

THE CORPORATION OF THE CITY OF PORT COQUITLAM

“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT VARIANCE PERMIT

NO. DVP00103

Issued to: BURKHILL DEVELOPMENTS LTD., INC. NO. BC1179532
(Owner as defined in the Local Government Act, hereinafter referred to as the Permittee)

Address: 1597 ANGELO AVENUE
PORT COQUITLAM, BC
V3B 1C8

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this permit.

2. This Development Variance Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structure and other development thereon:

Address: 2472 CHILCOTT AVENUE

Legal Description: LOT 100 DISTRICT LOT 3880 GROUP 1 NEW WESTMINSTER
DISTRICT PLAN 33089

P.I.D.: 006-852-645

3. The Zoning bylaw (Bylaw No. 3630) is varied as follows:

- i. the Table 2.2: Residential Zones Subdivision Regulations RS4 minimum lot frontage requirement for Lot 3 is varied from 9.5 m to 7.62 m as depicted in the survey attached to and forming part of this permit; and
- ii. the Table 2.4: Residential Zones RS4 maximum floor area ratio requirement is varied for Lot 1 and Lot 2 from 0.50 to 0.75 to accommodate the inclusion of basement floor areas as depicted in the architectural plans attached to and forming part of this permit.

4. The land described herein shall be developed strictly in accordance with the terms

and conditions and provisions of this permit.

5. This permit shall lapse if the Permittee does not substantially commence the construction, or the first phase of a phased development, permitted by this permit within two (2) years of the date of this permit.
6. This permit is not a building permit.

APPROVED BY COUNCIL THE ____ DAY OF _____ MONTH 2025.

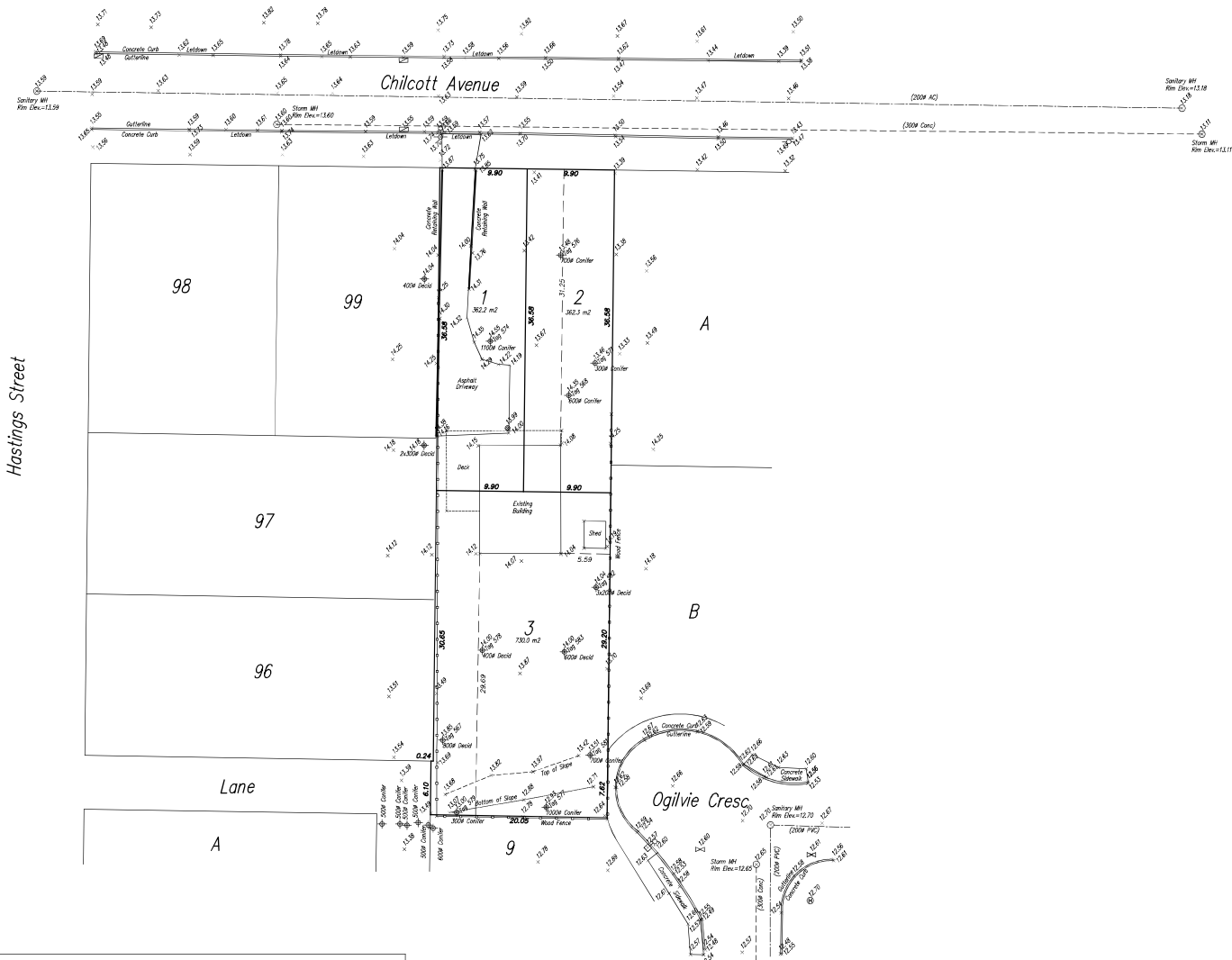
SIGNED THIS _____ DAY OF _____ MONTH 2025.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or Representative
of Applicant)



Client:
Jaske Homes Ltd.

Project:
**2472 Chilcott Ave,
Port Coquitlam, BC**

PID:
006-852-645

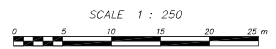
Drawing Title:
**Topographic Survey
Plan of Lot 100
DL 380 Gp 1
New Westminster District
Plan 3.3089**

Certified Correct
This 4th Day of May, 2021

Mike Benemann, BCLS

- Legend:**
- ⊕ Survey Control Monument
 - ⊕ Tree (Tag At Point of Entry into the Ground)
 - Ground Elevation
 - Catch Basin
 - Catch (Shade)
 - Edge Of Asphalt
 - ⊕ Fire Hydrant
 - Gas Wye
 - Inspection Chamber
 - Lawn Drain
 - ⊕ Lamp Standard
 - ⊕ Manhole
 - ⊕ Flower Pole
 - ⊕ Flower Pole With Light
 - ⊕ Water Valve
 - ⊕ Sign
 - ⊕ Gas Valve
 - ⊕ Gas Meter
 - ⊕ Water Meter
 - ⊕ Junction Box

Scale: 1:250
Date: May 4th, 2021
File: M21-840TOPD



Benchmark Notes:
Elevations Are Geoidetic
Referred to Monument: BM3
Monument Elevation: 16.946m

Property:
Property dimensions shown are derived from current legal survey
Offsets to property lines are not to be used to define boundaries.
Refer to current certificate(s) of title for additional, existing or pending charges.

General:
This plan shows the location of visible features only, and does not indicate buried services that may exist on or around the subject site.
Features shown without dimensions should be confirmed with Terra Pacific Land Surveying Ltd.
Building location based on survey ties to visible exterior surfaces unless otherwise noted.
Trees species and dimensions should be confirmed by qualified arborist. shaded area is not an indication of drip line location unless specifically labeled.

Notes:
Storm and Sanitary Pipe Sizes shown are taken from the Actuals as shown on the City of Port Coquitlam OS map.

GENERAL NOTES:

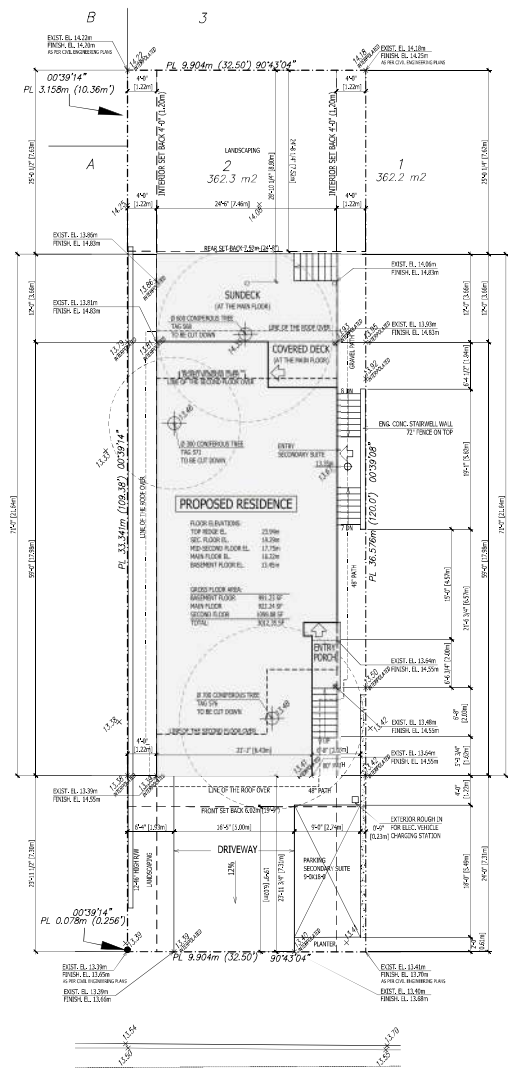
1. THESE COUPURES ARE THE EXCLUSIVE PROPERTY OF OR DESIGN & DRAFTING AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF THE SAME.
2. THESE DRAWINGS HAVE BEEN PREPARED TO COMPLY TO CURRENT RESIDENTIAL REQUIREMENTS OF THE LOCAL BUILDING CODE AND THE BC BUILDING CODE, 2024 EDITION.
3. THE BUILDING IS RESPONSIBLE FOR INCLUDING THAT ALL CONSTRUCTION CONFORMS TO LOCAL, PROVINCIAL, AND NATIONAL BUILDING CODES AND BYLAW.
4. THE BUILDING SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND COMPONENTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ACCEPTED METHODS OF GOOD BUILDING PRACTICE.
5. DIMENSIONS SHOWN WILL ALWAYS HAVE PRECEDENCE OVER SIZES. DO NOT SCALE DIMENSIONS.
6. ON DESIGN & DRAFTING HAS MADE EVERY EFFORT TO INSURE ACCURACY AND COMPLETENESS IN THESE PLANS. HOWEVER, IT IS THE RESPONSIBILITY OF THE BUILDERS TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY UPON DISCOVERY.
7. LOT ELEVATION AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM A REGISTERED LAND SURVEYOR ENGINEER. AS WE RELY ON THIS INFORMATION, WE ARE NOT RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THE USE OF THE SURVEY PLAN. IT IS THE BUILDERS RESPONSIBILITY TO INSURE THAT SITE DATA IS CORRECT.
8. ALL DIMENSIONS SHOWN ON THE SITE PLAN AND LOCATION OF ANY EXISTING OR PROPOSED PAVES ARE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.
9. GRADE TO BE MAINTAINED AT A MINIMUM OF TWO FEET ABOVE FINISH FROM THE STRUCTURE FOR SIDEWALK AND DRIVEWAY. THE BUILDERS IS RESPONSIBLE FOR REQUIRED GRADES AND TO INSURE THAT ELEVATIONS SHOWN ON THE SITE PLAN ARE ACCURATE BEFORE CONSTRUCTION BEGINS. THIS IS ESPECIALLY IMPORTANT TO INSURE THAT EXISTING OVERHEAD WATER LINES AND UTILITIES ARE PROTECTED.
10. ALL RETAINING WALLS THAT ARE REQUIRED ARE TO BE BUILT ACCORDING TO THE LOCAL BUILDING CODE. GOOD BUILDING PRACTICE OF STRUCTURAL ENGINEERING PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.
11. ALL STRUCTURAL LOAD-BEARING ELEMENTS TO BE BUILT AS PER LOCAL BUILDING CODE. GOOD BUILDING PRACTICE AND STRUCTURAL PLANS. ENGINEERING PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.

- NOTES:**
1. REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, TRUSSES, SHEAR WALLS, ETC.) BUILDERS TO VERIFY ALL FRAMING DIMENSIONS FOR TIES, SHOWERS, FRISCALES AND SIMILAR WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
 2. ALL DRAWING WALLS INCLUDE SHEATHING, DRYWALL THICKNESS, EXTERIOR FINISHES AND FROM EXTERIOR FACE OF THE SHEATHING.
 3. INTERIOR DIMENSIONS ARE CENTER TO CENTER OF THE INTERIOR WALLS.
 4. FLOOR ELEVATIONS ARE TO THE TOP OF THE FLOOR SHEATHING OR CONG. SLAB, AND CEILING ELEVATIONS ARE TO THE UNDERSIDE OF CEILING DRYWALL.
 5. THICKNESS OF FLOOR ASSEMBLIES ARE BASED ON:
 - 5" FLOOR SHEATHING PROHIBITED TO LIE FOR LARGER DIMENSIONS AND CALCULATIONS
 - ASSUMED 1 1/2" TYP. FLOOR JOISTS (SEE STRUCTURAL PLANS)
 - 1 1/2" GAB

- VENTILATION AND MECHANICAL SYSTEMS**
AS PER B.C. BUILDING CODE 2024
- 1) WHERE THE MECHANICAL HEATING SYSTEM IS A DUCTED FURNACE-HEATING SYSTEM, THE DUCTS FOR EXHAUST HEATING SYSTEM SHALL:
 - A) BE LOCATED OUTSIDE THE BUILDING ENVELOPE
 - B) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)
 - C) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)
 - D) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)
 - 2) WHERE THE MECHANICAL HEATING SYSTEM IS A DUCTED FURNACE-HEATING SYSTEM, THE DUCTS FOR EXHAUST HEATING SYSTEM SHALL:
 - A) BE LOCATED OUTSIDE THE BUILDING ENVELOPE
 - B) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)
 - C) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)
 - D) BE LOCATED AT LEAST 10' ABOVE THE ROOF AND AWAY FROM THE BUILDING ENVELOPE OF LESS THAN 10' (SEE APPROVAL)

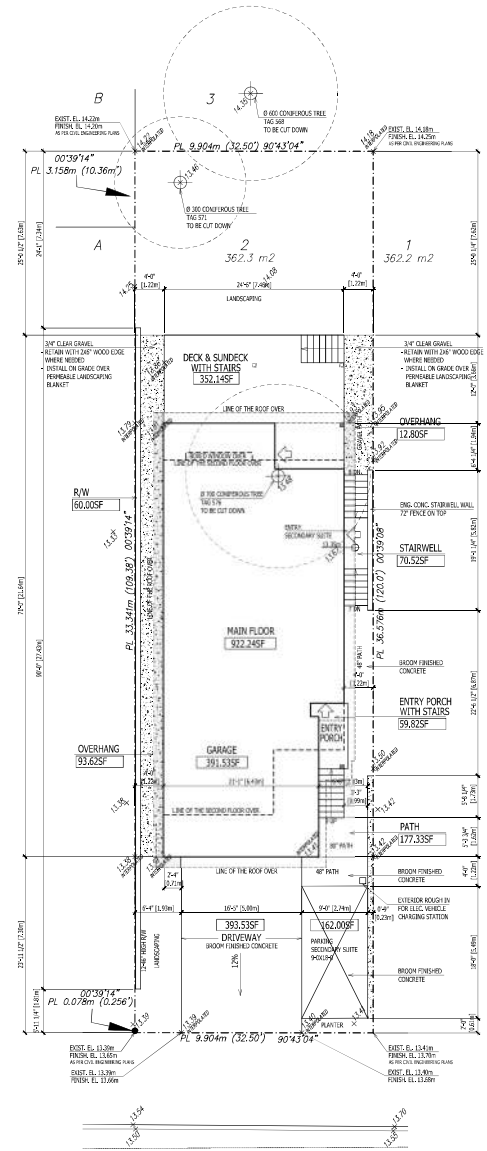
- REQUIRED HEATING AND VENTILATION SYSTEMS**
AS PER B.C. BUILDING CODE 2024
- 1) RESIDENTIAL BUILDINGS DESIGNED FOR USE IN THE WINTER MONTHS ON A CONTINUING BASIS SHALL BE EQUIPPED WITH THE HEATING FACILITIES CONFORMING TO THIS SECTION.
 - 2) EXCEPT WHERE DETERMINATION ACCORDING TO ARTICLE 6.3.2.1. OR 6.000 ENGINEERING PRACTICE ACCORDING TO ARTICLE 6.3.2.1. CAN SHOW IT TO BE UNDESIRABLE, DIVULGING UNITS OF HEATING FOR USE BY THE SAME PERSON OR A CONTINUING GROUP SHALL BE EQUIPPED WITH COOLING FACILITIES CONFORMING TO THIS SECTION (SEE NOTE 6.3.2.1.2.1).
- INDOOR TEMPERATURES**
AS PER B.C. BUILDING CODE 2024
- 1) AT THE OUTSIDE WINTER DESIGN TEMPERATURE, REQUIRED HEATING FACILITIES SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF AT LEAST:
 - A) 21°C IN ALL LIVING SPACES
 - B) 18°C IN BEDROOMS AND BATHS
 - C) 18°C IN COMMON GRIDED ROOMS, AUXILIARY SPACES AND EXITS IN ADJACENT WITH A SECONDARY SUITE AND
 - D) 15°C IN HEATED CRAWL SPACES.
 - 2) AT THE OUTSIDE SUMMER DESIGN TEMPERATURE, REQUIRED COOLING FACILITIES SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT MORE THAN 26°C IN AT LEAST ONE LIVING SPACE IN EACH DWELLING UNIT.

- ROUGH-IN FOR FUTURE SOIL GAS (RADON) CONTROL:**
AS PER B.C. BUILDING CODE 2024
1. ABOVE RAFTERS:
 - INSTALL 1" SOLID PIPES CONTINUOUS (FROM EXTERIOR THROUGH ALL FLOORS AND TERMINATING AT EXTERIOR OF THE BUILDING AND TO THE ROOF)
 - PIPES ARE TO REMAIN UNCONNECTED TO THE FUTURE DEPRESSURIZATION EQUIPMENT
 2. BELOW RAFTERS:
 - ON REINFORCED CONCRETE
 - INSTALL 1" SOLID PIPES CONTINUOUS (FROM EXTERIOR THROUGH ALL FLOORS AND TERMINATING AT EXTERIOR OF THE BUILDING AND TO THE ROOF)
 - PIPES ARE TO REMAIN UNCONNECTED TO THE FUTURE DEPRESSURIZATION EQUIPMENT



PROPOSED RESIDENCE SITE PLAN

SCALE 1/8" = 1'-0"



PROPOSED RESIDENCE IMPERMEABLE MATERIAL LOT COVERAGE PLAN

SCALE 1/8" = 1'-0"

CR
commercial - residential
design & drafting

201-2388 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS
ISSUED FOR RP FEBRUARY 2024

PROJECT DESCRIPTION
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED
NATASHA DIXON, M. Arch.

DRAWN
MARDIA CARAN, MArch.

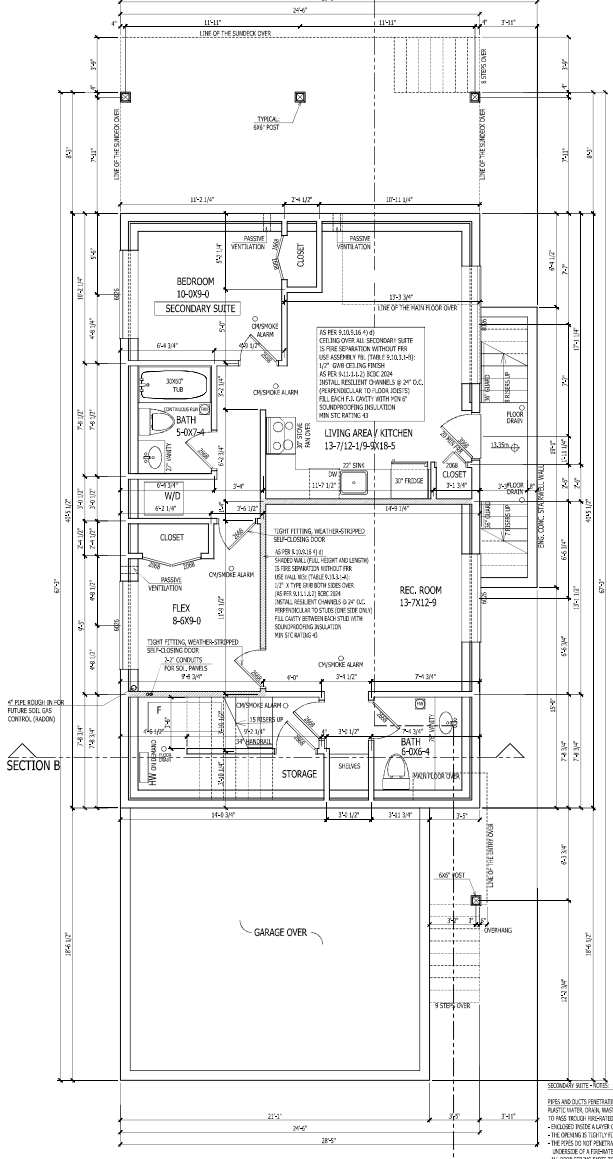
DATE
FEBRUARY 2024

SCALE
AS NOTED ON PLANS

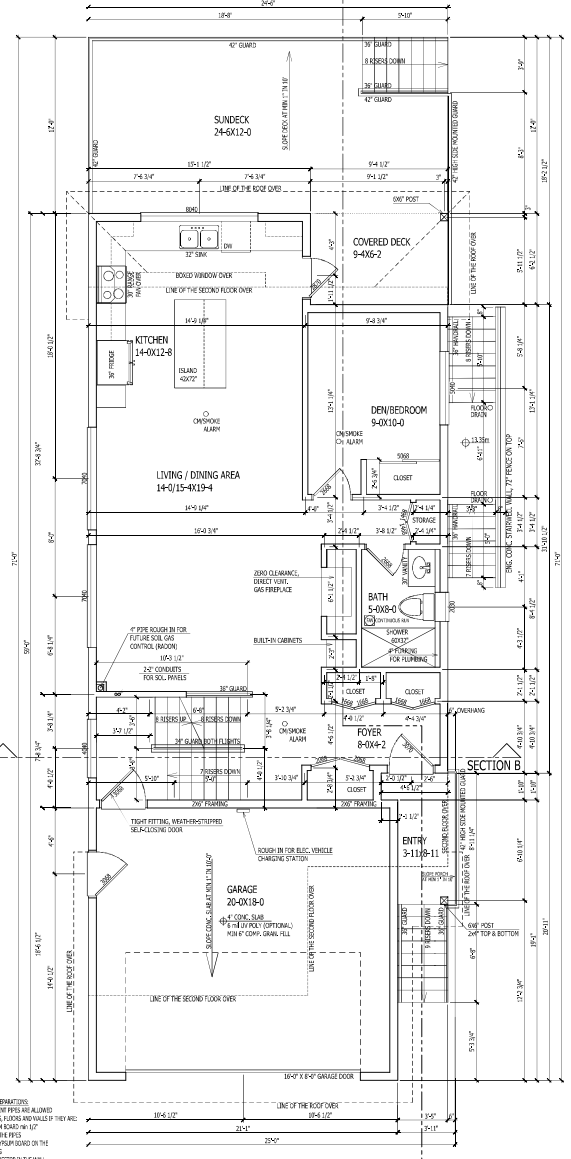
SHEET TITLE
GENERAL NOTES
SITE PLAN
IMPERMEABLE MATERIAL LOT COVERAGE PLAN

SHEET
OF 7 SHEETS
A-1

NOTES:
 1. REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, PILES, BEAMS, TRUSSES, SHEAR WALLS, ETC.).
 2. BUILDERS TO VERIFY ALL FINISH DIMENSIONS FOR THIS DRAWING. REFINISHES AND SIZES ARE WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

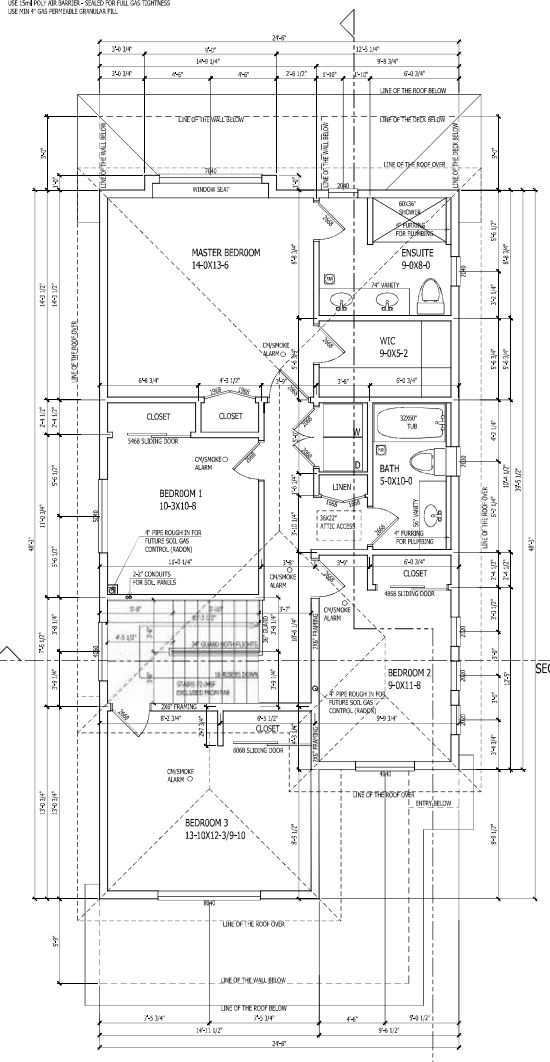


BASEMENT FLOOR PLAN 991.23SF
 SECONDARY SUITE
 FLOOR AREA: 615.05SF
 SCALE 1/4" = 1'-0"



MAIN FLOOR PLAN 922.24SF
 ENTRY PORCH AREA: 37.05SF
 DECK & SUNDECK AREA: 330.33SF
 GARAGE AREA: 391.53SF
 SCALE 1/4" = 1'-0"

ROUGH IN FOR FUTURE SOLAR GAS (OPTIONAL CONTROL)
 AS PER B.U.E. PREC. CODE INSTALL
 ROUGH IN FOR FUTURE SOLAR GAS CONTROL (OPTIONAL):
 - ABOVE MESSAGING SLAB:
 - INSTALL AN SOLID FIBRE CONTINUOUS (FROM MESSAGING THROUGH ALL FLOORS AND TERMINATING AT EXTERIOR OF THE BUILDING ABOVE THE ROOF)
 - FIBRE HAS TO BE CONNECTED TO THE FUTURE REPERFORATION EQUIPMENT
 - BELOW MESSAGING CONG. SLAB:
 - 2" FIBRE RIGIDITY (RFR)
 - INSTALL 1/2" X 4" X 8" REBAR (CONG. SLAB APPROXIMATELY IN THE MIDDLE OF THE BUILDING) - RFR WILL BE 45° FROM PERPENDICULAR TO THE SLAB AREA SEPARATED BY 4" TYPICAL LOAD BEARING CONG. FOUNDATION WALLS USE 1/2" X 4" X 8" REBAR - SLABED OVER 1/2" X 4" X 8" THICKNESS USE PER 4" GAS PERMISSIBLE GRANULAR FILL
 FUTURE SOLAR COLLECTORS FOR SOLAR DOMESTIC HOT WATER:
 1. REQUIRED ROOF AREA:
 - MIN. 3000' FLOOR AREA WITH NO OVERHANG (LESS THAN 90°) (2.7M²)
 2. REQUIRED CONDUIT:
 - MIN. 1/2" STAINLESS CONTINUOUS TO EXTEND FROM MESSAGING FROM THE AREA DIRECTLY ADJACENT TO THE BUILDING'S PRIMARY SERVICE WATER METER UP TO THE ATIC SPACE
 3. REQUIRED FOR CONDUIT RINGS:
 - MIN. 1/2" STAINLESS
 ACCESSIBLE FROM BOTH INNE AND OUTSIDE TO THE WATER TIGHT TO BE IN COMPLIANCE WITH CAN/CSA-F283-11 INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS

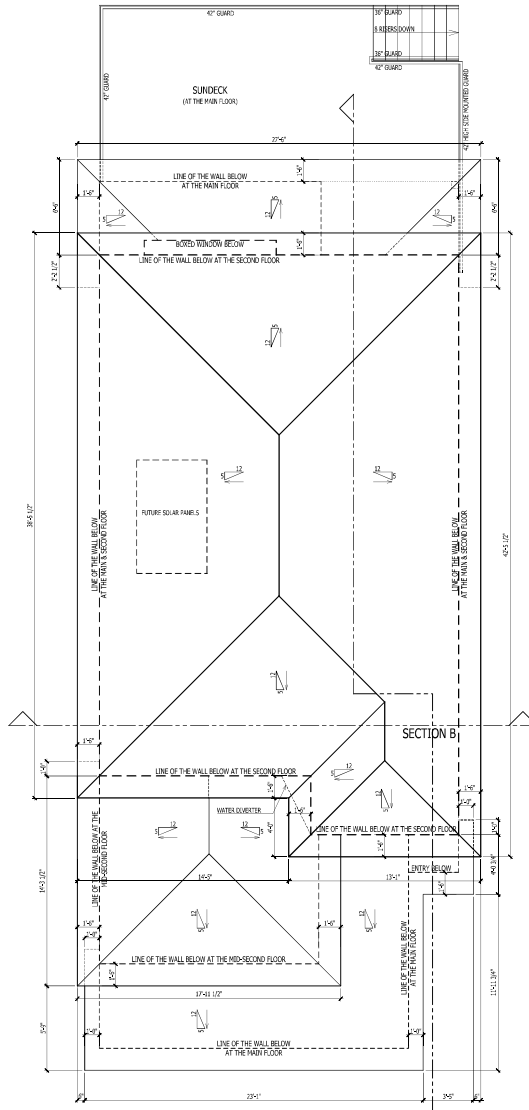


SECOND FLOOR PLAN 1098.20SF
 SECOND FLOOR GROSS 1026.16SF
 SCALE 1/4" = 1'-0"

CR
 commercial - residential
 design & drafting
 201-2389 WELCHER AVENUE
 PORT COQUITLAM, BC V3C 1X5
 778 899 0091

PLANS:
 ISSUED FOR: DP/ BP/ FEBRUARY 2024
 PROJECT DESCRIPTION:
 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE
 PROJECT ADDRESS:
 2472 CHILCOTT AVENUE
 PORT COQUITLAM, BC
 LOT 2
 DESIGNED:
 NATASHA DIXONIC, M. Arch.
 DRAWN:
 MARDIA CARAN, M. Arch.
 DATE:
 FEBRUARY 2024
 SCALE:
 AS NOTED ON PLANS
 SHEET TITLE:
 BASEMENT FLOOR PLAN
 MAIN FLOOR PLAN
 SECOND FLOOR PLAN
 SHEET
 OF 7 SHEETS

- NOTES:
- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, TRUSSES, SHEAR WALLS, ETC.)
 - BUILDOUT TO COMPLY ALL FRAMING CONSIDERATIONS FOR TUBS, SHOWERS, FIREPLACES AND SIMILAR WITH MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.

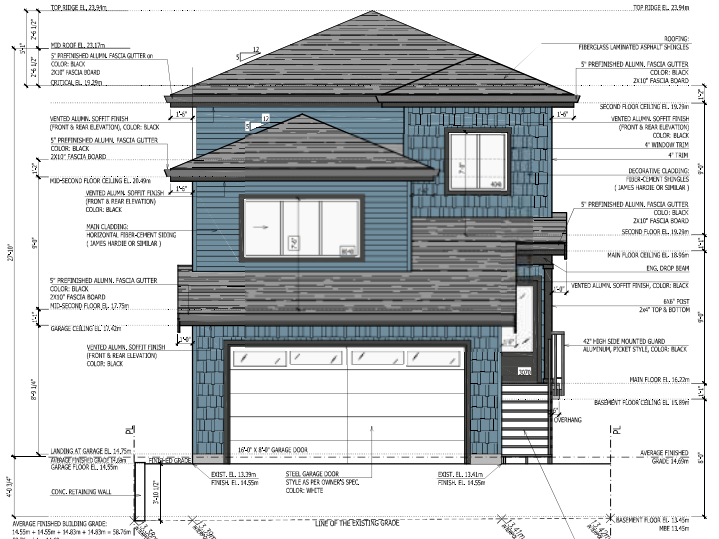


FUTURE SOLAR COLLECTORS FOR SOLAR DOMESTIC HOT WATER:

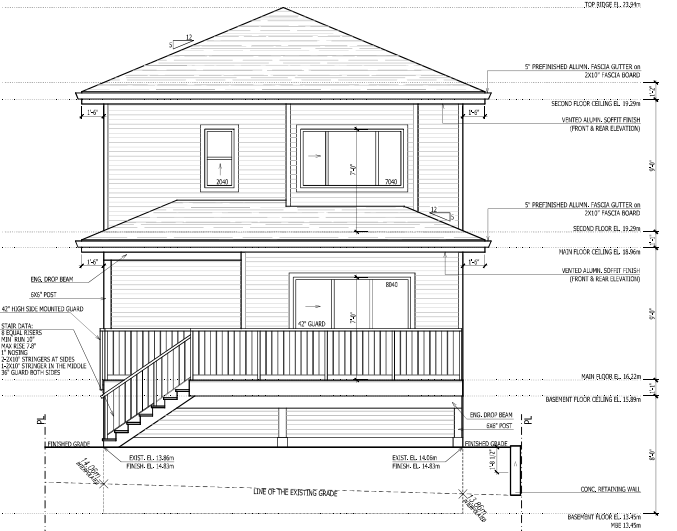
- REQUIRED ROOF AREA:
MIN. SLOPE (8:12) WITH NO DIMENSION LESS THAN 9" (2.29m)
- REQUIRED CONCRETE:
MIN. 3" STRAIGHT, CONTINUOUS RING TO EXTEND FULL HEIGHT FROM THE AREA SUBJECT TO ADJACENT TO THE BUILDING PRIMARY SERVICE WATER HEADER UP TO THE ATTIC SPACE
- REQUIRED ROOF CONCRETE FINISH:
MIN. D = 50mm
ACCESSIBLE FROM BOTH ENDS
CARPED AT 80° TO ENDS TO BE WATER TIGHT
TO BE IN COMPLIANCE WITH CANADA-FRISK
INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS

ROOF PLAN
SCALE: 1/4" = 1'-0"

SECTION A
SECTION B



PROPOSED NORTH (FRONT) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (S-27.3.8)
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH (REAR) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (S-27.3.8)
SCALE: 1/4" = 1'-0"

CR
commercial - residential
design & drafting

201-2389 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091



PLANS:

ISSUED FOR: DP/FP FEBRUARY 2024

PROJECT DESCRIPTION:

SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE
AND SECONDARY SUITE

PROJECT ADDRESS:

2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED:

NATASHA DIXON, M. Arch.

DRAWN:

MARIA CARAN, M.Arch.

DATE:

FEBRUARY 2024

SCALE:

AS NOTED ON PLANS

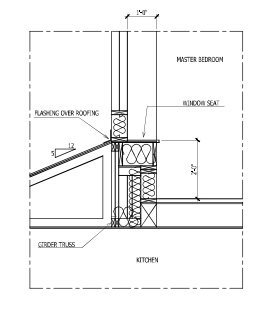
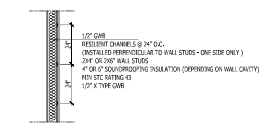
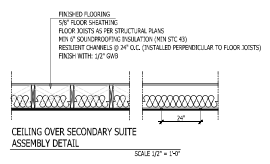
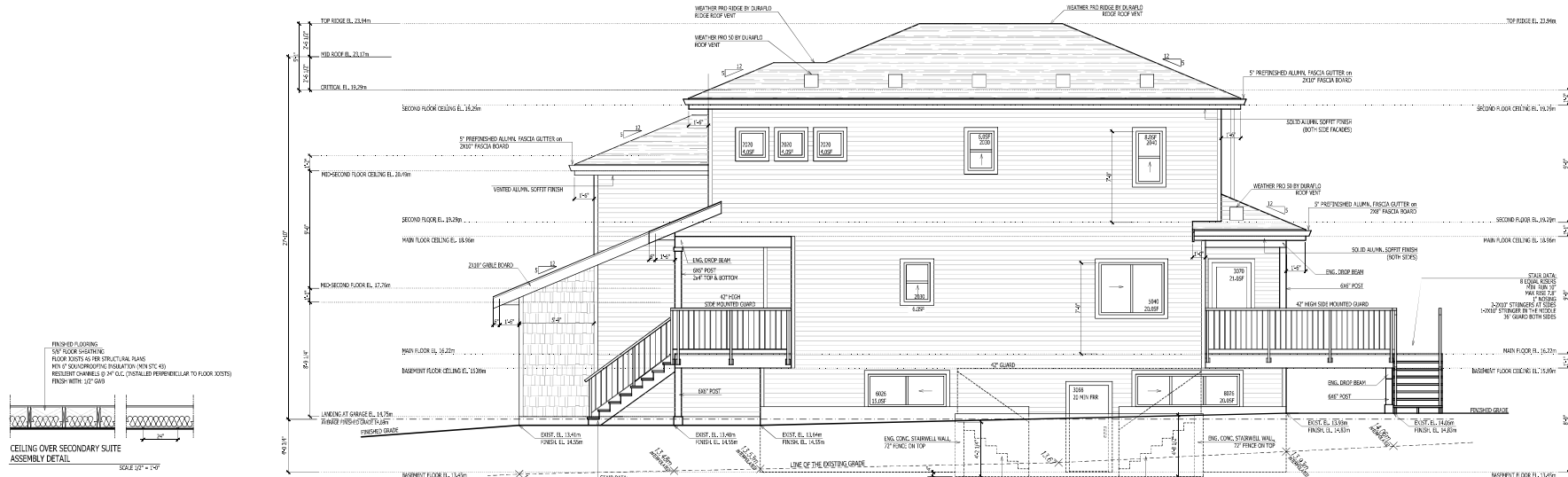
SHEET TITLE:

ROOF PLAN
FRONT ELEVATION
REAR SIDE ELEVATION

SHEET:

OF 7 SHEETS

A-3



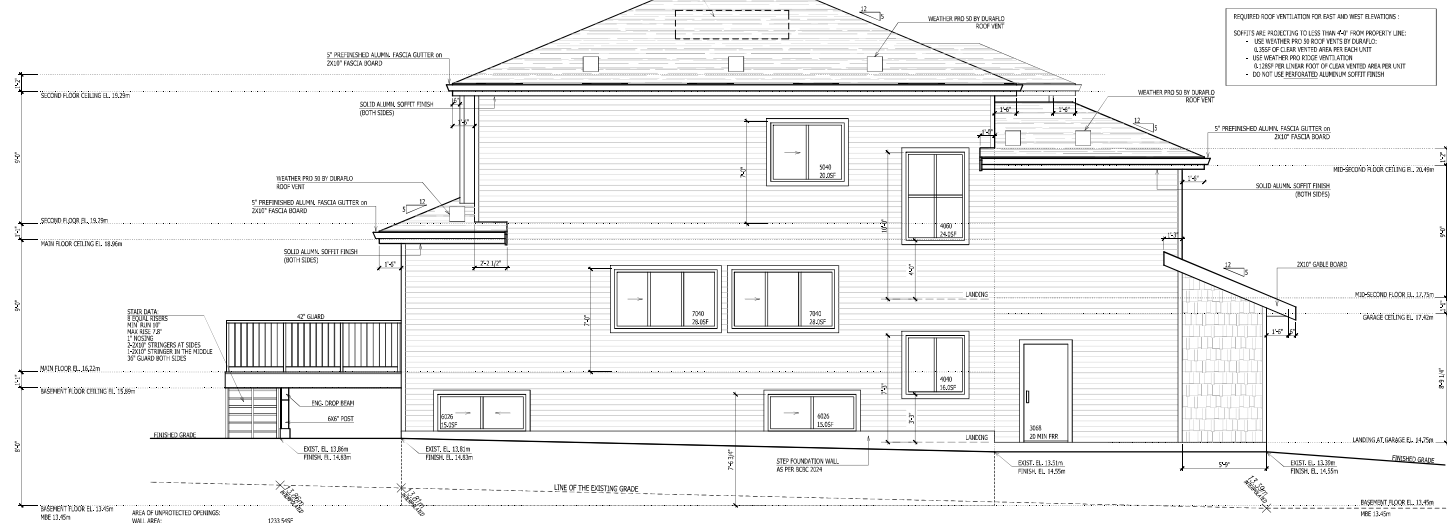
AREA OF UNPROTECTED OPENINGS:
WALL AREA: 103.50 SF
LIMITING DISTANCE: 4'-0"
ALIGNED WITH 2 (SPRINKLER BOLLARDS) = 13.75 SF
PROPOSED: 146.95 SF

ALL ROOMS, INCLUDING CLOSETS, BATHROOMS AND ATTACHED GARAGES, THAT ARE ADJACENT TO THE EXISTING BUILDING AND HAVE GLAZED OPENINGS MUST BE SEPARATED BY NOTCH-FRAMING ANY OPENINGS IN THE SPRINKLER STANDARDS.

WEATHER PRO SIDING BY DURABLO ROOF VENT
FUTURE SOLAR PANELS

REQUIRED ROOF VENTILATION FOR EAST AND WEST ELEVATIONS:
SOUTH'S ARE PROJECTING TO LESS THAN 40\"/>

PROPOSED WEST (RIGHT SIDE) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (9.27.3.5)
SCALE: 1/4" = 1'-0"



AREA OF UNPROTECTED OPENINGS:
WALL AREA: 103.50 SF
LIMITING DISTANCE: 4'-0"
ALIGNED WITH 2 (SPRINKLER BOLLARDS) = 13.75 SF
PROPOSED: 146.95 SF

ALL ROOMS, INCLUDING CLOSETS, BATHROOMS AND ATTACHED GARAGES, THAT ARE ADJACENT TO THE EXISTING BUILDING AND HAVE GLAZED OPENINGS MUST BE SEPARATED BY NOTCH-FRAMING ANY OPENINGS IN THE SPRINKLER STANDARDS.

WEATHER PRO SIDING BY DURABLO ROOF VENT
FUTURE SOLAR PANELS

REQUIRED ROOF VENTILATION FOR EAST AND WEST ELEVATIONS:
SOUTH'S ARE PROJECTING TO LESS THAN 40\"/>

PROPOSED EAST (LEFT SIDE) ELEVATION
NOTE: INSTALL FLASHING AS REQUIRED BY BCRC 2024 (9.27.3.5)
SCALE: 1/4" = 1'-0"

PLANS:
ISSUED FOR DP/FP FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED:
NATASHA DIXON, M. Arch.

DRAWN:
MARDIA CARAN, M.Arch.

DATE:
FEBRUARY 2024

SCALE:
AS NOTED ON PLANS

SHEET TITLE:
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION
DETAILS

SHEET:
A-4
OF 7 SHEETS

SPECIFICATIONS:

FIBERGLASS LAMINATED ASPHALT SHINGLES (WSS)
 ROOFING MEMBRANE (UNDERLAY) MANUFACTURE (WSS)
 1/2" ROOF SHEATHING
 ENG. TRUSSES MAX @ 24" O.C.
 INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (T/E)
 6ML LV POLY (A/B) (W)
 5/8" GWB

2" FINISH ALUMIN. OUTLET @ 24" FROM ROOF EDGE

ROOF AND ATTIC VENTILATION:

ATTIC VENTILATION:
 MIN. 200% OF INSULATED CEILING AREA AS PER S1.1 - BCBC 2024

ROOF TOP DECK OVER LIVING AREA:
 FINISHED FLOORING
 5/8" FLOOR SHEATHING
 FLOOR JOISTS AS PER STRUCTURAL PLANS (MIN 2X10)
 2X2" X-TYPE BRIDGING MAX @ 7'-0" O.C.
 INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (T/E)

INSULATION:
 INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA REFER TO DOCUMENTATION PROVIDED BY CERTIFIED ENERGY RATER ADVISOR

HOT WATER EQUIPMENT:
 DOMESTIC HOT WATER SYSTEM AND PIPING TO BE INSTALLED AS PER ENERGY EFFICIENCY REQUIREMENTS FROM 2018/19/20 BC BUILDING CODE 2024 EDITION

EXTERIOR WALLS:
 HORIZONTAL FIBER-CEMENT SIDING BY FIBER-CEMENT SHINGLES (WSS) WITH SCREW VERTICAL STRAPPING
 1/2" P. TREATED @ 16" O.C. (Full height of the wall, full screen at the bottom)
 2X12 BRACING (WHERE APPLICABLE) (WSS)
 VAPOR PERMEABLE BREATHING MEMBRANE (OVER OR UNDER) (WSS)
 1/2" WALL SHEATHING
 2X4 STUDS @ 16" O.C.
 8" CONG. FOUNDATION WALL
 ENGRAINED CONCRETE FOOTING

INTERIOR WALLS:
 2X4 STUDS @ 16" O.C.
 1/2" GWB BOTH SIDES
 SOUNDPROOFING INSULATION (1" MIN @ 16" ON 16")

EXTERIOR OPENINGS:
 ALL WINDOWS:
 VINYL DOUBLE GLAZED, Min @ per den.
 FACTORY PRE-INSULATED GLAZING (MAX 1/4" AIR GAP AS PER ENERGY REPORT)

FRONT DOOR: MAX 1/4" AIR GAP AS PER ENERGY REPORT
 BACK DOOR: MAX 1/4" AIR GAP AS PER ENERGY REPORT
 GARAGE DOOR: MIN 1/8" AIR GAP AS PER ENERGY REPORT
 ATTIC ACCESS: MIN 1/8" AIR GAP AS PER ENERGY REPORT

ALL FINISHED WINDOWS, DOORS AND SHUTTERS MUST COMPLY TO:
 ANNA (CAN), CSA 101, I.C.C. 1004.4.1
 WFS - NORTH AMERICAN FIRE PROTECTION STANDARD AND
 A MINEL - 12 CANADIAN SUPPLEMENT TO THE ABOVE MENTIONED STANDARD

FLOOR:
 FINISHED FLOORING
 5/8" FLOOR SHEATHING
 FLOOR JOISTS AS PER STRUCTURAL PLANS
 2X2" X-TYPE BRIDGING MAX @ 7'-0" O.C.
 1/2" GWB

STAIRS:
 MIN. 104" 10"
 RISE: MAX 7 1/2"
 TREADS: 11"
 3/4" HIGH GUARD / HANDRAIL AT FLOORS
 36" HIGH GUARD AT INTERIOR LANDINGS
 42" HIGH GUARD AT EXTERIOR LANDINGS
 6" FIN. HANDRAIL OVER FLOORS
 6" FIN. HANDRAIL OVER LANDINGS

BASEMENT SLAB:
 FINISHED FLOORING
 4" CONG. SLAB (HEATED)
 INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEA (T/E)
 15# POLY - SEALED AND GAS TIGHT (DOUBLE IN POLY SOL. GAS CONTROL) (A/B)
 6ML COMPACTED GAS PERMEABLE GRANULAR FILL

GARAGE SLAB:
 4" CONCRETE SLAB MIN 4" BELOW TOP OF FOUNDATION WALL (MIN 1/4" ROCK) (OPTIONAL)
 6ML COMPACTED GRANULAR FILL
 SLOPE CONG. SLAB MIN 1" IN 12"

FOUNDATION DRAINAGE:
 PERFORATED PLASTIC DRAINAGE PIPES (SLOPE DOWN) MIN 4" LAYERS MIN 1" TOP AND BOTTOM COVERED WITH 1/4" 1/4" SLOTTED STONE OR COARSE GRANULAR MATERIAL

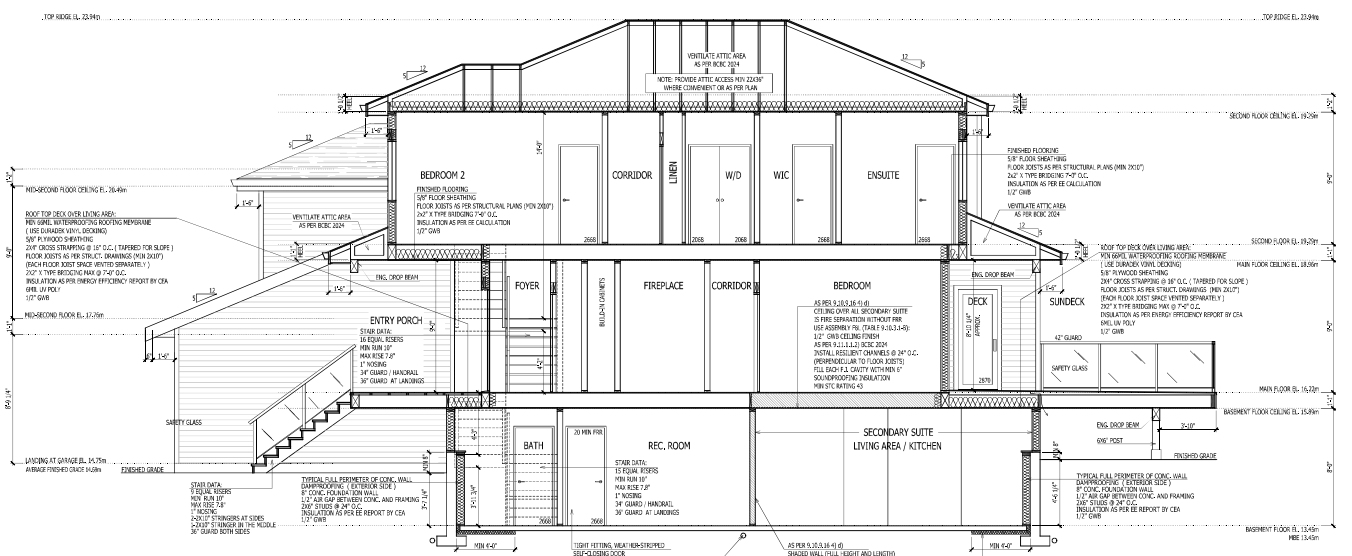
INTERIOR FOUNDATION:
 2X4 STUDS @ 16" O.C.
 6" CONG. FOUNDATION CURB
 ENGRAINED CONCRETE FOOTING

EXTERIOR FOUNDATION:
 2X4 STUDS @ 16" O.C.
 8" CONG. FOUNDATION WALL
 ENGRAINED CONCRETE FOOTING

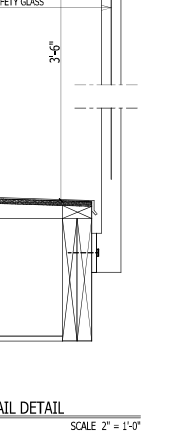
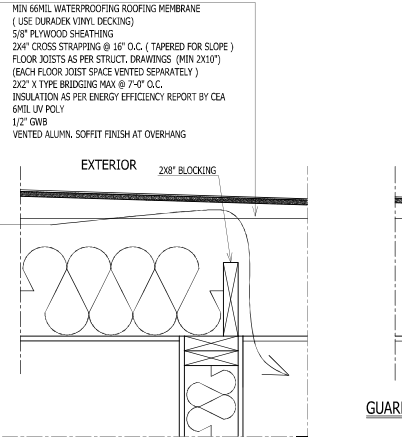
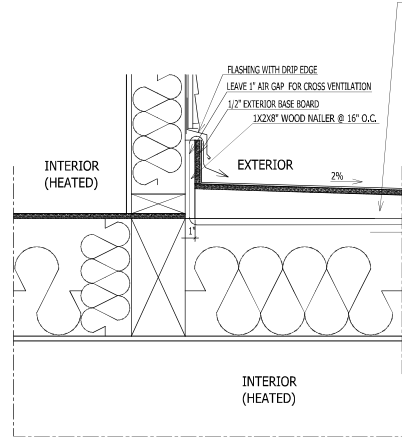
BEARING:
 ALL POSTINGS SHALL BE ON FIRM, UNDISTURBED, NATIVE BEARING MATERIAL BELOW FIRST LEVEL (1" MIN 18" BELOW FINISHED GRADE)

AIRTIGHTNESS:
 USE SEALED POLYETHYLENE METHOD DETAILS ON FRAME 2-7

NOTES:
 1. REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS
 2. BUILDER TO COMPLY ALL FRAMING DIMENSIONS FOR TUBS, SHOWERS, FIREPLACES AND SIMILAR WITH MANUFACTURERS SPECIFICATIONS PRIOR TO CONSTRUCTION



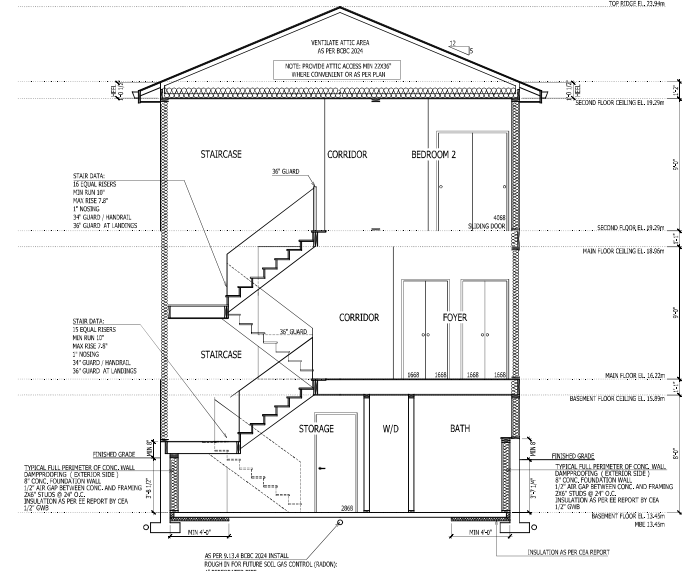
SECTION A-A
 SCALE: 1/4" = 1'-0"



ROOF TOP DECK - WALL CONNECTION DETAIL
 SCALE 2" = 1'-0"

DECK CONNECTION DETAIL
 SCALE 2" = 1'-0"

GUARDRAIL DETAIL
 SCALE 2" = 1'-0"



SECTION B-B
 SCALE: 1/4" = 1'-0"

CR
 commercial - residential
 design & drafting

201-2389 WELCHER AVENUE
 PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS:
 ISSUED FOR: DP/BP FEBRUARY 2024

PROJECT DESCRIPTION:
 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
 2472 CHILCOTT AVENUE
 PORT COQUITLAM, BC
 LOT 2

DESIGNED:
 NATASHA DOKIC, M. Arch.

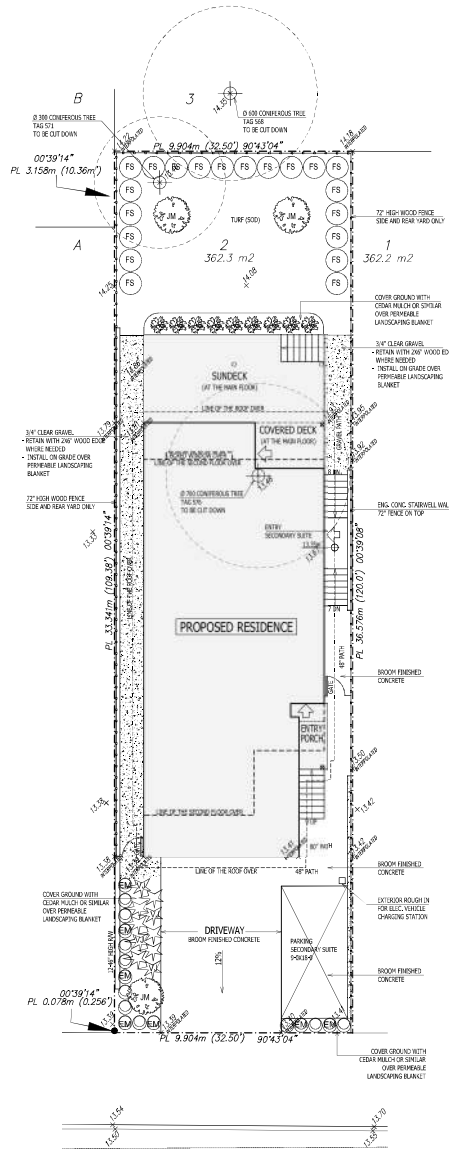
DRAWN:
 MARDIA CARAN, M. Arch.

DATE:
 FEBRUARY 2024

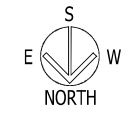
SCALE:
 AS NOTED ON PLANS

SHEET TITLE:
 SPECIFICATIONS SECTION A-A SECTION B-B DETAILS

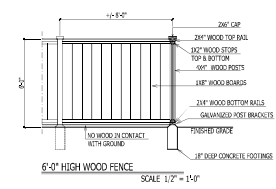
SHEET
 OF 7 SHEETS



LANDSCAPING PLAN
SCALE 1/8" = 1'-0"



PROJECT DATA:
LEGAL DESCRIPTION:
LOT 2
PID:
CIVIC ADDRESS:
CHILCOTT AVENUE
PORT COQUITLAM, BC
ZONING: RS-4
NOT IN FLOOD PLANE
LOT AREA: 362.2m² (899.89SF)



PLANT LIST

COMMON NAME	BOTANICAL NAME	SIZE	QTY
EMERALD CEDAR	THUJA OCCIDENTALIS	7 GAL POT	17
LUTCHMENSIS JASMINE (GROUND COVER)	JUNIPERUS TARTAGOLIA	#3 POT	10
AUTUMN GUMBELST	FICUS ADAMA	#3 POT	9
WEIBING FICUS/ROSA	FICUS THUNBERGII	#3 POT	20
JAPANESE MAPLE	ACER PALMATUM	6cm GALBER	3

- LEGEND:
- PERMEABLE MATERIAL (TOP SOIL)
 - PERMEABLE MATERIAL GRAVEL
 - IMPERMEABLE MATERIAL BUILDINGS OR BROOM FINISHED CONCRETE
 - TREES TO BE RETAINED
 - TREES TO BE CUT DOWN
 - PROTECTIVE BARRIER: USE PLASTIC DOWN FENCING SECURED TO WOOD POSTS MAXIMUM 4'-0"

NOTES:
- DO NOT STORE ANY BUILDING MATERIALS WITHIN THE INNER AREA OF PROTECTIVE FENCE
- DO NOT ALLOW ANY PEDESTRIAN OR VEHICULAR TRAFFIC WITHIN INNER AREA OF PROTECTIVE FENCE
- WRAP EXPOSED ROOTS WITH ROOTH CURTAIN (4 INCH FISH OR SIMILAR WITH EMBLEM) AND SUPPORT BY POSTS
- KEEP POSTS MOIST BY WATERING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD
- REMOVE ROOT CURTAIN BEFORE BACKFILLING
- USE TUNNELLING (NO TRECHING) WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES

CR
commercial - residential
design & drafting

201-2388 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS
ISSUED FOR: BP FEBRUARY 2024

PROJECT DESCRIPTION
SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE
AND SECONDARY SUITE

PROJECT ADDRESS
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 2

DESIGNED
NATASHA DOKIC, M. Arch.

DRAWN
MARDIA CARAN, M. Arch.

DATE
FEBRUARY 2024

SCALE
AS NOTED ON PLANS

SHEET TITLE
LANDSCAPE PLAN

SHEET
OF 7 SHEETS
A-6

GENERAL NOTES:

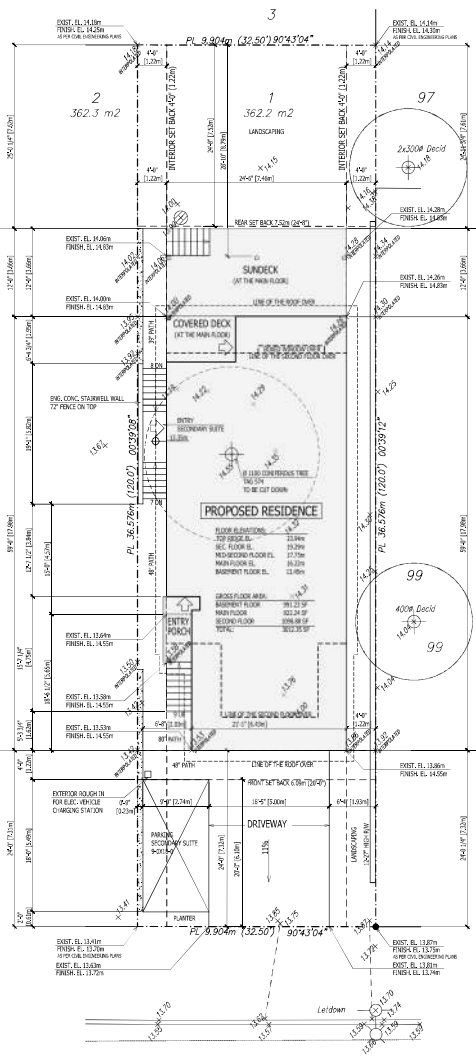
- THESE COUPURES ARE THE EXCLUSIVE PROPERTY OF OR DESIGN & DRAFTING AND WILL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF THE SAME.
- THESE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO CURRENT RESIDENTIAL REQUIREMENTS OF THE LOCAL BUILDING CODE AND THE BC BUILDING CODE EXCEPT AS NOTED.
- THE BUILDERS TO RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION COORDINATES TO LOCAL, PROVINCIAL AND NATIONAL BUILDING CODES AND BYLAW.
- THE BUILDERS SHALL INSTALL ALL MATERIALS, EQUIPMENT AND COMPONENTS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND ACCEPTED METHODS OF GOOD BUILDING PRACTICE.
- DIMENSIONS SHOWN WILL ALWAYS HAVE PRECEDENCE OVER SIZE AND NOT SCALE DIMENSIONS.
- ON DESIGN & DRAFTING HAS MADE EVERY EFFORT TO INSURE ACCURACY AND COMPLETENESS IN THESE PLANS. HOWEVER, IT IS THE RESPONSIBILITY OF THE BUILDERS TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND SPECIFICATIONS FROM TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY UPON COMMENCING CONSTRUCTION.
- USE OF SITE SURVEY AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM A REGISTERED BC LAND SURVEYOR ENGINEER. WE RELY ON THIS INFORMATION. WE ARE NOT RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THE USE OF THE SURVEY PLAN. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE DATA IS CORRECT.
- ALL DIMENSIONS SHOWN ON THE SITE PLAN AND LOCATION OF ANY EXISTING OR REMOVED OF WORK ARE TO BE APPROVED BY BUILDING AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION.
- GRASS TO ESCAPE A MINIMUM OF TWO PERCENT AWAY FROM THE STRUCTURE FOR SURFACE WATER RUNOFF. THE BUILDERS IS RESPONSIBLE FOR REQUIRED GRASSES AND TO ENSURE THAT ELEVATIONS SHOWN ON THE SITE PLAN ARE ADEQUATE BEFORE COMMENCING CONSTRUCTION. THIS IS ESPECIALLY IMPORTANT TO ENSURE THAT EXISTING OVERLAND WATER FLOW PATTERNS ARE MAINTAINED.
- ALL EXISTING WALLS THAT ARE REQUIRED ARE TO BE BUILT ACCORDING TO THE LOCAL BUILDING CODE. GOOD BUILDING PRACTICE OF STRUCTURAL ENGINEERS' PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.
- ALL STRUCTURAL LOAD-BEARING ELEMENTS TO BE BUILT PER LOCAL BUILDING CODE. GOOD BUILDING PRACTICE AND STRUCTURAL PLANS, SPECIFICATIONS, AND ARE ENTIRELY THE RESPONSIBILITY OF THE BUILDERS.

- ### NOTES:
- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS (FOOTINGS, FOUNDATION WALLS, PILLS, BEAMS, TRUSSES, SHEAR WALLS, ETC.)
 - BUILDERS TO VERIFY ALL FRAMING DIMENSIONS FOR TRUSSES, BEAMS, TRUSSES AND SIMILAR WITH MANUFACTURERS SPECIFICATIONS PRIOR TO CONSTRUCTION.
 - ALL DRAWN WALLS INCLUDE SHEATHING, DRYWALL THICKNESS.
 - EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF FINISHING.
 - INTERIOR DIMENSIONS ARE CENTER TO CENTER OF THE INTERIOR WALLS.
 - FLOOR ELEVATIONS ARE TO THE TOP OF THE FLOOR SHEATHING OR GRC, SLAB, OR CEILING ELEVATIONS ARE TO THE UNDERSIDE OF CEILING DRYWALL.
 - THICKNESS OF FLOOR ASSEMBLIES ARE BASED ON:
 - 4" SF FLOOR SHEATHING (PROVIDED TO 1" FOR DESIGN DRAFTING AND CALCULATIONS)
 - ASSUMED 1" TI FLOOR JOISTS (SEE STRUCTURAL PLANS)
 - 1/2" GAB

- ### VENTILATION AND DEHUMIDIFICATION SYSTEM (AS PER 9.3.1.1 BC BUILDING CODE 2024):
- WHERE THE PRINCIPAL VENTILATION SYSTEM IS ADUCTED FRESH AIR HEATING SYSTEM, THE DUCTED FRESH AIR HEATING SYSTEM SHALL PROVIDE SUPPLY AIR THROUGH THE FOLLOWING:
 1. EXTERIOR WALLS OR ROOFS.
 2. EXTERIOR WALLS AND ROOFS WITHOUT A BASEBOORD.
 3. DRAIN SUPPLY AIR FROM AN OUTDOOR INTAKE THAT IS CONNECTED TO THE FRESH AIR DUCT BY DUCTING THAT IS AT LEAST 10 CM ABOVE THE ROOF.
 4. UNLESS A FLOW CONTROL DEVICE IS USED, THAT INTERSECTS THE RETURN AIR IN SUCH AS A MOUNT FROM WHICH THE FRESH AIR DUCT CAN BE REMOVED AT LEAST 300 MM ON.
 5. DRAIN SUPPLY AIR THROUGH DUCTING THAT IS:
 - (1) CONNECTED TO THE OUTDOOR INTAKE OF AT LEAST 300 MM ON.
 - (2) LOCATED TO THE WITH AN EQUIVALENT CLEARANCE OF AT LEAST 1200 MM AND
 - (3) HAVE A FINISHED AIR COLLECTION AREA SET TO REMOVED CONTINUOUSLY.
 - A PRINCIPAL VENTILATION SYSTEM NEED NOT CONFORM TO SENTENCE (1) IF THE PRINCIPAL VENTILATION SYSTEM:
 1. SERVED A CHILLING UNIT THAT:
 - (1) IS LOCATED WITHIN THE SHAWAY DESIGN TEMPERATURE, BUT 0.5% BASED DETERMINED BY MICROCLIMATE, IS GREATER THAN 2°C.
 - (2) HAS ONLY 1 STORY ABOVE ROOF AREA WITHIN THE BUILDING ENVELOPE OF LEAST THAN 100 M² (SEE APPENDIX A).
 2. DOES NOT HAVE A DUCTED FRESH AIR HEATING SYSTEM, AND
 3. PROVIDES SUPPLY AIR ASSEMBLY FROM OUTDOORS THROUGH EXHAUSTIBLE PILLS THAT ARE LOCATED IN ROOF HEADS AND AT LEAST 100 CM ABOVE RA.
 4. ARE LOCATED TO THE WITH AN EQUIVALENT CLEARANCE OF AT LEAST 1000 MM.
 5. HAVE AN UNDERSTRUCTURE VENT AREA OF NOT LESS THAN 2000 MM².

- ### REQUIRED HEATING AND VENTILATION SYSTEMS (9.3.1.2 BC BUILDING CODE 2024):
- RESIDENTIAL BUILDINGS DESIGNED FOR USE IN THE WINTER MONTHS ON A CONTINUING BASIS SHALL BE EQUIPPED WITH THE FOLLOWING HEATING EQUIPMENT TO THE SECTION:
 - EXCEPT WHERE DETERMINATION ACCORDING TO ARTICLE 9.3.1.1 OR GOOD ENGINEERING PRACTICE ACCORDING TO ARTICLE 6.3.1.1, CAN SHOW IT TO BE UNDESIRABLE, DIVULGING UNITS OR THROUGH USE OF THE GAMMA HEATING ON A CONTINUING BASIS SHALL BE EQUIPPED WITH COOLING FACILITIES CONFORMING TO THIS SECTION (SEE NOTE 9.3.1.1.2).
- ### DESIGN TEMPERATURES (9.3.1.3 BC BUILDING CODE 2024):
- INDOOR DESIGN TEMPERATURES:
 - AT THE OUTSIDE INTERIOR DESIGN TEMPERATURE, REQUIRED HEATING FACILITIES SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT LESS THAN:
 - (1) 20°C IN ALL LIVING SPACES.
 - (2) 18°C IN BEDROOMS OR BATHS.
 - (3) 16°C IN COMMON GRIFFIT ROOMS, AUXILIARY SPACES AND EXITS IN HOUSES WITH A SECONDARY SUITE, AND
 - (4) 15°C IN HEATED CRAWL SPACES.
 - IF THE OUTSIDE SUMMER DESIGN TEMPERATURE, REQUIRED COOLING FACILITIES SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT MORE THAN 26°C IN AT LEAST ONE LIVING SPACE IN EACH DWELLING UNIT.

- ### ROUGH IN FOR FUTURE SOIL GAS (RADON) CONTROL (AS PER 9.3.1.4 BC BUILDING CODE 2024):
- ADVISE NEAREST NEIGHBORS:
 - INSTALL ONE RADON PIPE CONTINUOUS FROM FOUNDATION THROUGH ALL FLOORS AND TERMINATING AT EXTERIOR OF THE BUILDING BEYOND THE PROPERTY LINE TO PERMIT CONNECTION TO THE FUTURE DECONTAMINATION EQUIPMENT.
 - BELOW FOUNDATION CONCRETE SLAB:
 - OR REFORCED RPE
 - INSTALLED UNDER FINISHED CONCRETE SLAB APPROXIMATELY IN THE MIDDLE OF THE SLAB AND AT EVERY PARTITION OF UNDER THE SLAB AND SPACED BY 1.0 METER LONG BARS OF CONCRETE WITH REINFORCING.
 - USE EPOXY ANCHORS - SEALED FOR ALL GAS TIGHTNESS.
 - USE 1/2" GAS PERMEABLE GRANULAR FILL.



PROPOSED RESIDENCE SITE PLAN
SCALE 1/8" = 1'-0"

PROJECT DATA:
LEGAL DESCRIPTION:
LOT 1
P/F: _____
CIVIC ADDRESS:
CONCRETE AVENUE
PORT COQUITLAM, BC
ZONING: R5-4
NOT IN FLOOD PLANE
LOT AREA: 362.2 m² (388,82 SF)

LOT COVERAGE:
MAX ALLOWED 50% OF LOT AREA
362.2 m² (388,82 SF) x 0.50 = 181.1 m² (194,41 SF)
PROPOSED:
MAIN FLOOR: 102.24 m² (109,24 SF)
ENTRY PORCH: 3.44 m² (37.05 SF)
REAR PORCH: 30.20 m² (325.33 SF)
ATTACHED GARAGE: 391.53 m² (421.53 SF)
TOTAL PROPOSED: 156.11 m² (168,13 SF)

FLOOR AREA RATIO:
MAX ALLOWED 50% OF LOT AREA
362.2 m² (388,82 SF) x 0.50 = 181.1 m² (194,41 SF)
PROPOSED:
MAIN FLOOR: 102.24 m² (109,24 SF)
SECOND FLOOR GROSS: 102.24 m² (109,88 SF)
(A SECOND FLOOR STAIRWELL: 6.88 m² (73.95 SF)
TOTAL PROPOSED: 181.12 m² (194,83 SF)

MAXIMUM ATTACHED GARAGE FLOOR AREA:
MAX ALLOWED: 400 m² (428.60 SF)
PROPOSED: 391.53 m² (421.53 SF)

BUILDING DEPTH:
MAX ALLOWED: 18.00 m (59'0")
PROPOSED: 16.00 m (52'6")

AVERAGE FINISHED BUILDING GRADE:
14.50 m + 14.00 m + 14.00 m + 14.00 m = 56.50 m
56.50 m / 4 = 14.12 m

BUILDING HEIGHT:
MAX ALLOWED: 8.00 m (26'4")
PROPOSED: 8.00 m (26'4")

HEATING SYSTEM:
PRINCIPAL RESIDENCE - FORCED AIR (2 SPEED FURNACE)
SECONDARY SUITE - ELECTRICAL BASEBOARD

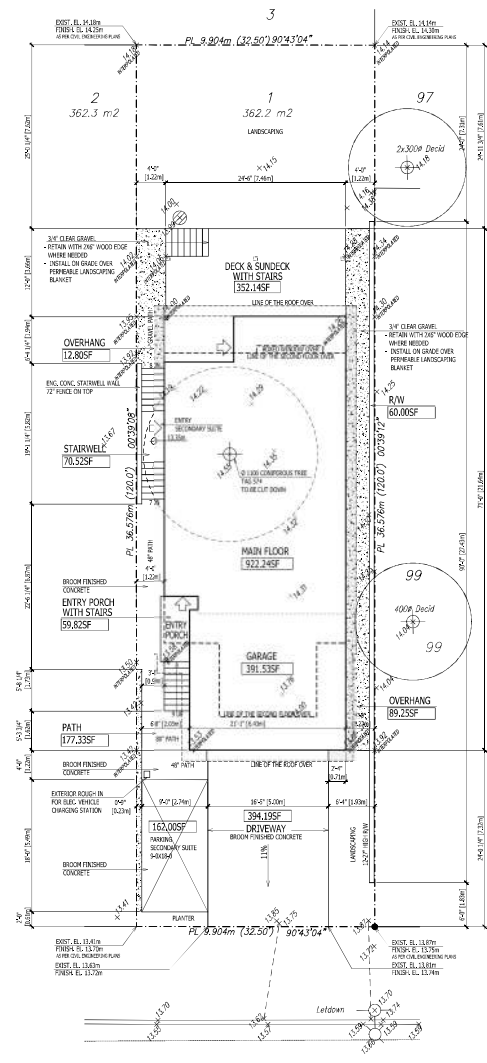
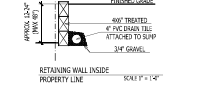
VENTILATION:
PRINCIPAL RESIDENCE - FORCED AIR (2 SPEED FURNACE)
SECONDARY SUITE - PASSIVE

COOLING OF LIVING AREA (9.3.1.3 BC BUILDING CODE 2024):
PRINCIPAL RESIDENCE - AC
SECONDARY SUITE - PERMANENT HARD WIRED AC OR MIN SPLIT AC SYSTEM

IMPERVIOUS MATERIAL LOT COVERAGE:
ALLOWED 70% OF LOT AREA
362.2 m² (388,82 SF) x 0.70 = 253.54 m² (273,17 SF)
PROPOSED:
MAIN FLOOR: 102.24 m² (109,24 SF)
ENTRY PORCH WITH STAIRS: 3.44 m² (37.05 SF)
DECK & SUNDECK WITH STAIRS: 152.14 m² (163,14 SF)
ATTACHED GARAGE: 391.53 m² (421.53 SF)
ROOF OVERHANG: 3.44 m² (37.05 SF)
STAIRWELL: 6.88 m² (73.95 SF)
PATHS: 14.88 m² (160.35 SF)
DRIVEWAY: 15.00 m² (161.59 SF)
PARKING: 15.00 m² (161.59 SF)
RETAINING WALL: 3.57 m² (38.62 SF)
TOTAL: 156.11 m² (168,13 SF)



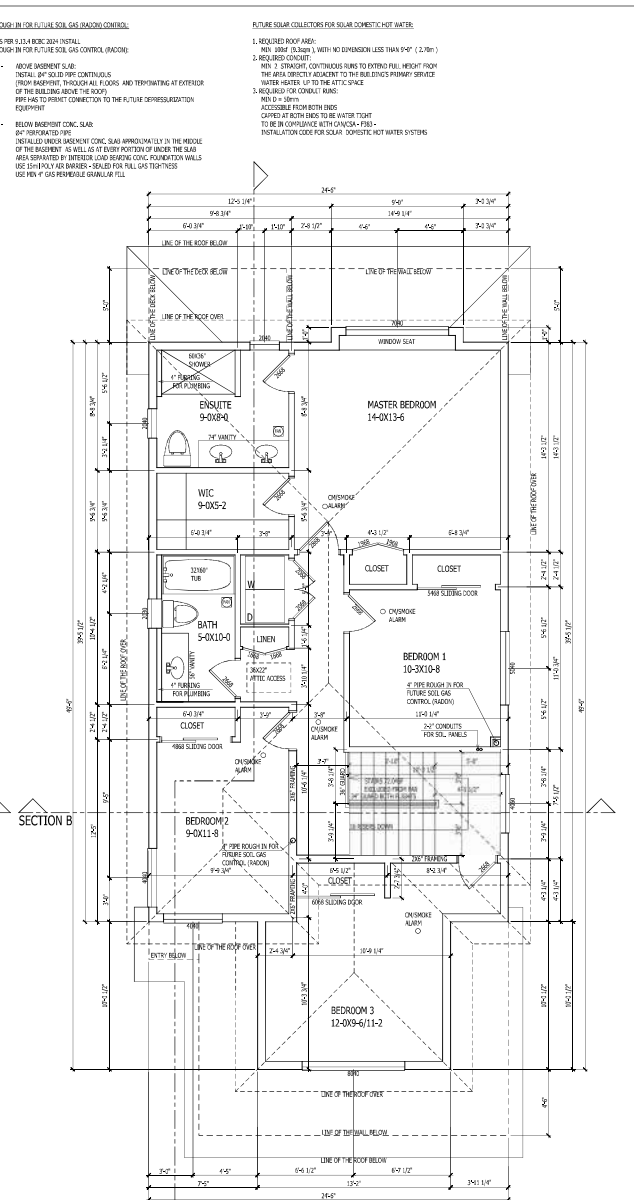
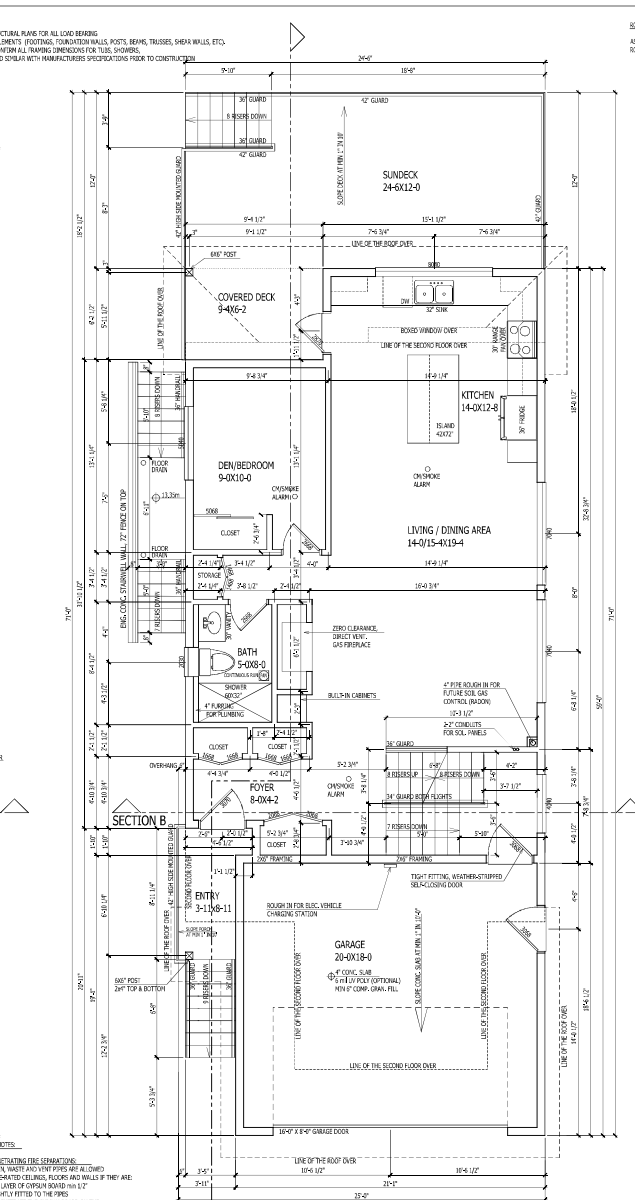
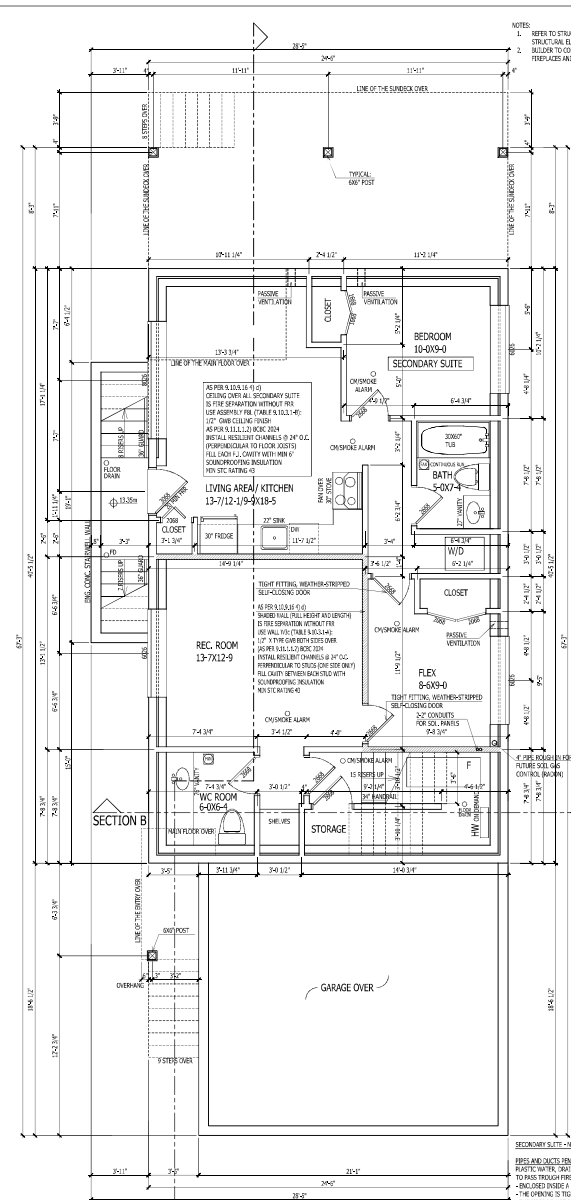
- NOTES:**
- DO NOT STORE ANY BUILDING MATERIALS WITHIN THE INNER AREA OF PROTECTIVE FENCE
 - DO NOT ALLOW ANY PENETRATION OF VEHICULAR TRAFFIC WITHIN INNER AREA OF PROTECTIVE FENCE
 - REMOVE EXPOSED ROOTS WITH ROOT CUTTER (WIRE MESH OR SIMILAR WITH BURIAL) AND SUPPORT BY POSTS
 - KEEP ROOTS MOIST BY WATERING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD
 - REMOVE ROOT CUTTING BEFORE BACKFILLING
 - USE TUNNELLING (NO TRENCHING) WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES



PROPOSED RESIDENCE IMPERMEABLE MATERIAL LOT COVERAGE PLAN
SCALE 1/8" = 1'-0"

CR
commercial - residential
design & drafting
201-2388 MELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5
778 899 0091

DATE ISSUED FOR:	RP FEBRUARY 2024
PROJECT DESCRIPTION:	SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE
PROJECT ADDRESS:	2472 CHILCOTT AVENUE PORT COQUITLAM, BC LOT 1
DESIGNED BY:	NATASHA DORIC, M. Arch.
DRAWN BY:	MARIA CARAN, M.Arch.
DATE:	FEBRUARY 2024
SCALE:	AS NOTED ON PLANS
SHEET TITLE:	GENERAL NOTES SITE PLAN IMPERMEABLE MATERIAL LOT COVERAGE PLAN
SHEET:	A-1
OF SHEETS:	7 OF 7 SHEETS



SOAK-AWAY FOR FUTURE SOLAR COLLECTOR CONTROL:

- AS PER 2015 CAN/CSA B201 INSTALL
- ROOF BY THE FUTURE SOLAR COLLECTOR (RACON)
- ABOVE BASEMENT SUB-IRRESTAL 2" POLY-PIPE CONTINUOUS FROM BASEMENT THROUGH RAFTERS AND TERMINATING AT EXTERIOR OF THE BUILDING ABOVE THE ROOF
- PIPE HAS TO BE CONNECTED TO THE FUTURE SOLAR COLLECTOR EQUIPMENT
- BELOW BASEMENT CONC. SLAB 6" MINIMUM THICK
- INSTALL UNDER BASEMENT CONC. SLAB APPROXIMATELY IN THE MIDDLE OF THE BASEMENT TO BE AT THE POSITION OF UNDER THE GARAGE AREA SEPARATED BY INTERIOR LOAD BEARING CONC. FOUNDATION WALLS USE 2" DIA. HDG. BARS - 6' ON CENTER
- USE MIN. 4" GAS PERMEABLE GRANULAR FILL

FUTURE SOLAR COLLECTORS FOR SOLAR DOMESTIC HOT WATER:

- REQUIRED ROOF AREA: MIN. 3000 SQ. FT. WITH NO OVERHANGS (LESS THAN 9" (2.3m))
- REQUIRED CONDUIT: MIN. 1" STAINLESS STEEL CONTINUOUS RUNS TO EXTEND FULL HEIGHT FROM THE AREA DIRECTLY ADJACENT TO THE BUILDING'S PRIMARY SERVICE WATER METER UP TO THE ATC SPACE
- REQUIRED FOR COND. RANS: MIN. 1" DIA.
- ACCESSIBLE FROM BOTH INDOOR AND OUTDOOR WATER TIGHT
- TO BE IN COMPLIANCE WITH CAN/CSA - F215 - INSTALLATION CODE FOR SOLAR DOMESTIC HOT WATER SYSTEMS

CR
 commercial - residential
 design & drafting

201-2389 WILLOW AVENUE
 PORT COQUITLAM, BC V3C 1X5

778 899 0091

PLANS:
 ISSUED FOR: DP/EP FEBRUARY 2024

PROJECT DESCRIPTION:
 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
 2472 CHILCOTT AVENUE
 PORT COQUITLAM, BC
 LOT 1

DESIGNER:
 NATASHA DORIC, R. ARCH.

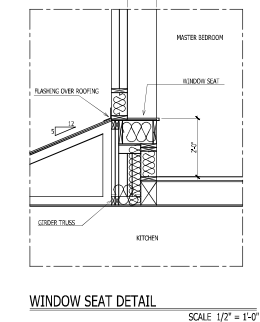
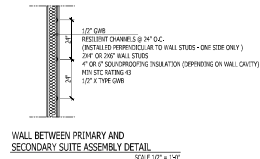
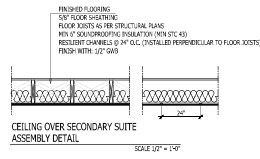
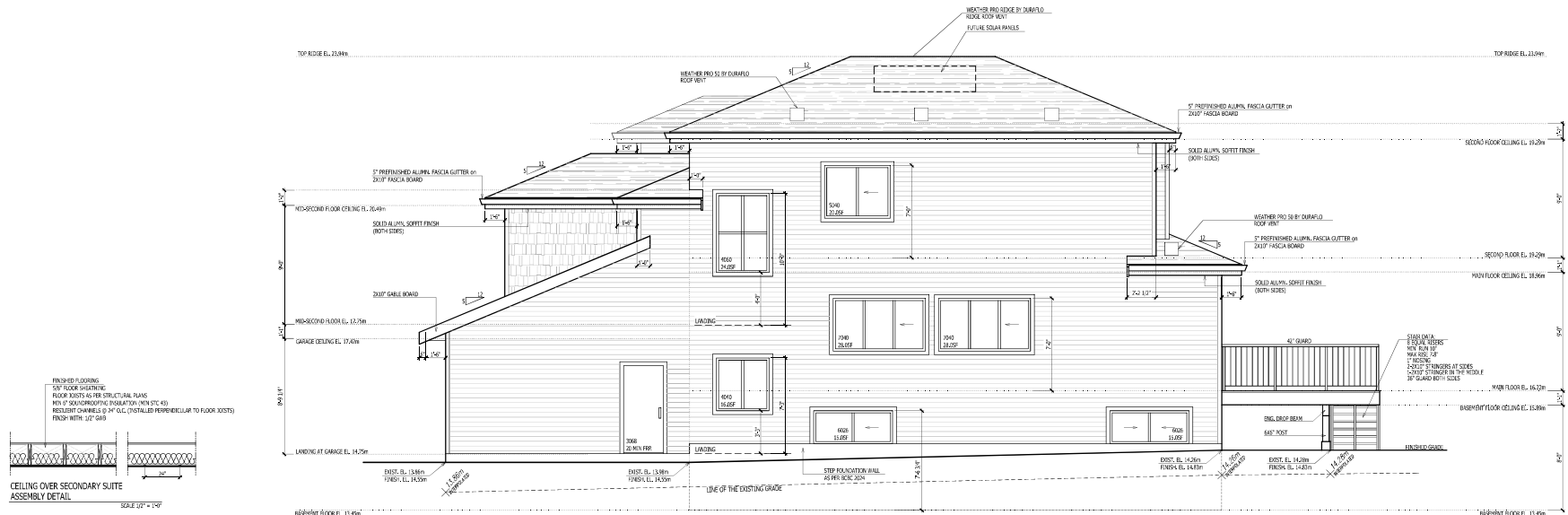
DRAWN:
 MARDIA CARAN, MARCH.

DATE:
 FEBRUARY 2024

SCALE:
 AS NOTED ON PLANS

SHEET TITLE:
 BASEMENT FLOOR PLAN
 MAIN FLOOR PLAN

SHEET NO.
 9 OF 7 SHEETS

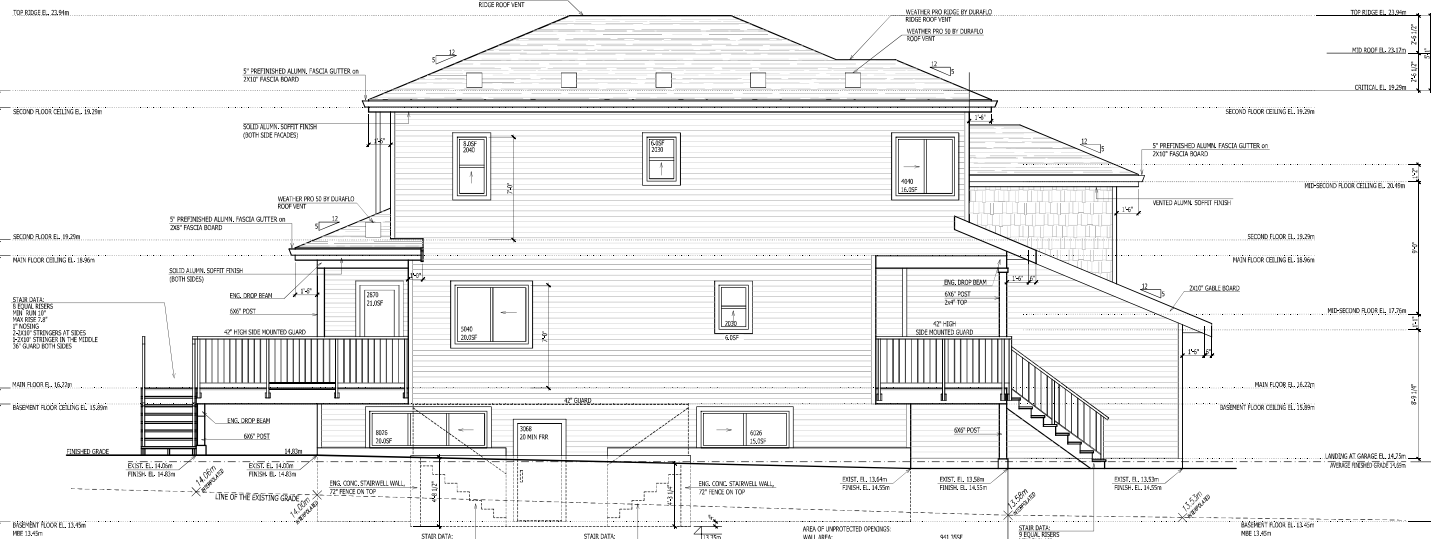


PROPOSED WEST (RIGHT SIDE) ELEVATION

NOTE: INSTALL FLASHING AS REQUIRED BY BCSC 2024 (8.27.3.8) SCALE: 1/4" = 1'-0"

REQUIRED ROOF VENTILATION FOR SUEE AND WHEE E-VENTILATORS:
SOFFITS ARE INDICATING TO USE 2x4x8-4\"/>

AREA OF UNPROTECTED OPENINGS:
WALL AREA 1133.54 SF
LIMITING DISTANCE 4'-0"
ALLOWED IN 2 (SPRINKLERED BUILDING) 1133.54 SF
PROPOSED 1133.54 SF



PROPOSED EAST (LEFT SIDE) ELEVATION

NOTE: INSTALL FLASHING AS REQUIRED BY BCSC 2024 (8.27.3.8) SCALE: 1/4" = 1'-0"

AREA OF UNPROTECTED OPENINGS:
WALL AREA 341.25 SF
LIMITING DISTANCE 4'-0"
ALLOWED IN 2 (SPRINKLERED BUILDING) 341.25 SF
PROPOSED 341.25 SF

PLANS:
ISSUED FOR: DP/ BP: FEBRUARY 2024

PROJECT DESCRIPTION:
SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE AND SECONDARY SUITE

PROJECT ADDRESS:
2472 CHILCOTT AVENUE
PORT COQUITLAM, BC
LOT 1

DESIGNED BY:
NATASHA DOKIC, M. Arch.

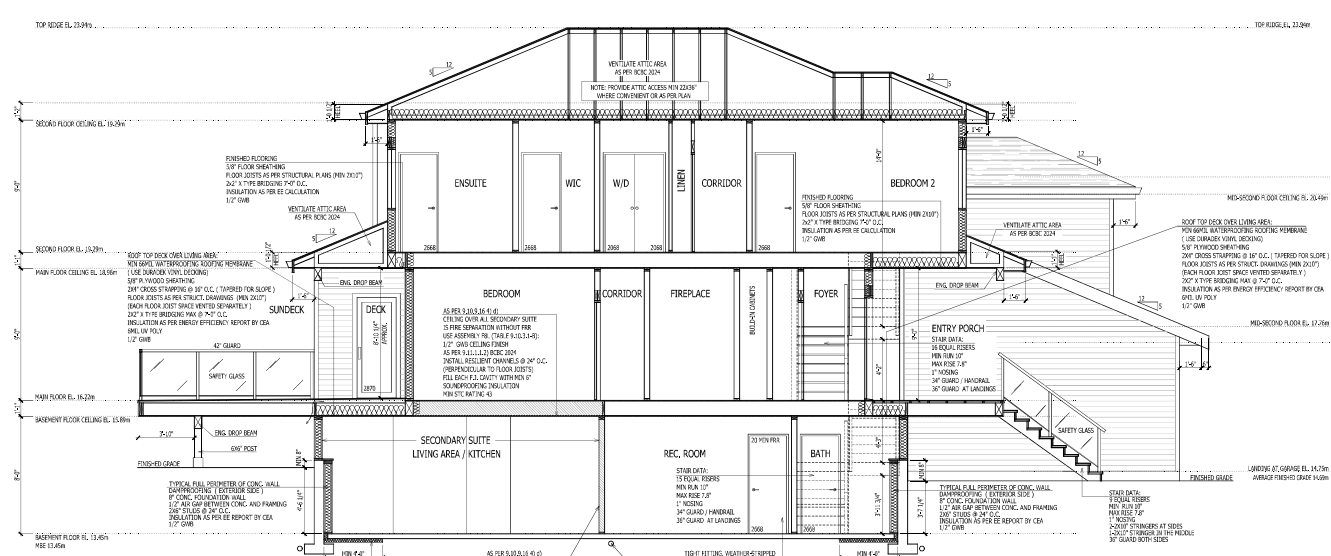
DRAWN BY:
MARIA CARAN, M. Arch.

DATE:
FEBRUARY 2024

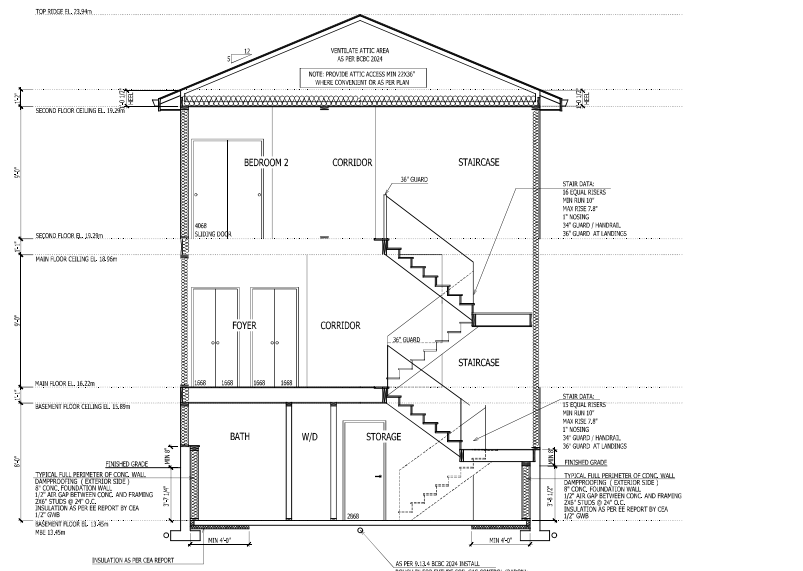
SCALE:
AS NOTED ON PLANS

SHEET TITLE:
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION
DETAILS

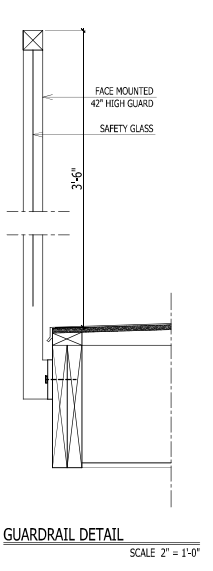
SHEET NO.:
A-4
OF 7 SHEETS



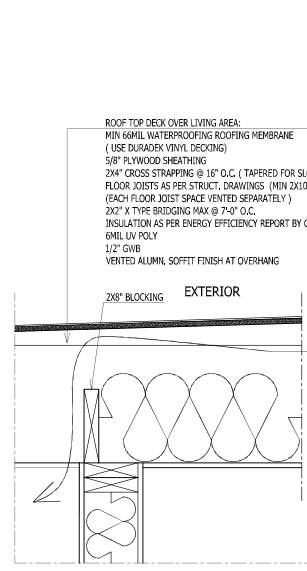
SECTION A-A
SCALE: 1/4" = 1'-0"



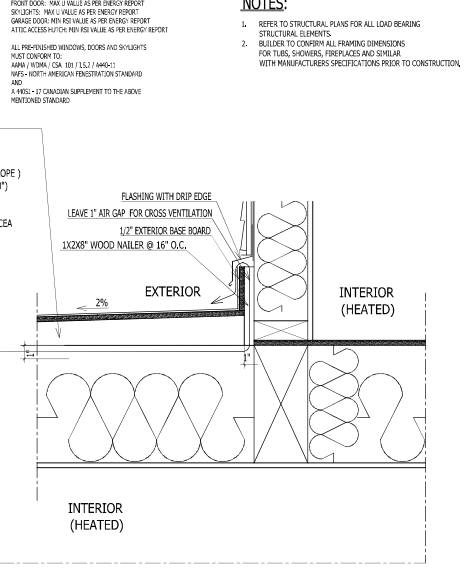
SECTION B-B
SCALE: 1/4" = 1'-0"



GUARDRAIL DETAIL
SCALE 2" = 1'-0"



DECK CONNECTION DETAIL
SCALE 2" = 1'-0"



ROOF TOP DECK - WALL CONNECTION DETAIL
SCALE 2" = 1'-0"

SPECIFICATIONS:

- ROOF:**
FIBERGLASS UNLAMINATED ASPHALT SHINGLES (W/S)
RAISING MEMBRANE (UNDERLAY) MINIMUM (W/S)
1/2" ROOF SHEATHING
ENG. TRUSSES MAX @ 24" O.C.
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEIA (TB)
6MIL LV POLY (AS REQ)
5/8" GWB
- EAVES:**
5" REPTN ALUMN. GUTTER ON
2X12 FROCK BOARD
- ROOF AND ATTIC VENTILATION:**
ATTIC VENTILATION
MIN 1.5% OF INSULATED CEILING AREA
AS PER S1.10 - S10C 2024
SOFFITS PROJECTING 6" OR MORE THAN 4" FROM PROPERTY LINE.
USE COMBINATION OF RIDGE VENTS AND VENTED ALUMN. SOFFIT FINISH
SOFFITS PROJECTING LESS THAN 4" FROM PROPERTY LINE:
USE COMBINATION OF RIDGE VENTS AND DURABLE ROOFING VENTS
SOFFIT TO BE WITH NO OVERHANG AND FINISHED WITH UNVENTED ALUMINUM AS PER S1.03.3, 10 - S10C 2024
- INSULATION:**
RELIATION AS PER ENERGY EFFICIENCY REPORT BY CEIA
REFER TO DOCUMENTATION PROVIDED BY CERTIFIED ENERGY ADVISOR
- HOT WATER EQUIPMENT:**
DOMESTIC HOT WATER SYSTEM AND PIPING TO BE INSTALLED
AS PER ENERGY EFFICIENCY REPORT FROM PANE S.15 IN
BC BUILDING CODE 2024 EDITION
- EXTERIOR WALLS:**
HORIZONTAL FIBRE-CEMENT CEILING OR FIBRE-CEMENT SHINGLES (W/S)
RASH SCREEN VERTICAL STRAPPING
1/2" F. FINISHED @ 12" O.C. (Min Height of the wall, top screen at the bottom)
2" MIN BUILDING PAPER (COULDS APPLIED) OR
VARIOUS PERMISSIBLE BREAKING MEMBRANE (TYVEK OR SIMILAR) (W/S)
1/2" WALL SHEATHING
2X6 STUDS @ 24" O.C.
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEIA (TB)
6MIL LV POLY (AS REQ)
1/2" GWB
- INTERIOR WALLS:**
2X4 STUDS @ 12" O.C.
1/2" GWB BOTH SIDES
SOUNDPROOF INSULATION (marked with only)
- EXTERIOR OPENINGS:**
ALL WINDOW
VINYL DOUBLE GLAZED (88% sp per 88)
FACTORY PREFINISHED COLOR, WAS IN VALUE AS PER ENERGY REPORT
FRONT DOOR: MAX 1/4" GLEAS PER ENERGY REPORT
SCREENS: MAX 1/4" GLEAS PER ENERGY REPORT
GARAGE DOOR: MIN 80% IN USE AS PER ENERGY REPORT
ATTIC ACCESS: MAX 1/4" GLEAS AS PER ENERGY REPORT
ALL PREFINISHED WINDOWS, DOORS AND SLOTTED
NOT GOVERN BY
AMM SYSTEM, CAN 110.1 LAMOST
W45+ NORTH-AMERICAN PENETRATION STANDARD
AND
A MIN 17 CANADIAN SUPPLEMENT TO THE ABOVE
MENTIONED STANDARD

FLOOR:

- FINISHED FLOORING
5/8" FLOOR SHEATHING
FLOOR JOISTS AS PER STRUCTURAL PLANS
2X7 TYPE BRIDGING MAX @ 7'-0" O.C.
1/2" GWB
- STAIRS:**
RUN: MIN 10"
RISE: MAX 7"
FINISH: 1"
3/4" HIGH GUARD / HANDRAIL AT RISES
30" HIGH GUARD AT EXTERIOR LANDINGS
42" HIGH GUARD EXTERIOR LANDINGS
64" MIN HEADROOM OVER LANDINGS
64" MIN HEADROOM OVER LANDINGS

BASEMENT SLAB:

- ENHANCED FLOORING
4" CONC. SLAB (H/ST)
INSULATION AS PER ENERGY EFFICIENCY REPORT BY CEIA (TB)
15#4 POLY - SRAED AND GAS TIGHT (OUGH FN FOR SOIL GAS CONTROL) (AS)
1" MIN COMPACTED GAS PERMISSIBLE GRANULAR FILL
- GARAGE SLAB:**
4" CONCRETE SLAB (P) 4" BELOW TOP OF FOUNDATION
WALL (MIN 1/4" RISE OPTI) (P)
1" MIN COMPACTED GRANULAR FILL
SLOPE CONC. SLAB AT MIN 1/4" IN 12"

FOUNDATION DRAINAGE:

- PREPARED PLASTIC DRAINAGE PIPE (DRAIN DOWN)
MIN 4" LAYED FLAT
TOP AND SIDES COVERED WITH MIN. 6" CRUSSED
STONE OR COARSE GRANULAR MATERIAL

INTERIOR FOUNDATION:

- 2X4 STUDS @ 12" O.C.
8" CONC. FOUNDATION CURB
ENHANCED CONTINUOUS CONCRETE FOOTING

EXTERIOR FOUNDATION:

- 2X4 STUDS @ 12" O.C.
8" CONC. FOUNDATION WALL
ENHANCED CONTINUOUS CONCRETE FOOTING

BEARING:

- ALL FOOTINGS SHOULD BEAR ON UNDISTURBED
NATURAL BEARING MATERIAL
BELOW FINISH LEVEL, (MIN 12" BELOW FINISHED GRADE)

AIRTIGHTNESS:

- USE SEALED POLYETHYLENE METHOD
DETAILS COURAGE 447

NOTES:

- REFER TO STRUCTURAL PLANS FOR ALL LOAD BEARING STRUCTURAL ELEMENTS
- BUILDER TO VERIFY ALL FRAMING DIMENSIONS FOR TUBS, SHOWERS, FIREPLACES AND SIMILAR WITH MANUFACTURERS SPECIFICATIONS PRIOR TO CONSTRUCTION.

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LOT 1

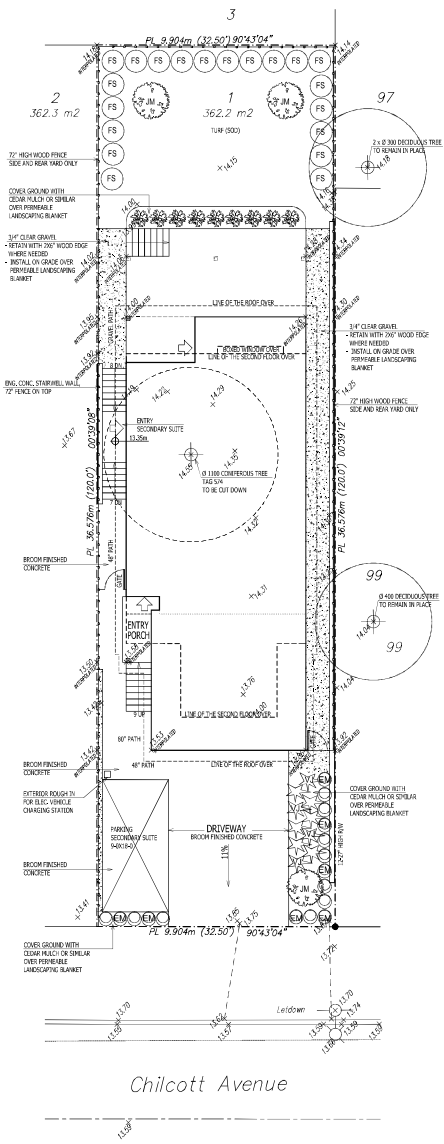
DESIGNER:
NATASHA DORIC, M. ARCH.

DRAWN:
MARCIA CARAN, MARCH.

DATE:
FEBRUARY 2024

SCALE:
AS NOTED ON PLANS

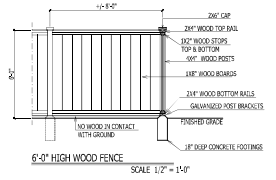
SHEET TITLE:
SPECIFICATIONS
SECTION A-A
SECTION B-B
DETAILS



LANDSCAPING PLAN
SCALE 1/8" = 1'-0"



PROJECT DATA:
LEGAL DESCRIPTION:
LOT 1
RD:
CIVIC ADDRESS:
CHILCOTT AVENUE
PORT COQUITLAM, BC
ZONING: RS-1
NOT IN FLOOD PLANE



PLANT LIST

COMMON NAME	BOTANICAL NAME	SIZE	QTY
EMERALD CEDAR	THUJA OCCIDENTALIS	7 GAL POT	17
UTAH GRENDEL JUNCOPER (GROUND COVER)	LUNIPERUS TANICOLA	#3 POT	10
AUTUMN GAMBELST	FUNARIA ADAMIA	#3 POT	9
HEERING FORESTHIA	FOXYSTYMA SUSPENSIA	#3 POT	20
JAPANESE MAPLE	ACER PALMATUM	6cm GALBERR	3

- LEGEND:**
- PERMEABLE MATERIAL (TOP SOIL)
 - PERMEABLE MATERIAL GRAVEL
 - IMPERMEABLE MATERIAL BUILDINGS OR BROOM FINISHED CONCRETE
 - TREES TO BE RETAINED
 - TREES TO BE CUT DOWN
 - PROTECTIVE BARRIER:**
 - USE PLASTIC SNOW-FENCING
 - SELECT NAILERS TO WOOD POSTS
 - MAXIMUM 4'-0"
- NOTES:**
- DO NOT STORE ANY BUILDING MATERIALS WITHIN THE INNER AREA OF PROTECTIVE FENCE
 - DO NOT ALLOW ANY PEDESTRIAN OR VEHICULAR TRAFFIC WITHIN INNER AREA OF PROTECTIVE FENCE
 - WRAP EXPOSED ROOTS WITH ROOTH CURTAIN (4 INCH FISH OR SIMILAR WITH BURST) AND SUPPORT BY POSTS
 - KEEP POSTS MOIST BY WATERING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD
 - REMOVE ROOT CURTAIN BEFORE BACKFILLING
 - USE TUNNELLING (NO TRENCHING) WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES

CR
commercial - residential
design & drafting

201-2388 WELCHER AVENUE
PORT COQUITLAM, BC V3C 1X5

778 899 0091

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MARDIA CARAN, M.Arch.

DATE
FEBRUARY 2024

SCALE
AS NOTED ON PLANS

SHEET TITLE
LANDSCAPE PLAN

SHEET
A-6
OF 7 SHEETS