft) |
| THIS IS THE PROVINCIAL HIGHWAY SETBACK | : | |
| SIDE YARD PERMITTED | : | 0 m (0 ft) |
| SIDE YARD PROPOSED | : | 30.7 m (100.8 ft) and 0 m (0 ft) |
| PROVINCIAL HIGHWAYS REQD. SETBACK | : | 9 m (29.5 ft)* |
| *Maryhill Bypass is Provincial Highway 7 | | |

ARCHITECTURAL DRAWINGS LIST:

- A-1.0 : PROJECT INFO, CONTEXT PLAN, LOCATION PLAN, PROJECT DIRECTORY, DRAWINGS LIST
- A-2.0 : SITE PLAN
- A-2.1 : IMPERVIOUS SURFACE CALCULATIONS
- A-3.1 : MAIN FLOOR PLAN
- A-3.2 : SECOND FLOOR PLAN
- A-3.3 : ROOF PLAN
- A-4.1 : ELEVATIONS
- A-4.2 : ELEVATIONS
- A-4.3 : ELEVATIONS
- A-4.4 : ELEVATIONS
- A-5.0 : RENDERINGS
- A-5.1 : SECTIONS
- A-6.0 : SPATIAL SEPARATION CALCULATIONS
- A-7.0 : DOORS & WINDOWS



1.1 CONTEXT PLAN
Scale: 1:1



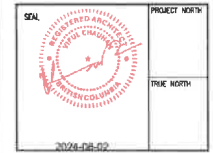
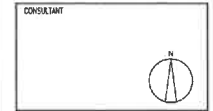
2.1 SITE LOCATION
Scale: 1:1



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| ISSUED | DATE |
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| 01 | ISSUED FOR DP APPLICATION |
| 02 | ISSUED AS PER CITY COMMENTS |
| 03 | ISSUED AS PER CITY COMMENTS |
| 04 | ISSUED AS PER CITY COMMENTS |



PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1161 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD.

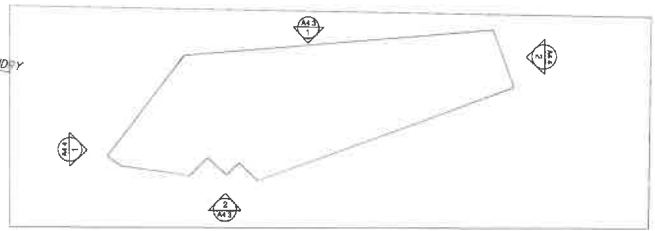
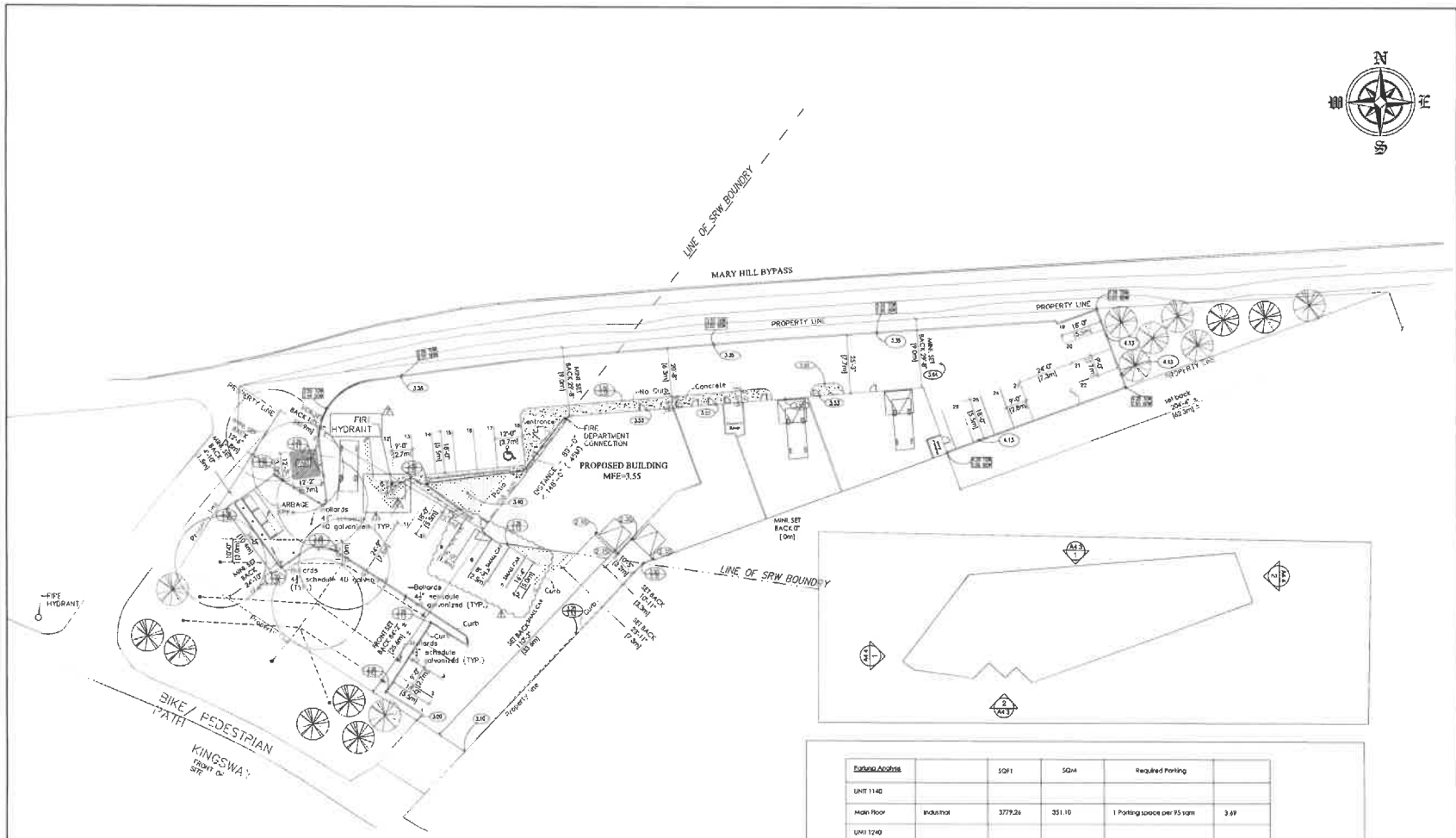
DRAWING TITLE:
 PROJECT INFO, CONTEXT PLAN

DRAWN BY: VCH
CHECKED BY: VCH
DATE: 07 MAY 2024
SCALE: AS SHOWN
PROJECT No.: 224-162-A

SHEET No.:
 A-1.0

DPO00276 (Amendment) (i)

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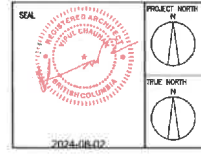
Analysis based on shared parking in evening:
 Parking spots required for craft brewery with 100 seats and staff without industrial and office use=23
 Parking spots required for office of building 101&unit 102,103,104=2
 Required parking spots=25
 Provided parking spots =26
 -Variance Required To Approve Share Parking

| Parking Analysis | | SQF1 | SQM | Required Parking | |
|------------------|------------|----------|---------|----------------------------|-------|
| UNIT 1140 | | | | | |
| Main Floor | Industrial | 3779.26 | 331.10 | 1 Parking space per 95 sqm | 3.69 |
| UNIT 1240 | | | | | |
| Second Floor | Industrial | 2142.00 | 199.07 | 1 Parking space per 95 sqm | 2.10 |
| UNIT 1130 | | | | | |
| Main Floor | Industrial | 1936.16 | 181.23 | 1 Parking space per 95 sqm | 1.99 |
| Mezzanine | Industrial | 805.00 | 74.81 | 1 Parking space per 95 sqm | 0.79 |
| UNIT 1120 | | | | | |
| Main Floor | Industrial | 1609.50 | 149.61 | 1 Parking space per 95 sqm | 1.57 |
| Mezzanine | Industrial | 642.80 | 59.74 | 1 Parking space per 95 sqm | 0.63 |
| UNIT 1110 | | | | | |
| Main Floor | Industrial | 1487.24 | 137.38 | 1 Parking space per 95 sqm | 1.44 |
| Mezzanine | Industrial | 675.59 | 63.79 | 1 Parking space per 95 sqm | 0.70 |
| Total | | 13992.00 | 1283.52 | Total | 12.83 |

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| ISSUED | DATE |
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| 01 | ISSUED FOR PERMIT APPLICATION 2024-05-08 |
| 02 | ISSUED AS PER CITY COMMENTS 2024-07-15 |
| 03 | ISSUED AS PER CITY COMMENTS 2024-07-26 |
| 04 | ISSUED AS PER CITY COMMENTS 2024-08-01 |

CONSULTANT



PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1161 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD.

DRAWING TITLE:
SITE PLAN

| | |
|-----------------------|-----------|
| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-2.0 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| PROJECT No: 224-152-A | |

DPO00276 (Amendment) (2)



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| ISSUED | DATE |
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| 01 ISSUED FOR APPLICATION | 2024-05-09 |
| 02 PERIOD AS PER CITY COMMENTS | 2024-07-11 |
| 03 PERIOD AS PER CITY COMMENTS | 2024-07-30 |
| 04 PERIOD AS PER CITY COMMENTS | 2024-08-01 |

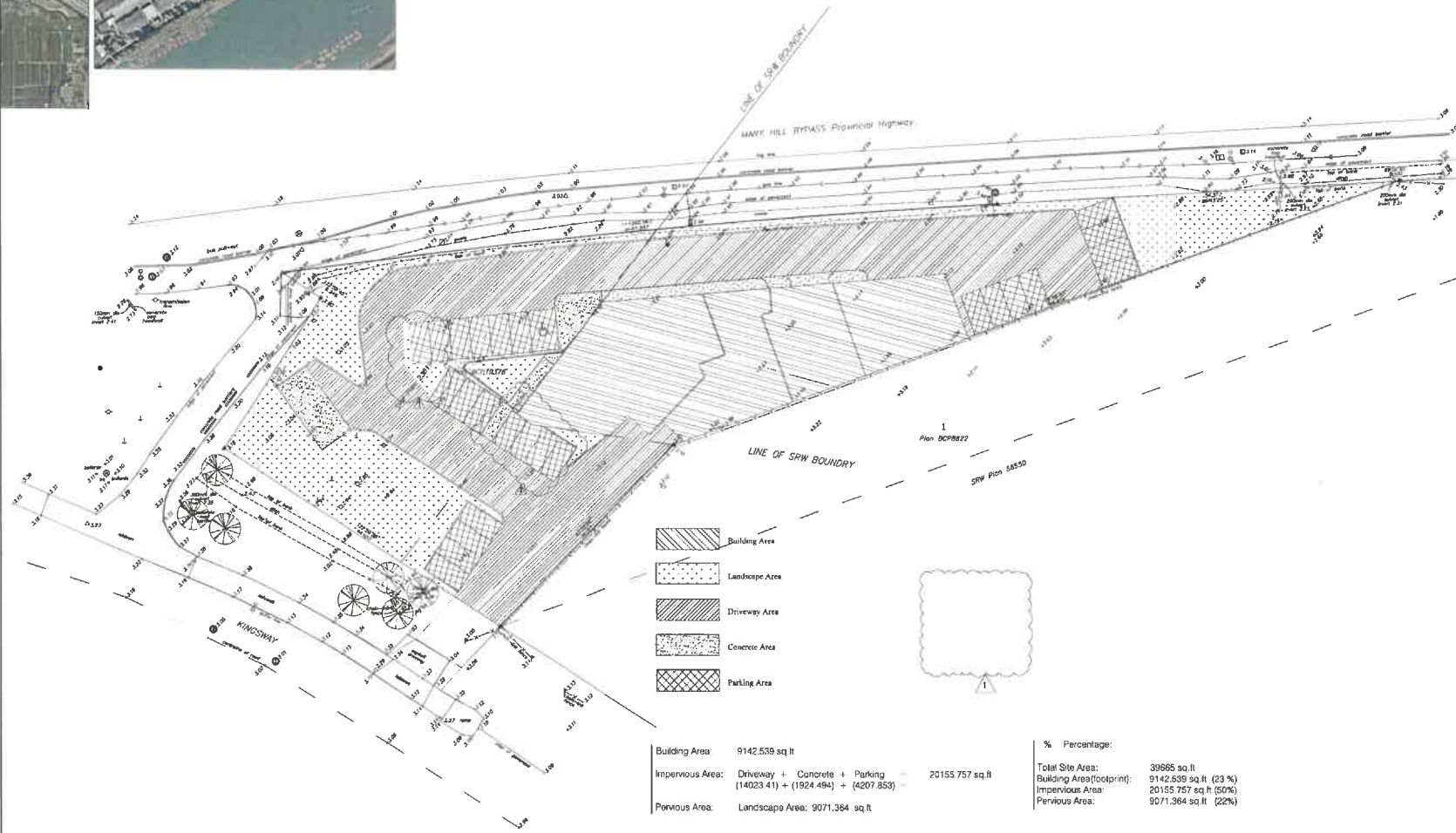
CONSULTANT



PROJECT:
PROPOSED M1
INDUSTRIAL DEVELOPMENT
 1167 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD.

DRAWING TITLE:
IMPERVIOUS SURFACE

| | |
|--------------------------|------------------|
| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-2.1 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| No: 224-152-A | |



- Building Area
- Landscape Area
- Driveway Area
- Concrete Area
- Parking Area

| | | | | |
|------------------|--------------------------------------|-------------------|---------------------------|-----------------------|
| Building Area: | 9142.539 sq ft | | % Percentage: | 39665 sq ft |
| Impervious Area: | Driveway + Concrete + Parking | = 20155.757 sq ft | Total Site Area: | 51121.766 sq ft |
| | (14023.41) + (1924.494) + (4207.853) | | Building Area(footprint): | 9142.539 sq ft (23 %) |
| Pervious Area: | Landscape Area: | 9071.364 sq ft | Impervious Area: | 20155.757 sq ft (50%) |
| | | | Pervious Area: | 9071.364 sq ft (22%) |

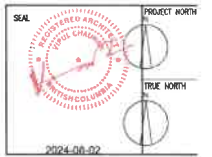
DR0000276 (Amendment) (3)

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| REVISION | DATE | DESCRIPTION |
|----------|------------|--------------------------|
| 1 | 24-05-2024 | ISSUED FOR CLIENT REVIEW |
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| ISSUED | DATE |
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| (1) ISSUED FOR DP APPLICATION | 2024-05-08 |
| (2) ISSUED AS PER CITY COMMENTS | 2024-05-15 |
| (3) ISSUED AS PER CITY COMMENTS | 2024-07-30 |
| (4) ISSUED AS PER CITY COMMENTS | 2024-08-01 |

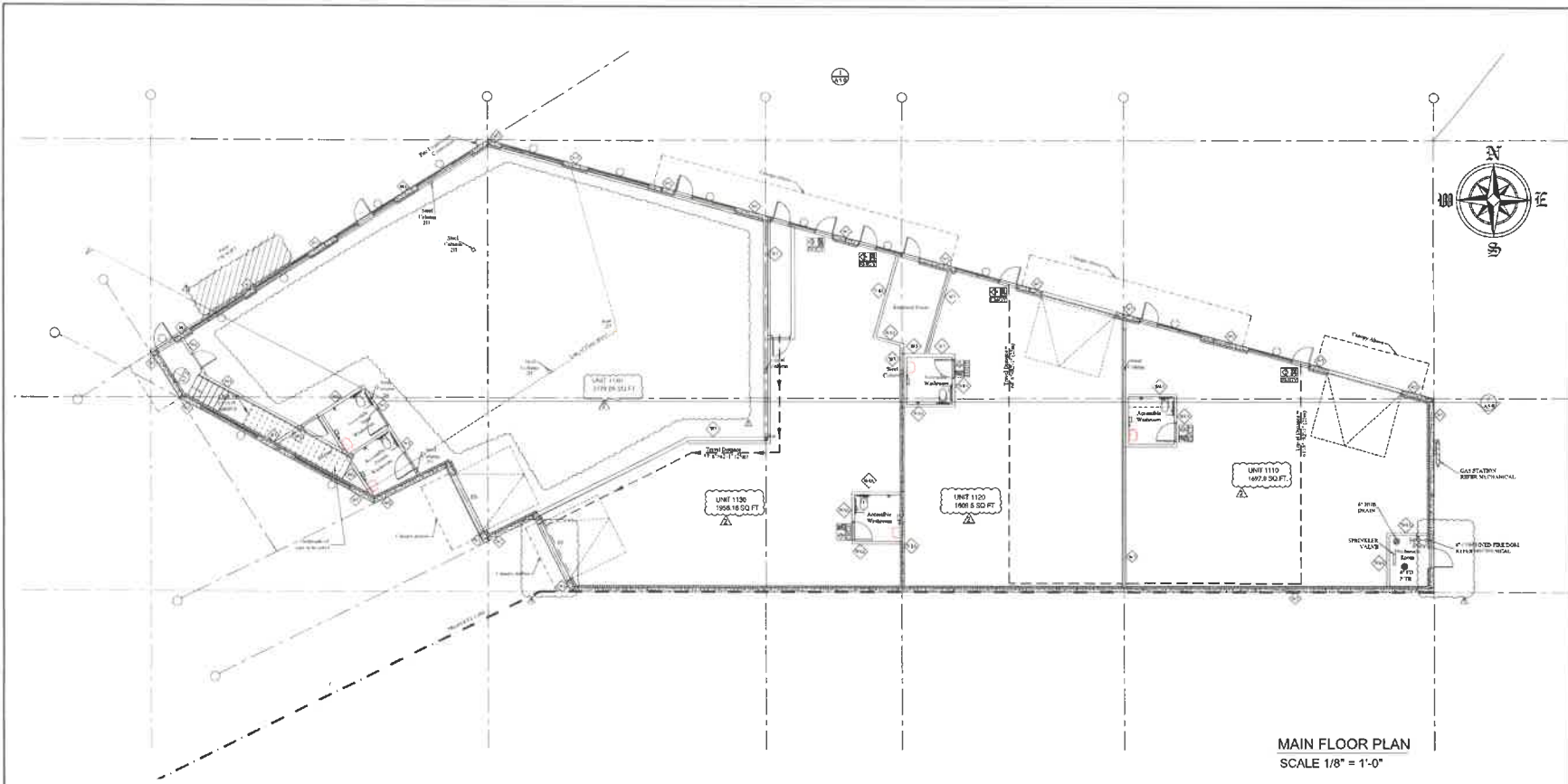
CONSULTANT



PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1161 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD

DRAWING TITLE:
MAIN FLOOR PLAN

| | |
|-------------------|-----------|
| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-3.1 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |



MAIN FLOOR PLAN
 SCALE 1/8" = 1'-0"

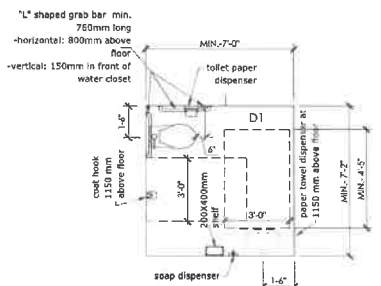
B.C. BUILDING CODE 2018 ANALYSIS
 Energy Requirements NECB

| Means of Egress | |
|--|------------------------------|
| Unit 1140 - Main Floor | Unit 1240 - Second Floor |
| Floor Area Sq.ft. Sq.m. | Sq.ft. Sq.m. |
| 3,779.26 351.23 | 2,142.90 199.15 |
| Maximum floor area 200 m ² (3.4.2.2) | 200 m ² (3.4.2.2) |
| Maximum distance to egress 40m (3.4.2.1) | 25m (3.4.2.2) |
| Number of exits (BCBC 3.4.2.1) | 1 (BCBC 3.4.2.2) |

B.C. BUILDING CODE 2018 ANALYSIS
 Energy Requirements NECB

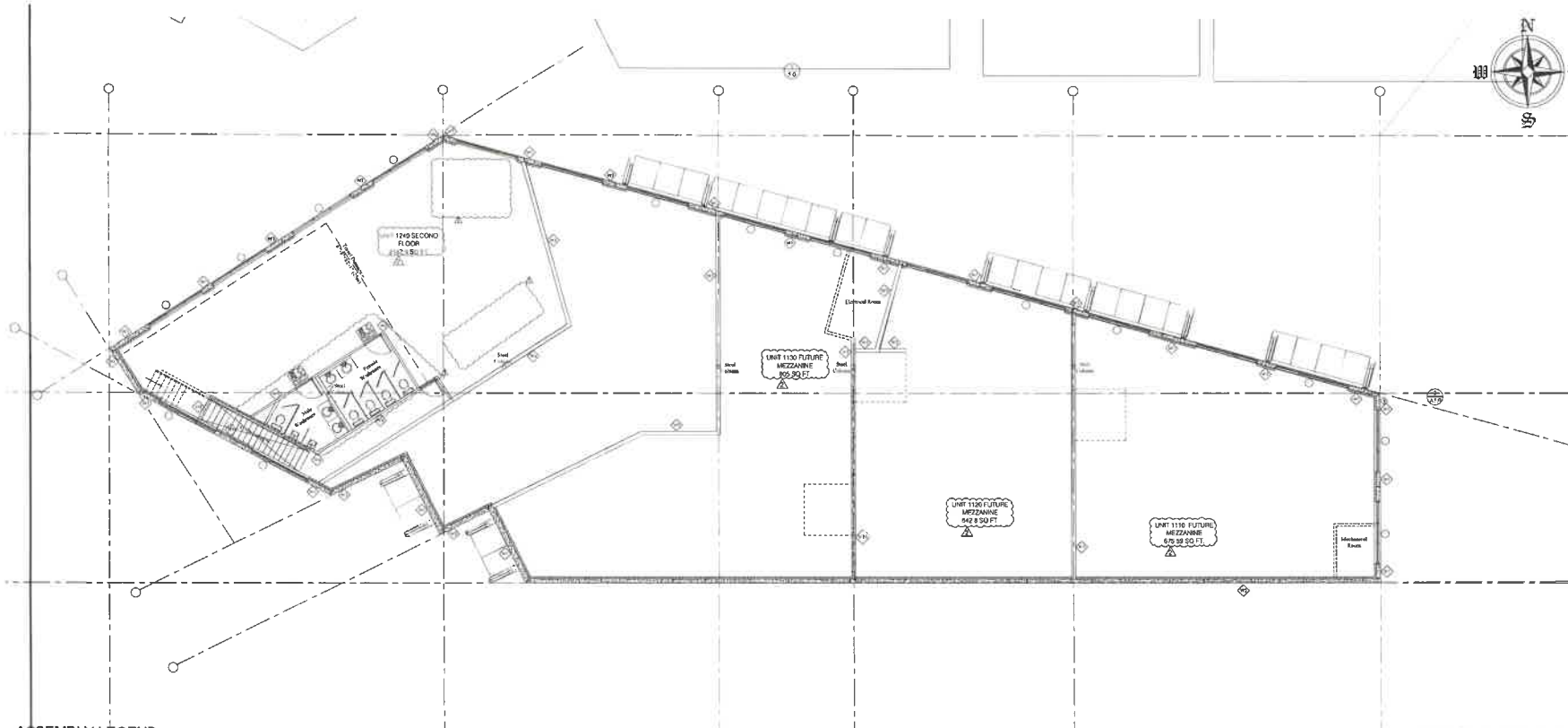
| Civic Address 1141 Kingsway Avenue Port Coquitlam, BC | |
|---|------------------------------|
| Floor Area Sq.ft. Sq.m. | Sq.ft. Sq.m. |
| 1,956.16 181.80 | 805.00 74.8 |
| Maximum floor area 200 m ² (3.4.2.1-8) | 150 m ² (3.4.2.2) |
| Maximum distance to egress 25m (3.4.2.1-8) | 10m (3.4.2.2) |
| Number of exits (BCBC 3.4.2.1) | 1 (BCBC 3.4.2.2) |

| Occupancy | Code | Allowed construction | Floor rating | Load bearing wall/ columns |
|-----------|-----------|-----------------------------|--------------|--|
| D | 3.2.2.4.1 | Non-combustible/combustible | 45 mins | - Combustible: 45 mins - Non-combustible: No rating |
| F2 | 3.2.2.7 | Non-combustible/combustible | 45 mins | Wood columns: 45 mins Steel columns: 0 mins |
| A2 | 3.2.2.2.1 | Non-combustible/combustible | 45 mins | - Combustible: 45 mins - Non-combustible: No rating |
| E | 3.2.2.4 | Non-combustible/combustible | 45 mins | - Combustible: 45 mins - Non-combustible: No rating |



H/A WASHROOM F.P. DOOR OPENS IN (TY)

DP000276 (Amendment) (4)



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| REVISION | DATE | DESCRIPTION |
|----------|----------|-------------------|
| 1 | 24-08-24 | ISSUED FOR CLIENT |
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| ISSUED | DATE |
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| 10 | ISSUED FOR APPLICATION 2024-08-08 |
| 20 | ISSUED AS PER CITY COMMENTS 2024-07-16 |
| 30 | ISSUED AS PER CITY COMMENTS 2024-07-30 |
| 40 | ISSUED AS PER CITY COMMENTS 2024-08-04 |

CONSULTANT

PROJECT NORTH
TRUE NORTH

2024-08-02

ASSEMBLY LEGEND
(SEE SHEET A7.1 FOR DETAILED ASSEMBLIES)

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

WALL ASSEMBLIES

| DESCRIPTION |
|---|
| <p>W4</p> <p>EXTERIOR WALL TILTUP WALL HEATED - NON-RATED</p> <p>ELASTOMERIC SEALANT TO EXPOSED CONCRETE FACE</p> <p>ARCHITECTURAL FINISH 8" CONCRETE WALL</p> <p>R-12.2 SPRAYED CLOSED CELL FOAM THERMAL INSULATION</p> <p>2-1/2" STEEL STUDS @ 16" O.C. 1" AWAY FROM THE WALL (REFER TO STRUCT.)</p> <p>MOUNTED WITH BRACKETS AT 4'-0" O.C.</p> <p>5/8" CWS</p> <p>FIRE RATINGS:</p> <p>REQUIRED: FIRE RATING -N/R, S1C -N/R, R-9.5 cl. U-0.104</p> |
| <p>W1A</p> <p>INTERIOR WALL TILTUP WALL HEATED - 1 HOUR FIRE RATED</p> <p>ELASTOMERIC SEALANT TO EXPOSED CONCRETE FACE</p> <p>8" CONCRETE WALL</p> <p>FIRE RATINGS:</p> <p>1 HR. FIRE RESISTANCE AS PER BCBC 2018 DIV. B APP. D TABLE D-2.1.1</p> <p>REQUIRED: FIRE RATINGS -1H, S1C -N/R, R -N/R, U-N/R</p> |
| <p>W2</p> <p>EXTERIOR WALL TILTUP WALL HEATED - 2 HOUR FIRE RATED</p> <p>ELASTOMERIC SEALANT TO EXPOSED CONCRETE FACE</p> <p>8" CONCRETE WALL</p> <p>R-20.3 2" SPRAYED CLOSED CELL FOAM THERMAL INSULATION</p> <p>2-1/2" STEEL STUDS @ 16" O.C. 1" AWAY FROM THE WALL (REFER TO STRUCT.)</p> <p>MOUNTED WITH BRACKETS AT 4'-0" O.C.</p> <p>5/8" GYPSUM BOARD TYPE X</p> <p>FIRE RATINGS:</p> <p>2 HR. FIRE RESISTANCE AS PER BCBC 2018 DIV. B APP. D TABLE D-2.1.1</p> <p>REQUIRED: FIRE RATINGS -2H, S1C -N/R, R -13 -7.5 cl. U-0.104</p> |

| |
|---|
| <p>W3</p> <p>INTERIOR PARTITION WALL - 2 HR. FIRE RATED -ULC Div. U301</p> <p>2 LAYERS 5/8" TYPE X FIRE RATED GYPSUM SA SIDE;</p> <p>6" STEEL STUDS @ 16" O.C. (REFER TO STRUCT.)</p> |
| <p>W4</p> <p>INTERIOR C.B.U. NON-BEARING WALL (PARTITION WALL) - 2 HR. FIRE RATED -ULC Div. U301</p> <p>2 LAYERS 5/8" TYPE X FIRE RATED GYPSUM EA. SIDE;</p> <p>2 X 4 WOOD STUDS (REFER TO STRUCT.)</p> <p>PROVIDE 1" GAP @ FLOOR/ROOF WITH DEFLECTION TRACK</p> |
| <p>W5A</p> <p>INTERIOR C.B.U. BEARING WALL (PARTITION WALL) - 2 HR. FIRE RATED -ULC Div. U301</p> <p>2 LAYERS 5/8" TYPE X FIRE RATED GYPSUM EA. SIDE;</p> <p>2 X 4 WOOD STUDS (REFER TO STRUCT.)</p> |
| <p>W5</p> <p>NON-RATED PARTITION WALL</p> <p>2 X 4 STUD WALL (FOR PLUMBING)</p> <p>2 X 4 WOOD STUDS (REFER TO STRUCT.)</p> <p>1/2 CWS BOTH SIDES</p> |
| <p>W6</p> <p>INTERIOR C.B.U. PARTITION WALL - 2 HR. FIRE RATED -ULC Div. U301</p> <p>2 X 4 STUD WALL (FOR PLUMBING)</p> <p>2 X 4 STUD WALL (FOR WALLS WITHOUT PLUMBING)</p> <p>2 LAYERS 5/8" TYPE X FIRE RATED GYPSUM EA. SIDE;</p> |

NOTE: ALL PIPE PENETRATING IN FIRE RATED WALLS TO MEET THE CODE REQUIREMENTS & SEALING OF PENETRATIONS AROUND PIPES TO BE AS PER APPROVED METHOD

ROOF ASSEMBLIES

| NO | DESCRIPTION | SYMBOL | DETAIL |
|-----------|--|--------|--------|
| R1 | ROOF ASSEMBLY INSULATED - UNRATED COVER SECOND FLOOR | | |
| R2 | ROOF ASSEMBLY INSULATED - UNRATED COVER WAREHOUSE | | |

FLOOR ASSEMBLIES

| |
|--|
| <p>F1</p> <p>CONCRETE SLAB ON GRADE IN UNHEATED SPACE</p> <p>ELASTOMERIC TRAFFIC COATING</p> <p>CONCRETE SLAB (SEE STRUCTURAL DRAWINGS FOR THICKNESS)</p> <p>5/8\"/></p> |
| <p>F2</p> <p>1 HR. FIRE RATED STICRY ALTERNATIVE FLOOR ASSEMBLY PER ULC 5511</p> <p>2 1/2\"/></p> |
| <p>F3</p> <p>SUB FLOOR AS PER ASSEMBLY:</p> <p>2 X 10 JOIST @ 16\"/></p> |

| DESCRIPTION |
|--|
| <p>STEEL COLUMNS</p> <p>2 LAYERS 5/8" TYPE X FIRE RATED GYPSUM EA. SIDE;</p> <p>6" STEEL STUDS @ 16" O.C. (REFER TO STRUCT.)</p> <p>MS BRACING STRUCTURAL STEEL WITH STUD SPACES</p> <p>RECOMMENDATIONS:</p> <p>COMPACTED SAND BED</p> <p>4" COMPACTED GRAVEL SIZED BY CIVIL ENGINEER</p> <p>RECOMMENDATIONS:</p> <p>COMPACTED BEARING SOIL</p> |
| <p>FIRE RATINGS:</p> <p>2 HR. FIRE RESISTANCE AS PER BCBC 2018 DIV. B APP. D TABLE D-2.6.1.F.</p> <p>REQUIRED: FIRE RATING -2H, S1C -N/R, U-N/R</p> |



PROJECT: PROPOSED M1 INDUSTRIAL DEVELOPMENT
1161 KINGSWAY AVENUE, PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD

DRAWING TITLE: SECOND FLOOR PLAN

| | |
|-----------------------|-----------|
| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-3.2 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| PROJECT No: 224-152-A | |

Handwritten signature: DR 000076 (Amendment) (5)

LUMPKIN RESOLUTION
 THIS DESIGN & DRAWING IS AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARDIS CONSULTING LTD. AND CANNOT BE USED WITHOUT THE CONSENT OF CONTOURA ARCHITECTURE LTD.

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| ISSUED | DATE |
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| 13 | 2024-04-06 |
| 12 | 2024-07-18 |
| 11 | 2024-03-30 |
| 10 | 2024-08-01 |

CONSULTANT

SCAL

CONTOURA ARCHITECTURE LTD.
 1161 KINGSWAY AVENUE, PORT COQUITLAM, B.C.
 TEL: 604-633-1300
 WWW.CONTOURAARCH.COM

PROJECT NORTH

TRUE NORTH

2024-08-02

CONTOURA ARCHITECTURE LTD.
 1161 KINGSWAY AVENUE, PORT COQUITLAM, B.C.
 TEL: 604-633-1300
 WWW.CONTOURAARCH.COM

PROJECT:

PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1161 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD

DRAWING TITLE:

ROOF PLAN

DRAWN BY:

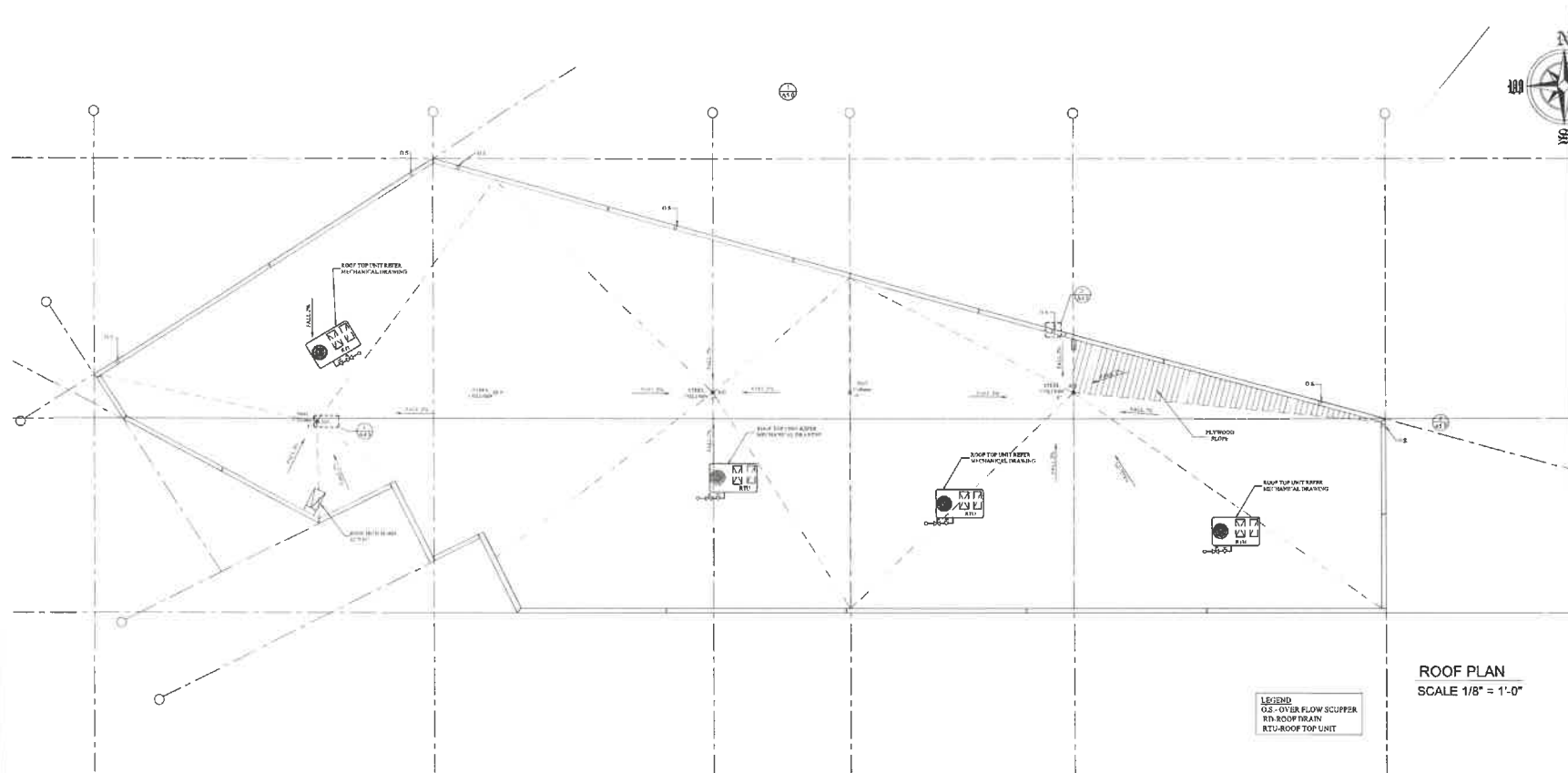
CHECKED BY: VCH

DATE: 07 MAY 2024

SCALE: AS SHOWN

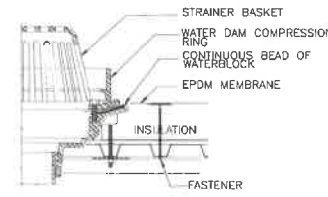
PROJECT No: 224-152-A

SHEET No. A-3.3



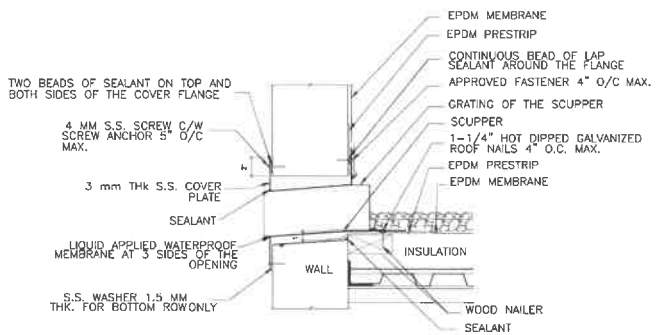
ROOF PLAN
 SCALE 1/8" = 1'-0"

LEGEND:
 OF- OVER FLOW SCUPPER
 RD- ROOF DRAIN
 RTU- ROOF TOP UNIT



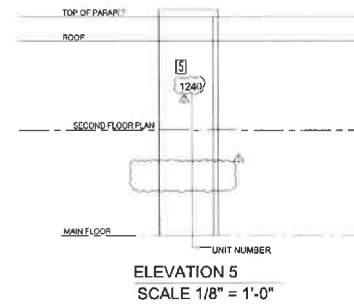
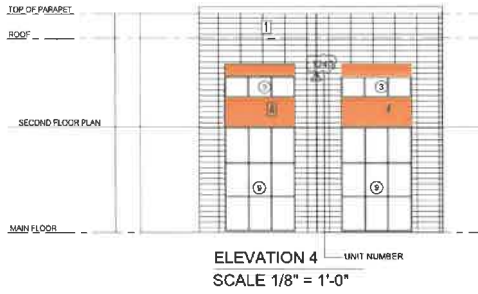
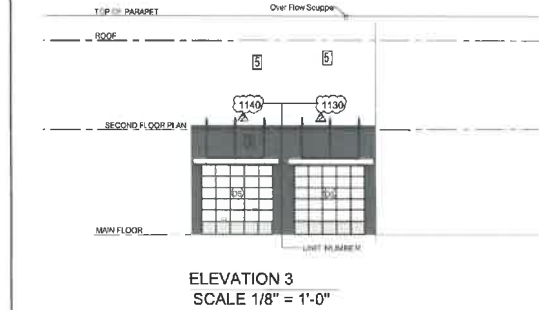
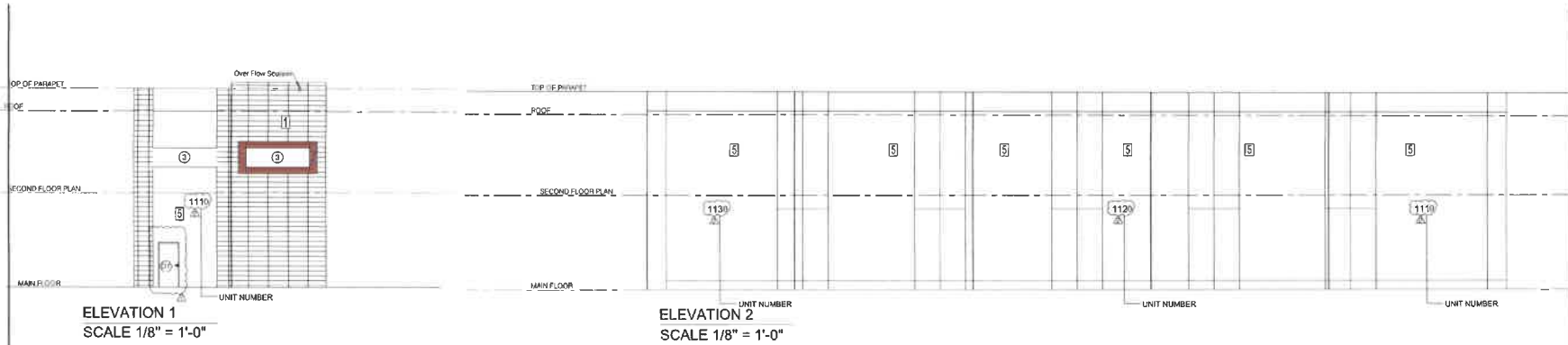
- NOTES:
- Holes in membrane should extend a minimum of 1/2" (12.7 mm) beyond clamping ring and should not be smaller than the diameter of the leader pipe.
 - Waterblock min. of 1/2 of 10 oz (295 ml) tube per 4" drain. Use additional waterblock for larger drains.
 - See Mech. DWGS for drain sizes. Consult manufacturer for roof opening size.

1 ROOF DRAIN
 2'-0" = 1'-0"



2 OVER FLOW SCUPPER DETAIL
 2'-0" = 1'-0"

DP000276 (Amendment) (6)



CORRUGATED METAL CLADDING:
CHARCOAL BLACK



METAL CLADDING:
TERRA COTTA



METAL CLADDING:
CHARCOAL



CORRUGATED METAL CLADDING:
COPPER PENNY



ELASTOMERIC PAINT TO MATCH:
NAVAJO WHITE OC95 BY MENZAMIN MOORE



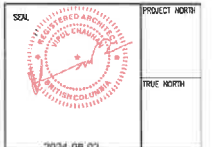
CURTAIN WALL GLASS ASSEMBLY:
-6mm THK LOW E TYPE LAYER OF TEMPERED GLASS
-4mm ARGON FILLED CAVITY
-6mm THK LOW E TYPE LAYER OF TEMPERED GLASS

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| REVISION | DATE | DESCRIPTION |
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| ISSUED | DATE |
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| Q1 | ISSUED FOR PERMIT APPLICATION 2024-08-08 |
| Q2 | ISSUED AS PER CITY COMMENTS 2024-07-15 |
| Q3 | ISSUED AS PER CITY COMMENTS 2024-07-30 |
| Q4 | ISSUED AS PER CITY COMMENTS 2024-08-01 |

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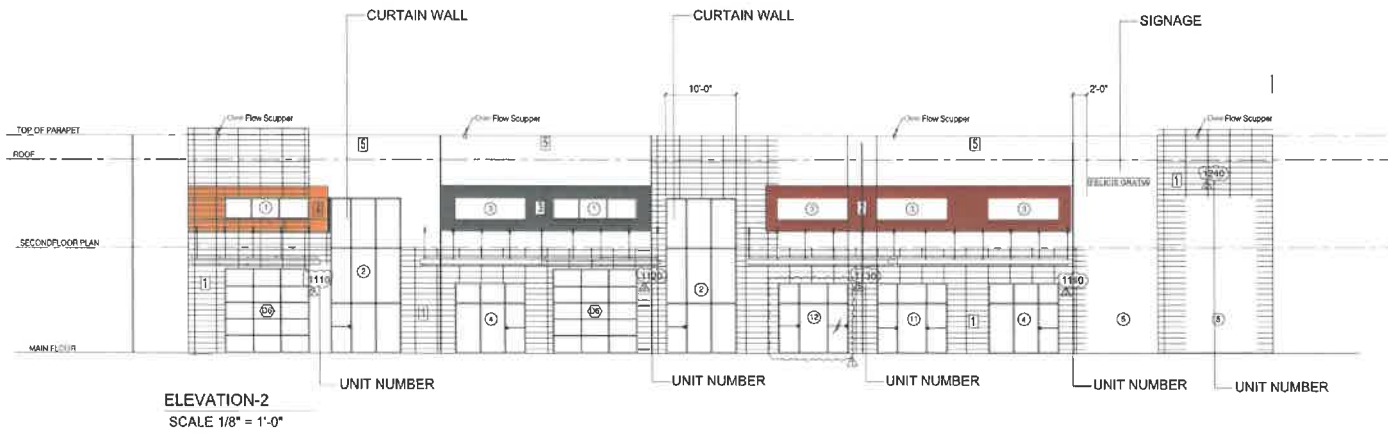
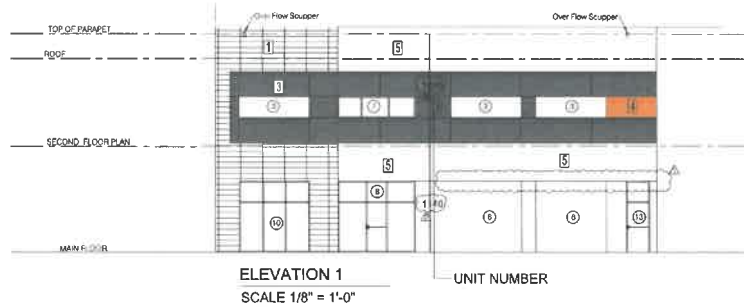
PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
1161 KINGSWAY AVENUE,
PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD.

DRAWING TITLE:
ELEVATIONS

| | |
|-------------------------|-----------|
| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-4.1 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| CDN. PFT. No. 226,193.4 | |

\\FILESERVER\Documents\DRAWINGS\2024\224-152-A 1161 Kingsway Ave, Port Coquitlam, BC\1 - Architectural Drawings\224-152-A - DP drawings.dwg, 2024-08-02 9:32:30 AM, DWG To PDF.pc3

DP000276 (Amendment) (57)



CORRUGATED METAL CLADDING:
CHARCOAL BLACK



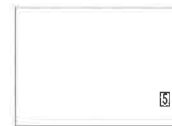
METAL CLADDING:
TERRA COTTA



METAL CLADDING:
CHARCOAL



CORRUGATED METAL CLADDING:
COPPER PENNY



ELASTMERIC PAINT TO MATCH:
NAVAJO WHITE OC35 BY MENZAMIN MOORE



CURTAIN WALL GLASS ASSEMBLY:
-6mm THK LOW E TYPE LAYER OF TEMPERED GLASS
-4mm ARGON FILLED CAVITY
-6mm THK LOW E TYPE LAYER OF TEMPERED GLASS

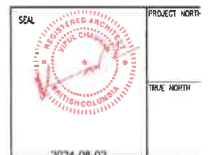
20240802 (Amendment) (8)

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| ISSUED | DATE |
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| ISSUED FOR TOP APPLICATION | 2024-01-08 |
| ISSUED AS PER CITY COMMENTS | 2024-01-18 |
| ISSUED AS PER CITY COMMENTS | 2024-03-20 |
| ISSUED AS PER CITY COMMENTS | 2024-08-01 |

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PROJECT:
**PROPOSED M1
INDUSTRIAL DEVELOPMENT**
1161 KINGSWAY AVENUE,
PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD

DRAWING TITLE:
ELEVATIONS

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| DRAWN BY: | SHEET No. |
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| DATE: 07 MAY 2024 | |
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| PROJECT No: 224-152-A | |

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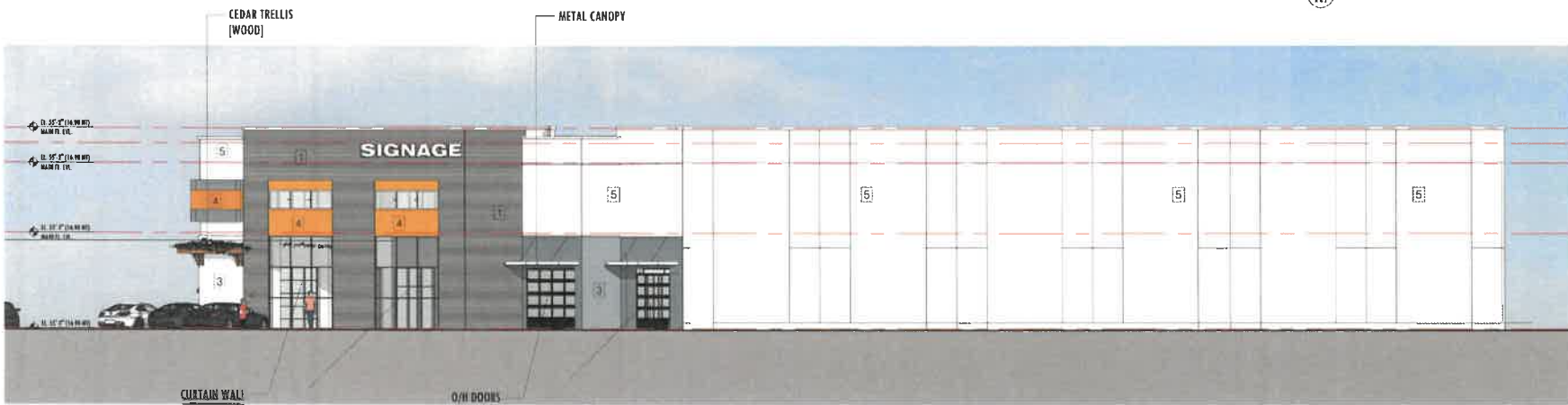
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| ISSUED FOR APPLICATION | 2024-05-08 |
| ISSUED AS PER CITY COMMENTS | 2024-07-11 |
| ISSUED AS PER CITY COMMENTS | 2024-07-10 |
| ISSUED AS PER CITY COMMENTS | 2024-08-01 |



NORTH ELEVATION
 Scale: 1/8"=1'-0"

LEGEND:

- CORRUGATED METAL CLADDING: CHARCOAL BLACK
- METAL CLADDING: TERRA COTTA
- METAL CLADDING: CHARCOAL
- CORRUGATED METAL CLADDING: COPPER PENNY
- ELASTOMERIC PAINT TO MATCH NAVAJO WHITE DC-95 BY MENZAMIN MOORE



2 SOUTH ELEVATION
 Scale: 1/8"=1'-0"

CONTRACT

PROJECT NORTH

TRUE NORTH

2024-08-02



COVER SHEET

PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1181 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD.

| DRAWING TITLE: | |
|-----------------------|-----------------|
| ELEVATIONS | |
| DRAWN BY: | SHEET NO. |
| CHECKED BY: VCH | A-4.3 |
| DATE: 07 MAY 2024 | SCALE: AS SHOWN |
| PROJECT No: 224-152-A | |


DPOced276(Amendm)(9)

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| ISSUED | DATE |
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| ISSUED FOR APPLICATION | 2024-05-08 |
| ISSUED AS PER CITY COMMENTS | 2024-07-15 |
| ISSUED AS PER CITY COMMENTS | 2024-08-20 |
| ISSUED AS PER CITY COMMENTS | 2024-09-01 |

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SEAL



PROJECT NORTH

TRUE NORTH

CONTOURA
 ARCHITECTURE LTD
 2024-08-02

COVER SHEET

PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
 1181 KINGSWAY AVENUE,
 PORT COQUITLAM, B.C.
 CLIENT: KIREN ENTERPRISES LTD.

DRAWING TITLE:
ELEVATIONS

DRAWN BY: SHEET No.
 CHECKED BY: VCH
 DATE: 07 MAY 2024
 SCALE: AS SHOWN
 PROJECT No: 224-152-A

A-4.4



1 WEST ELEVATION
 Scale: 1/8" = 1'-0"

CORRUGATED METAL CLADDING

CURTAIN WALL



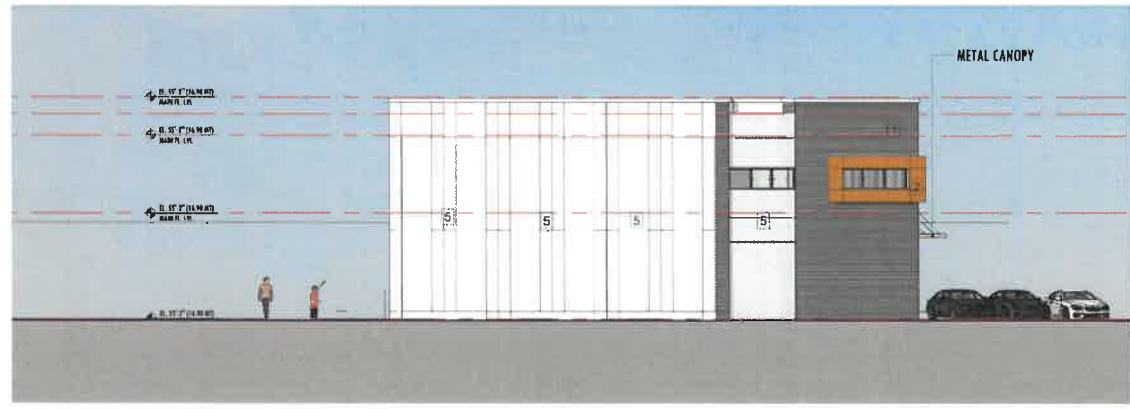
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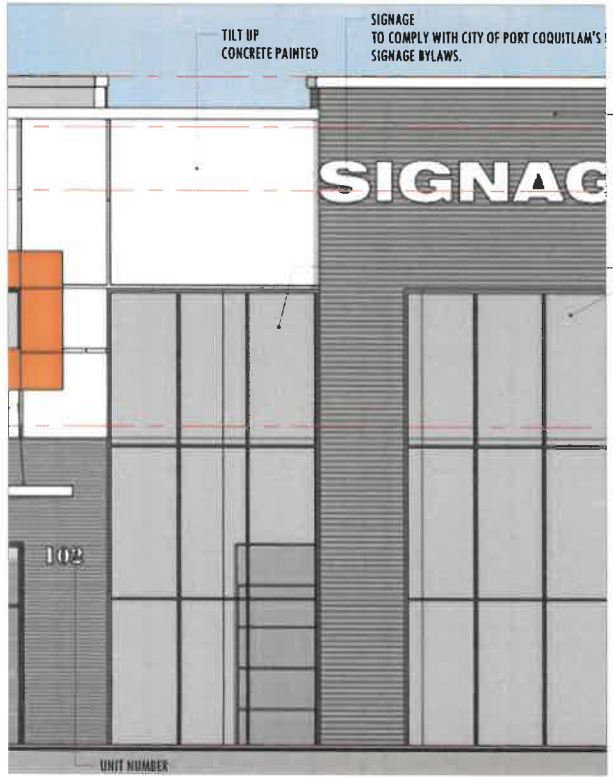
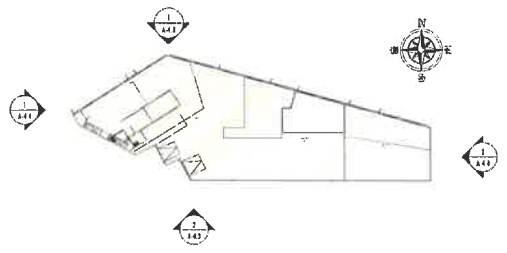
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4 CORRUGATED METAL CLADDING: COPPER PENNY

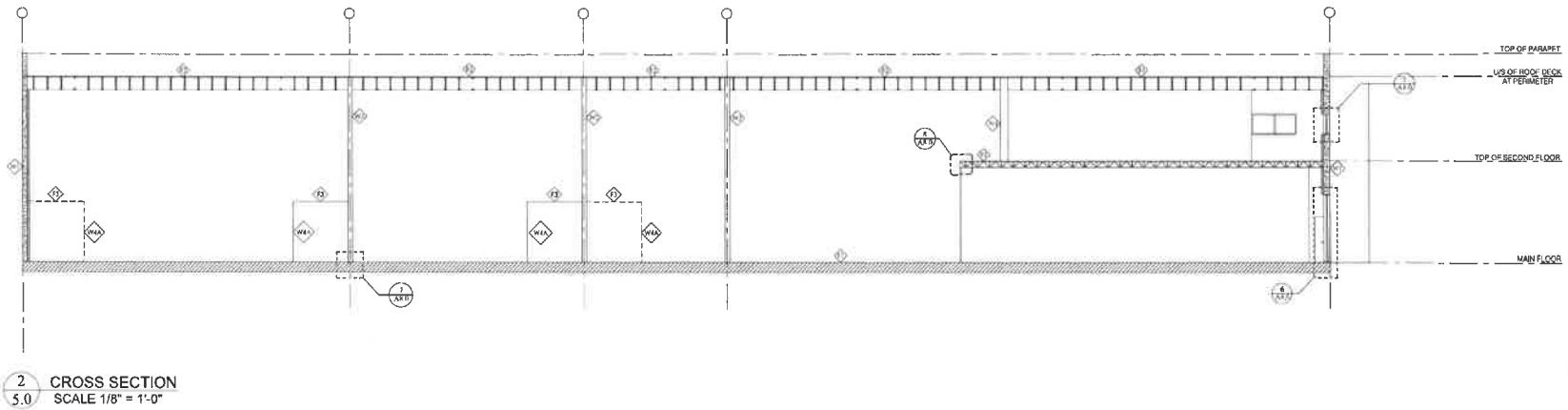
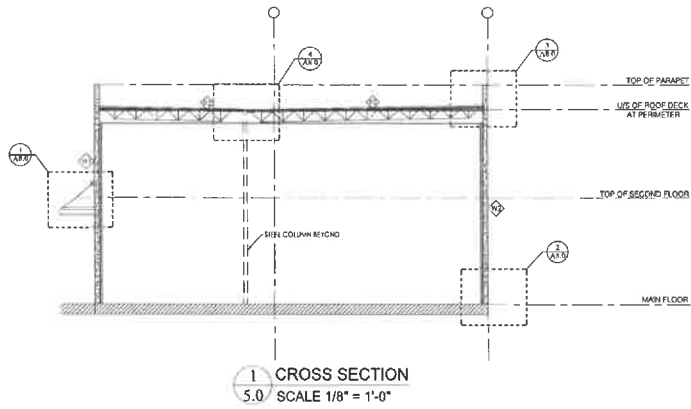
5 ELASTOMERIC PAINT TO MATCH NAVAJO WHITE OC-95 BY ZEMZANIN MOORE



2 EAST ELEVATION



224-152-A (Amendment) (10)

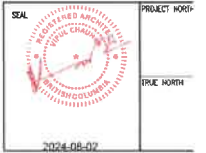


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| ISSUED | DATE |
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| (1) ISSUED FOR TOP APPLICATION | 2024-05-29 |
| (2) ISSUED AS PER CITY COMMENTS | 2024-07-15 |
| (3) ISSUED AS PER CITY COMMENTS | 2024-07-26 |
| (4) ISSUED AS PER CITY COMMENTS | 2024-08-14 |

CONSULTANT

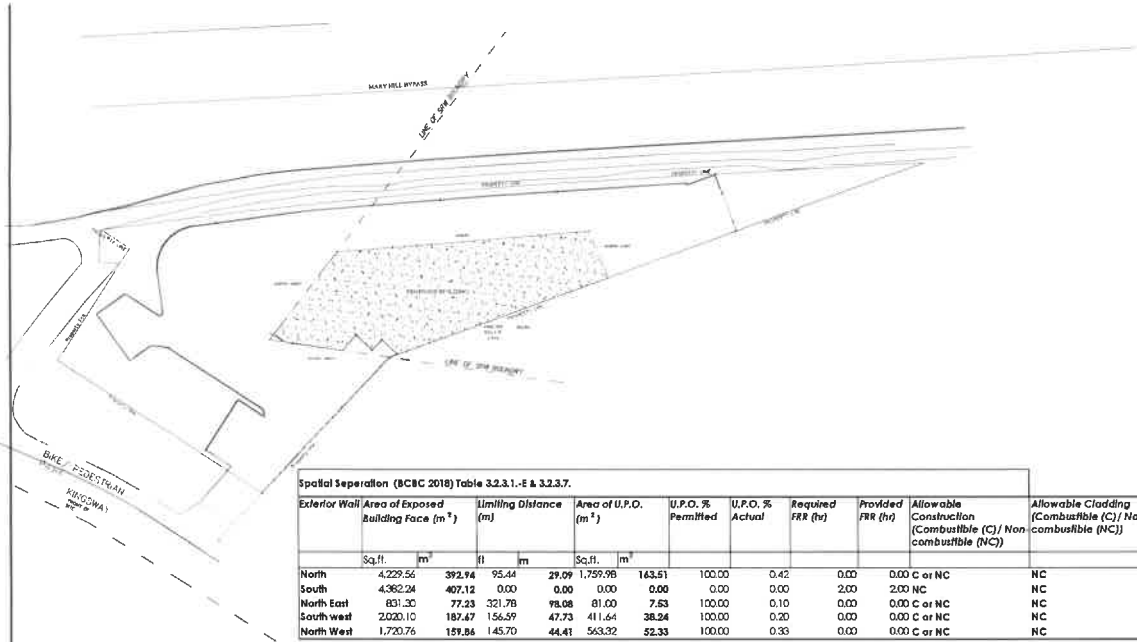


PROJECT:
**PROPOSED M1
INDUSTRIAL DEVELOPMENT**
1181 KINGSWAY AVENUE,
PORT COQUITLAM, B.C.
CLIENT: KIRAN ENTERPRISES LTD

DRAWING TITLE:
SECTIONS

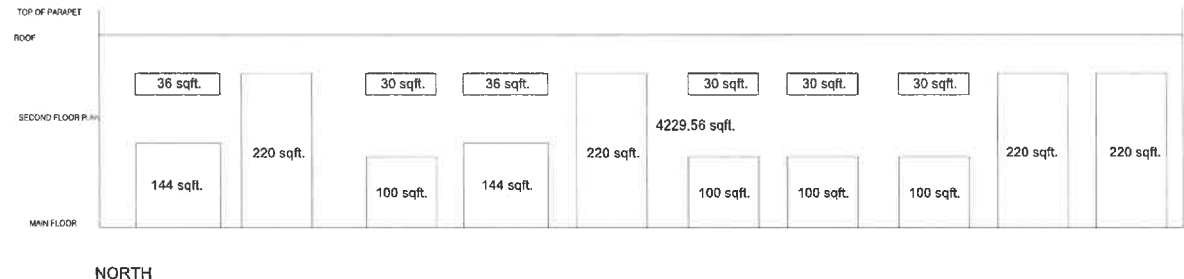
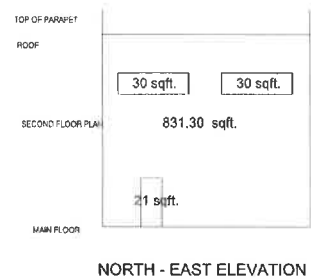
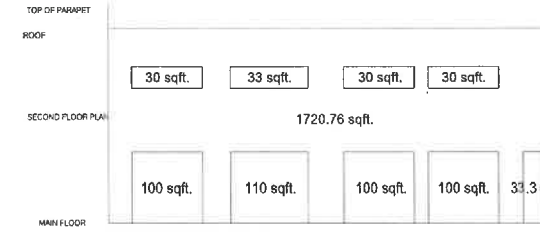
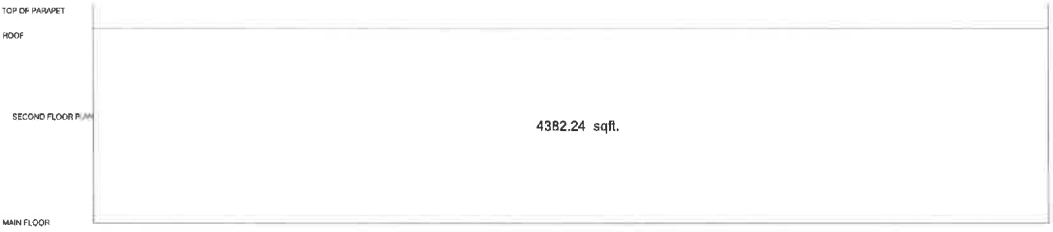
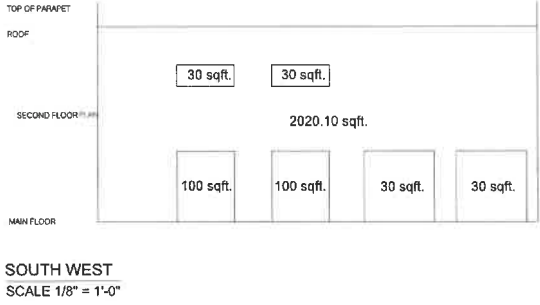
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| DRAWN BY: | SHEET No. |
| CHECKED BY: VCH | A-5.1 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| PROJECT No: 224-152-A | |

D1000276 (Amendment) (12)



Spatial Separation (BCBC 2018) Table 3.2.3.1.-E & 3.2.3.7.

| Exterior Wall | Area of Exposed Building Face (m ²) | | Limiting Distance (m) | | Area of U.P.O.D. (m ²) | | U.P.O. % Permitted | U.P.O. % Actual | Required FRR (hr) | Provided FRR (hr) | Allowable Construction (Combustible (C) / Non-combustible (NC)) | Allowable Cladding (Combustible (C) / Non-combustible (NC)) |
|---------------|---|----------------|-----------------------|-------|------------------------------------|----------------|--------------------|-----------------|-------------------|-------------------|---|---|
| | Sq.ft. | m ² | ft | m | Sq.ft. | m ² | | | | | | |
| North | 4,229.56 | 392.94 | 95.44 | 29.09 | 1,759.98 | 163.51 | 100.00 | 0.42 | 0.00 | 0.00 | C or NC | NC |
| South | 4,362.24 | 407.12 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 2.00 | 2.00 | NC | NC |
| North East | 831.35 | 77.23 | 321.78 | 78.08 | 81.00 | 7.53 | 100.00 | 0.10 | 0.00 | 0.00 | C or NC | NC |
| Southwest | 2,020.10 | 187.47 | 156.59 | 47.73 | 411.64 | 38.24 | 100.00 | 0.20 | 0.00 | 0.00 | C or NC | NC |
| North West | 1,720.76 | 159.86 | 145.70 | 44.41 | 563.32 | 52.33 | 100.00 | 0.35 | 0.00 | 0.00 | C or NC | NC |



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| NO | ISSUED FOR | DATE |
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| 10 | ISSUED FOR APPLICATION | 2024-05-08 |
| 07 | ISSUED AS PER CITY COMMENTS | 2024-07-15 |
| 01 | ISSUED AS PER CITY COMMENTS | 2024-07-30 |
| 04 | ISSUED AS PER CITY COMMENTS | 2024-08-01 |

CONSULTANT

SCAL

PROJECT: NORTH
TRUE NORTH
2024-08-02

CONTOURA
ARCHITECTURE LTD
1181 KINGSWAY AVENUE, PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD

PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
1181 KINGSWAY AVENUE, PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD

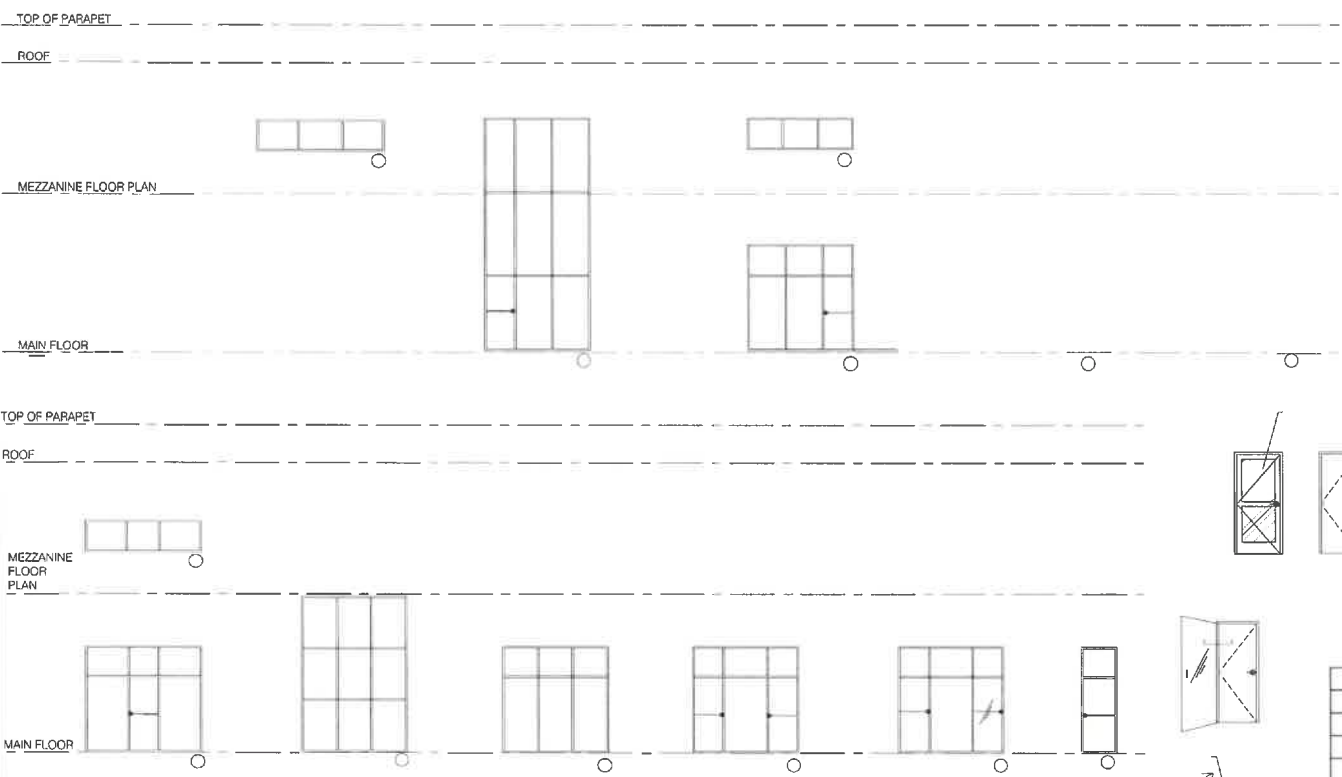
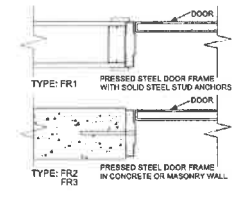
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SPATIAL SEPARATION CALCULATIONS

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| CHECKED BY: VCH | A-6.0 |
| DATE: 07 MAY 2024 | |
| SCALE: AS SHOWN | |
| PROJECT No: 224-152-A | |

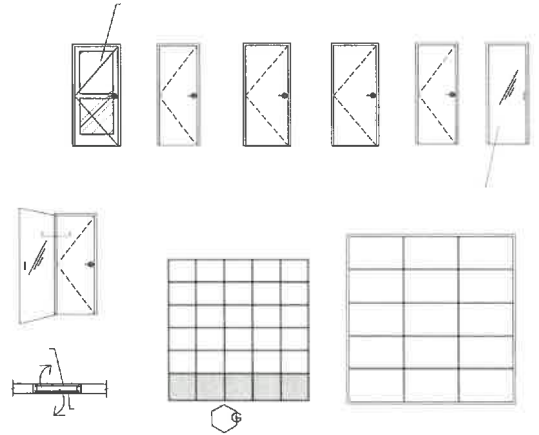
2000276 (Amendment) (13)

DOOR SCHEDULE

| NUMBER | LOCATION | TYPE | DOOR | | | | FIRE RATING | MATERIAL | FINISH | FRAME | | | | HARDWARE | | | | | | | | | | REMARKS | | | | | | |
|--------|------------------------------|--------------|--------|--------|-------|--------|---------------|---------------|---------|---------------------|---------------------|---------|---------------|----------|---------|-----------------|--------------|-------------|----------------|----------|--------|-------------|-----------|---------|------------------|------------|-------------|--------|--|--|
| | | | W | L | D | SWING | | | | GLAZING | GLASS | TYPE | FRAME CONSTR. | FINISH | LOCKSET | LOCK PROTECTION | LEVER HANDLE | DOOR CLOSER | 1 1/2 PR. BUTT | SECURITY | CLOSER | FLUSH BOLTS | THRESHOLD | | WEATHERSTRIPPING | DOOR SWEEP | LETTER SLOT | HOLLOW | | |
| D1 | INTERIOR DOOR (NON-RATED) | B | 3'-0" | 7'-0" | 2" | | WOOD | PAINTED | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | | |
| D2 | INTERIOR DOORS (RATED) | B | 2'-8" | 7'-0" | 2" | 45 MIN | WOOD | PAINTED | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | | |
| D3 | EXTERIOR DOOR (NON-RATED) | A | 2'-8" | 7'-0" | 2" | | FLASHED METAL | PAINTED | ● | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | | |
| D4 | EXTERIOR (NON-RATED) | D | 2'-0" | 7'-0" | 2" | | FLASHED METAL | PAINTED | ● | FR2 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | | |
| D5 | GARAGE | G | 10'-0" | 10'-0" | | | FLASHED METAL | PAINTED | FR1 | | PAINTED | | | | | | | | | | | | | | | | | | | |
| D6 | GARAGE | H | 12'-0" | 12'-0" | | | FLASHED METAL | PAINTED | FR2 | | PAINTED | | | | | | | | | | | | | | | | | | | |
| D7 | EXTERIOR DOOR (RATED) | C | 3'-0" | 7'-0" | 2" | 45 MIN | FLASHED METAL | PAINTED | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | | |
| DR | EXTERIOR DOUBLE DOOR (RATED) | INSIDE LEAF | E | 2'-8" | 7'-0" | 2" | 60 MIN | FLASHED METAL | PAINTED | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | |
| | | OUTSIDE LEAF | F | 2'-8" | 7'-0" | 2" | | GLASS | GLAZED | FR1 | PRESSED STEEL FRAME | PAINTED | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | | | |



- WINDOW NOTES**
- CALLS APPROX ALL WINDOW OPENINGS PROVIDE BACKING FOR CLOSERS
 - ALL WINDOWS INSTALLED TO MEET THE REQUIREMENTS OF THE B.C. (7) (2018)
 - PROVIDE WEATHER STRIPPING FOR ALL OPERABLE WINDOWS
 - ALL WINDOWS & DOORS TO BE INSTALLED WITH DOOR FLASHERS AND ALL WINDOWS ARE REQUIRED TO MEET THE D.O.B. & B.A.S.E.S. CODES (M.C.A.S.A.)
 - INDICATE DISCREPANCY TO CHECKLIST AND WINDOW
 - PROVIDE INTERNAL SEAL
 - PROVIDE EXTERNAL FLASHING AND DRAINAGE FOR CLOSED AND OPENING WINDOW
 - PROVIDE WEATHER STRIPPING AT THE BOTTOM OF ALL WINDOWS AND DOORS
 - CHANGE SIZE & MATERIAL OPERABLE AT EACH END
 - INDICATE MAKE OF ALL WINDOWS OR WALL
- NOTE**
- DOOR OPERABLE FOR ALL WINDOWS SEALS AND BEHIND BY A SPECIALTY CONTRACTOR AND BE INSTALLED TO THE MANUFACTURER'S AND THE MANUFACTURER'S INSTRUCTIONS
 - DOOR OPERABLE FOR ALL WINDOWS SEALS AND BEHIND BY A SPECIALTY CONTRACTOR AND BE INSTALLED TO THE MANUFACTURER'S AND THE MANUFACTURER'S INSTRUCTIONS
 - DOOR OPERABLE FOR ALL WINDOWS SEALS AND BEHIND BY A SPECIALTY CONTRACTOR AND BE INSTALLED TO THE MANUFACTURER'S AND THE MANUFACTURER'S INSTRUCTIONS
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- INDICATE GLAZING AND BEHIND DOORS TO MEET B.C. (7) (2018)**



WINDOW SCHEDULE
Scale: 3/16" = 1'-0"

LIABILITY RESTRICTION
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| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |
| | | |
| | | |

| ISSUED | DATE |
|--------|---|
| 11 | ISSUED FOR PERMITS APPLICATION 2024-05-06 |
| 12 | ISSUED AS PER CITY COMMENTS 2024-07-15 |
| 13 | ISSUED AS PER CITY COMMENTS 2024-07-30 |
| 14 | ISSUED AS PER CITY COMMENTS 2024-08-01 |

CONSULTANT

PROJECT NORTH

TRUE NORTH

CONTOURA ARCHITECTURE LTD.
REGISTERED ARCHITECTS
1181 KINGSWAY AVENUE, PORT COQUITLAM, B.C. V3L 1K1

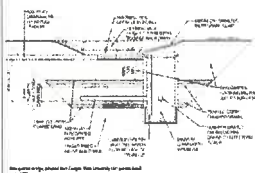
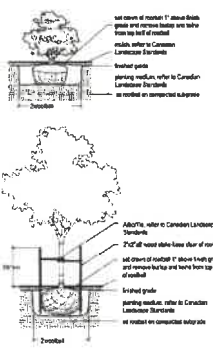
PROJECT:
PROPOSED M1 INDUSTRIAL DEVELOPMENT
1181 KINGSWAY AVENUE,
PORT COQUITLAM, B.C.
CLIENT: KIREN ENTERPRISES LTD

DRAWING TITLE:
DOORS & WINDOWS

| | | |
|------------------------------|-------------|------------------|
| DRAWN BY: | | SHEET No. |
| CHECKED BY: | VCH | A-7.0 |
| DATE: | 07 MAY 2024 | |
| SCALE: | AS SHOWN | |
| PROJECT No: 224-152-A | | |

DPO00276 (Amendment) (14)

COLORED PRINTING



Use only high quality for large tree quantity for same cost

L-1.01
PLANTING & SITE FURNITURE PLAN

SCALE: AS SHOWN

PROJECT:
1611 PARQUAY
POINT COASTAL, NC

DATE: MARCH 17, 2020
MARCH 18, 2020
MARCH 18, 2021
MARCH 22, 2022

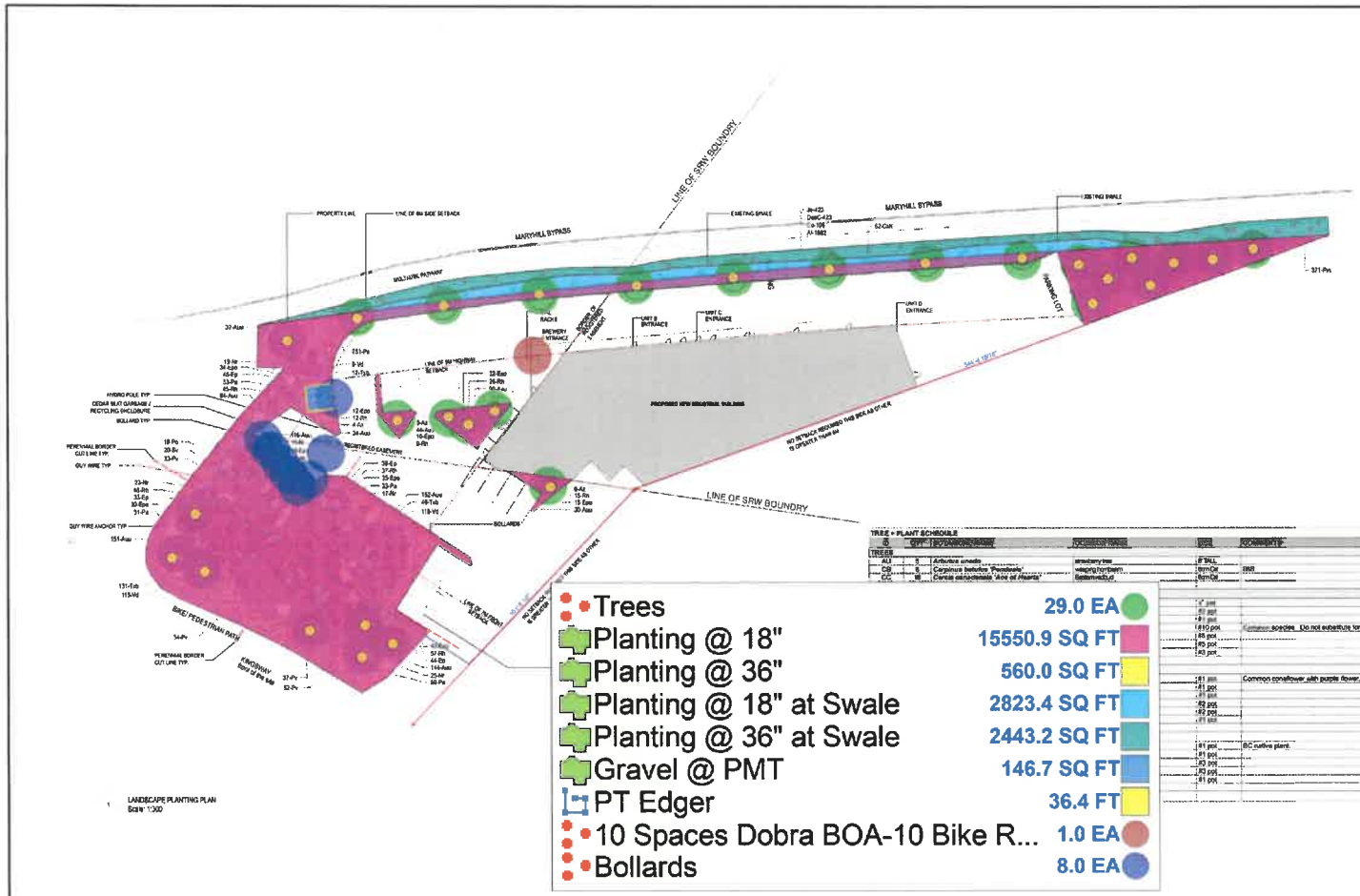
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08
10
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30 NORTH 0E

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1000 25th Ave. North, Raleigh, NC
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www.30north0e.com
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- Trees 29.0 EA
- Planting @ 18" 15550.9 SQ FT
- Planting @ 36" 560.0 SQ FT
- Planting @ 18" at Swale 2823.4 SQ FT
- Planting @ 36" at Swale 2443.2 SQ FT
- Gravel @ PMT 146.7 SQ FT
- ▭ PT Edger 36.4 FT
- 10 Spaces Dobra BOA-10 Bike R... 1.0 EA
- Bollards 8.0 EA

| TREE # | SYM | COMMON NAME | PLANTING TYPE | PLANTING DATE | COMMENTS |
|--------|-----|---------------------|---------------|---------------|----------|
| 1 | AJ | Arbutus canadensis | PLANTING | 2020 | |
| 2 | CP | Cornus alternifolia | PLANTING | 2020 | |
| 3 | CC | Chamaecyparis | PLANTING | 2020 | |
| 4 | AL | Alnus | PLANTING | 2020 | |
| 5 | CP | Cornus | PLANTING | 2020 | |
| 6 | CC | Chamaecyparis | PLANTING | 2020 | |
| 7 | AL | Alnus | PLANTING | 2020 | |
| 8 | CP | Cornus | PLANTING | 2020 | |
| 9 | CC | Chamaecyparis | PLANTING | 2020 | |
| 10 | AL | Alnus | PLANTING | 2020 | |
| 11 | CP | Cornus | PLANTING | 2020 | |
| 12 | CC | Chamaecyparis | PLANTING | 2020 | |
| 13 | AL | Alnus | PLANTING | 2020 | |
| 14 | CP | Cornus | PLANTING | 2020 | |
| 15 | CC | Chamaecyparis | PLANTING | 2020 | |
| 16 | AL | Alnus | PLANTING | 2020 | |
| 17 | CP | Cornus | PLANTING | 2020 | |
| 18 | CC | Chamaecyparis | PLANTING | 2020 | |
| 19 | AL | Alnus | PLANTING | 2020 | |
| 20 | CP | Cornus | PLANTING | 2020 | |
| 21 | CC | Chamaecyparis | PLANTING | 2020 | |
| 22 | AL | Alnus | PLANTING | 2020 | |
| 23 | CP | Cornus | PLANTING | 2020 | |
| 24 | CC | Chamaecyparis | PLANTING | 2020 | |
| 25 | AL | Alnus | PLANTING | 2020 | |
| 26 | CP | Cornus | PLANTING | 2020 | |
| 27 | CC | Chamaecyparis | PLANTING | 2020 | |
| 28 | AL | Alnus | PLANTING | 2020 | |
| 29 | CP | Cornus | PLANTING | 2020 | |
| 30 | CC | Chamaecyparis | PLANTING | 2020 | |

TREES



SHRUBS



PERENNIALS & GROUNDCOVERS



BIKE RACK



DPO00276(Amendments)(15)

Schedule A

Energy Conservation:

| Conservation Measure | Verification Method |
|---|---|
| location and size of windows to increase opportunities for natural ventilation and distribute natural daylight into interior spaces | DP and BP stage; staff review of building plans |
| shading devices, overhangs, and landscaping to shelter peak summer exposure while enabling light penetration during winter months; | DP and BP stage; staff review of building plans |
| cool roof designs to reduce heat absorption and heat build-up and improve energy efficiency, such as green roofs or materials with a high solar reflectance | DP and BP stage; staff review of building plans |
| high performance glazing or thermal breaks in windows, doors, and frames. | BP stage; staff review of building plans |

Water Conservation:

| Conservation Measure | Verification Method |
|--|--|
| drought-tolerant and indigenous tree, shrub, and plant species and other xeriscaping techniques. | DP and BP stage; staff review of building plans and landscape inspection |
| automated, high-efficiency mechanical irrigation systems | DP and BP stage; staff review of building plans and landscape inspection |
| sufficient depth of topsoil or composted materials for well-rooted plantings | BP stage; staff review of building plans and landscape inspection |
| pervious surface areas and permeable or porous paving materials in ongrade parking areas | DP and BP stage; staff review of building plans |

GHG Reduction:

| Conservation Measure | Verification Method |
|--|---|
| Where possible, the development shall be designed to utilize building materials that include recycled and renewable products and locally or regionally-sourced products. | BP stage; staff review of building plans and letter from applicant. |

per OCP Sec. 9.11 Environmental Conservation DPA designation

DP 000076 (Amendment) (17)