

# Development Permit Application for 850 Village Drive (Building P)

## **RECOMMENDATION:**

*That Committee of Council approve Development Permit DP000547 which will regulate the development of a mixed-use building and landscaping at 850 Village Drive.*

## **PREVIOUS COUNCIL/COMMITTEE ACTION**

July 27, 2011 – Smart Growth Committee approved Development Permit DP000107, regulating the development of eight commercial buildings and landscaping on the western portion of 850 Village Drive. This development permit has subsequently been amended a number of times to enable minor changes to individual building and landscape design.

January 11, 2010 – Council adopted Zoning Bylaw, 2008, No. 3630, Amendment Bylaw, 2010, No. 3624 to add Comprehensive Development zone CD31 to permit and regulate a residential/commercial mixed-use development at 803/809 and 850 Village Drive.

## **REPORT SUMMARY**

This report describes a development permit application to permit construction of a five-storey, mixed-use building with apartment residential uses above first floor commercial space (“Building P”) on a vacant site in the Fremont Village commercial complex. The permit would also refine the design and facilitate completion of the adjacent outdoor pedestrian oriented gathering space for the complex known as the “the Heart”. In staff’s opinion, the new building and landscape design continue to conform to the City’s Development Permit Area guidelines; the Triangle/Fremont Village design, sustainability and signage guidelines; and the regulations of the Zoning Bylaw. As designed, the proposed development would enhance the character of the Village and provide for additional commercial visitors and residents to enliven the space; approval is recommended.

## **BACKGROUND**

**Site Context:** The proposed development is located within the 23.7-acre portion of the Fremont Village commercial complex, situated between Lougheed Highway, Sherling Avenue and Fremont Connector. The proposed building would be situated on a vacant portion of land within this complex, generally referred to as the “Building P” site.

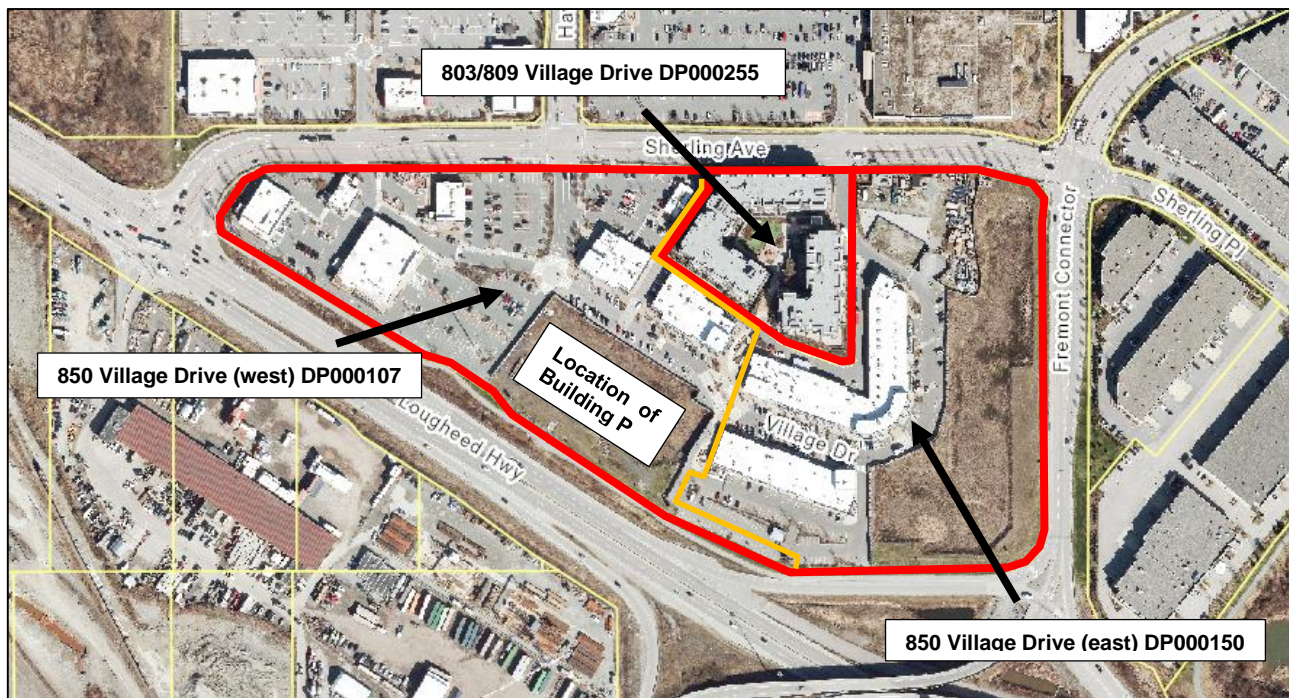
**History:** Comprehensive Development Zone 31 (CD31) was approved in 2010 to facilitate the development of the Fremont Village. The zoning and associated legal agreements contained a number of site-specific regulations and requirements to ensure a coordinated and attractive development in keeping with the proposed vision for a mixed use, pedestrian friendly outdoor mall.

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Development Permits for the west and east portions of 850 Village Drive were subsequently approved to regulate a coordinated design of the intended commercial buildings, landscaping and extensive at-grade parking. The City also approved a development permit to enable development of a two six-storey apartment residential buildings at 803/809 Village Drive.

The western portion of the site was largely constructed in accordance with the approved Development Permit with the exception of the subject Building P site, which has evolved in design and intent several times. A number of building sites on the eastern section of the site also have not yet been constructed and remain vacant.

The City has approved a number of amendments to the CD zone and Development Permit(s) to facilitate changes to building and landscape design, and land uses to accommodate the needs of potential tenants and as a response to changing market demands.



Location Map

**Proposal:** The applicant, Onni Group of Companies, has submitted a new development permit application to facilitate construction of a five-storey, mixed-use residential building with underground and surface level parking and landscaping on the Building P site. This development would supersede the two-story commercial building that was approved in the original development permit (DP000107). The proposal also includes landscape modifications to “the Heart”, the designated outdoor pedestrian oriented gathering space in the Village.

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Rendering of Proposed Building P (northeast corner)

**Policy and Regulations:** The Official Community Plan (OCP) designates the site as Highway Commercial. The site's Comprehensive Development Zone 31 (CD31) zoning regulations provides for highway-oriented commercial uses, limited community commercial uses with size and location restrictions and up to 200 apartment residential uses at 850 Village Drive.

The site is included in the Commercial and Environmental Conservation Development Permit Areas (DPA). The site is also subject to the location specific Triangle Large Format Retail and Mixed-Use Centre DPA guidelines that call for simple, modern building forms accented with decorative weather protection and signage that alludes to industrial and railway imagery. The guidelines further note that substantial on-site landscaping is to be planned in a comprehensive manner to minimize the visual impact of parking areas from public streets, reduce the urban heat island effect of large paved surfaces and promote pedestrian accessibility between parking areas, buildings and neighbouring parcels.

The Environmental Conservation DPA objectives and guidelines encourage sustainable development and building design; efficient use of energy, water and other resources; and, reduction of waste and pollution.

As a condition of the 2010 rezoning, a number of complimentary site-specific design, sustainability, and signage guidelines were registered on the property title as restrictive covenants. These include:

- The Triangle Design Guidelines which are premised upon a historic railway/warehouse theme and were crafted to ensure a level of consistency of development throughout the Fremont Village. These guidelines provide both broad and specific design principles which



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apply to parcel planning, landscaping and building design. They include a catalogue of suggested design elements such as canopies or awnings and the use of brick or stone materials, as well as coloured panels and banding to create a coordinated and interesting environment for shopping, working and living. They are meant to be interpreted and allow for creative architectural responses which will develop a sense of place for the Fremont Village.

- *The Triangle Sustainable Development Strategy (SDS)* sets a number of sustainability goals including reduction of energy and water consumption, stormwater management, provision of bicycle parking, reduction of heat island effect and light pollution, and the reduction of waste through recycling; these are now largely addressed through more recent updates to the British Columbia Building Code (e.g. energy and water conservation measures) and the City's Environmental Conservation DPA.
- *The Fremont Village Signage Guidelines* work in conjunction with the Port Coquitlam Sign Bylaw and provide a set of parameters to ensure consistency throughout the Fremont Village.

### Project profile:

	Bylaw Regulations <sup>1</sup>	Proposed Building P <sup>2 3</sup>
Site area minimum	-	85,220 m <sup>2</sup>
Floor area ratio	-	0.6 FAR
Dwelling units (max)	200	198
Adaptable units	30% (60 units)	30% (60 units)
Family Friendly units	-	26% (52)
Building lot coverage (max)	50%	41%
Building height (max)	19 m	18.8 m
Setback		
Front (Sherling Ave)	9.0 m	~85 m
Rear (Lougheed Hwy)	9.0 m	11.5 m
Fremont Connector	9.0 m	~200 m
Parking (total)	437	471
Commercial	121	140 (115 underground + 25 at grade)
Resident parking	269	291
Visitor Parking	40	40
Small car (25% max)	118	58
Loading space	3	3
Indoor amenity space	396 m <sup>2</sup>	416 m <sup>2</sup>
Outdoor open space	-	734 m <sup>2</sup>

<sup>1</sup> Refer to the Zoning, Parking and Development Management and Building and Plumbing bylaws for specific regulations

<sup>2</sup> Information provided by applicant

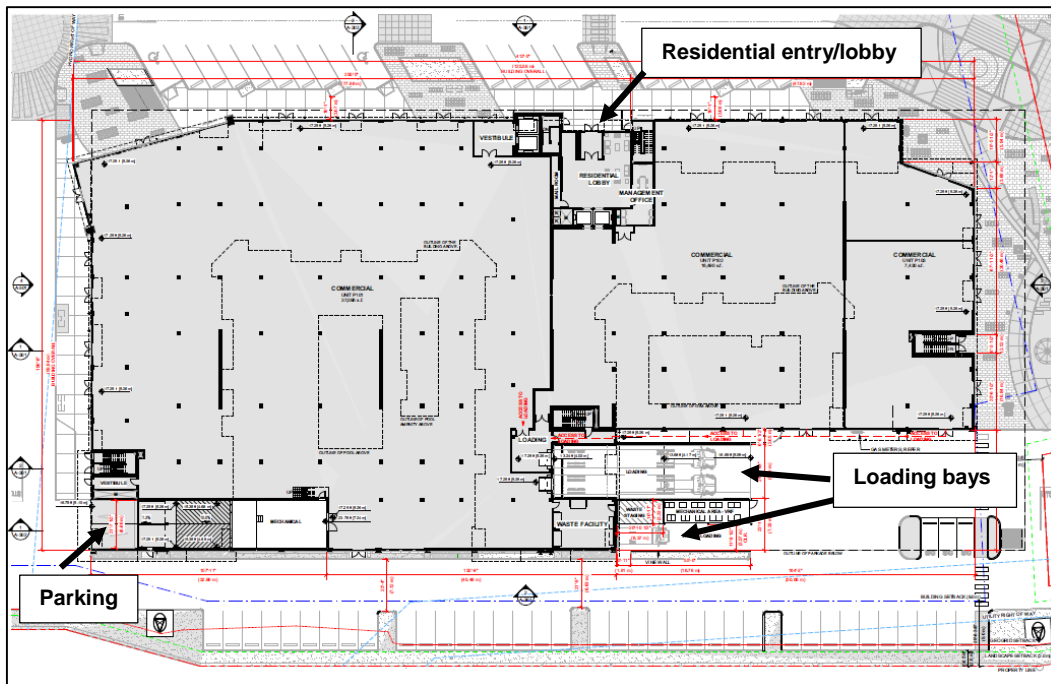
<sup>3</sup> Project information includes regulations specific to the building and overall site development where applicable.

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	Bylaw Regulations <sup>1</sup>	Proposed Building P <sup>2 3</sup>
Bicycle parking		
Long-term (bike room)	116	132
Short-term (bike rack)	6	6

**Building Description:** The proposed development consists of a commercial/residential mixed-use building with 5,668 m<sup>2</sup> (61,005 ft<sup>2</sup>) of commercial space on the ground floor and 198 residential apartments on the 2nd through 5th floors. The apartment units consist of 12 one-bedroom, 130 one-bedroom plus den, 4 two-bedroom, 20 two-bedroom plus den, and 32 three-bedroom units which vary in size from 47 m<sup>2</sup> (506 ft<sup>2</sup>) to 111 m<sup>2</sup> (1,200 ft<sup>2</sup>). The design indicates the commercial space will initially be demised into four units but could be future demised into smaller units of various sizes.

The building is designed to orient commercial units north along Village Drive, east towards “the Heart” and west towards the adjacent Shoppers Drug Mart parking lot. The main resident entrance is provided by a prominent entry located near the middle of the building along Village Drive.



Site plan (showing ground level commercial, residential entrance, parking entrance and loading bays)

Vehicle access is proposed on the west side of the building and provides for two levels of underground parking. The upper parking level includes both commercial and residential (mainly visitor) parking, and the lower level is entirely for residential parking. Residential storage and bicycle storage are located in secure rooms on both levels. The proposed parking spaces exceed both the number of commercial and resident spaces required by the Parking and Development Management Bylaw. The applicant has also exceeded the number of secure bicycle storage spaces required by the CD31 zone.

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Resident garbage and recycling facilities are located within the parkade and a staging area for the bins for pickup days is located at the rear of the building adjacent to the commercial garbage and recycling storage area for ease of pick up by service vehicles. Three loading bays are located near the southeast corner of the building with interior access to the two large principle commercial units. The loading will be screened from Lougheed Highway by a landscape strip incorporating green screens, trees and shrubs.

The applicant has proposed a number of common indoor amenity spaces to meet the social, work and recreational needs of the future residents. These spaces include a lounge/party room and games room adjacent to the west second-floor outdoor amenity courtyard, a gym and a co-working room located in the east second-floor courtyard. The applicant has also proposed a dog wash station and bicycle workshop as an added amenity and has equipped a visitors parking space with water and drainage for use as a resident carwash station in the underground.

While not required by zoning, the proposal also includes two resident outdoor amenity spaces on the second floor, including a pool and hot tub, a pool house (washrooms, showers and change rooms), seating, a child's play area, outdoor kitchens and dining tables.

The proposed building has been designed with an architectural character consistent with other buildings in the Fremont Village and includes a generous amount of brick and fibre-cement panels in a mixture of colours with wood soffit accents and aluminum and glass balcony railings. The ground floor commercial space has ~18ft tall ceilings and substantial storefront glazing for high exposure.

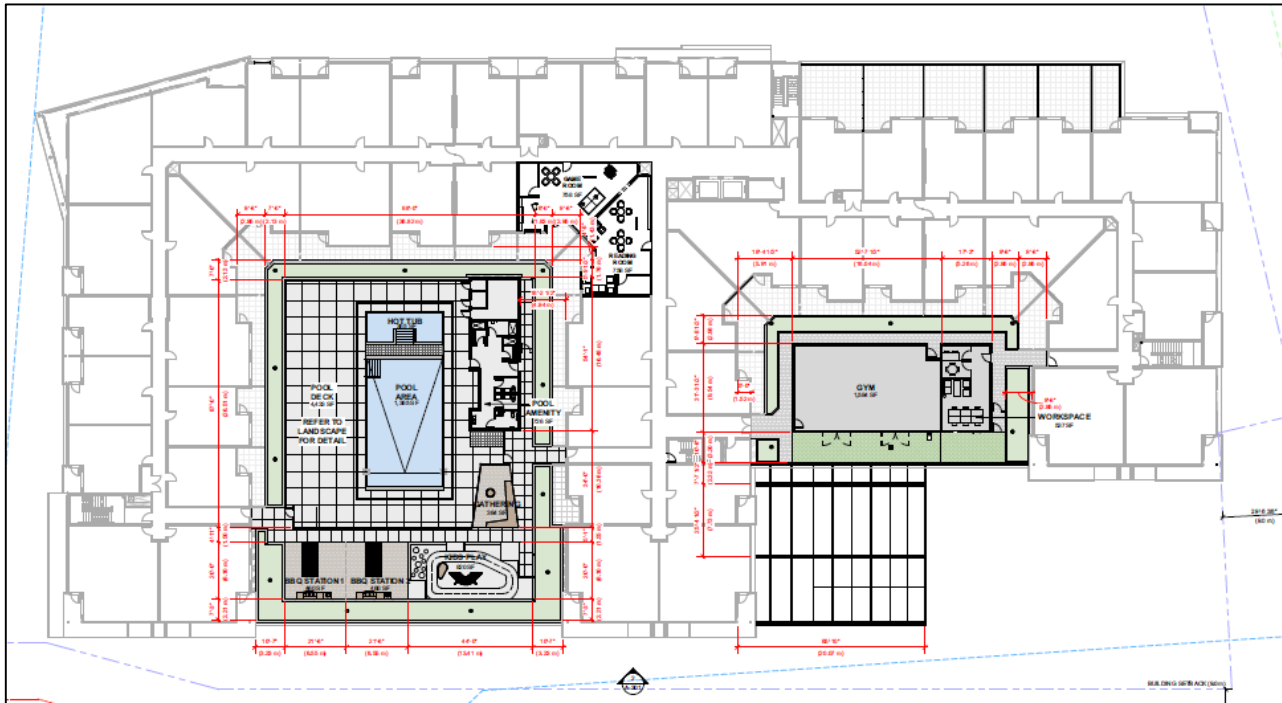


Materials board with cladding materials labeled

Steel and glass canopies are proposed along the majority of the building's commercial storefront (east, west and north sides) to provide architectural interest and weather protection for pedestrians.

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Building articulation is to be achieved through varied setbacks, stepping back of the residential floors and through the use of variations in cladding material, colour and architectural elements.



**Second floor indoor/outdoor resident amenities**

The proposed grade level landscaping is intended to beautify and soften the edges of the building and continue the landscape character of the surrounding Fremont Village. The landscaping associated with the building will include a mixture of 80 trees, 1,092 shrubs, and 1,838 ground cover, grasses, perennial and vine plants. The applicant has also proposed the installation of green rooves on both the pool shower/change room and the gym/co-work buildings which use sedum (moss) mats and a mixture of hardy, drought tolerant plants.

The project is designed to comply with the environmental conservation area designation by meeting the City's energy step code requirements to improve energy efficiency, use of light colour roofing materials and installation of a green roof for select portions of the building, energy star rated appliances, high-performance windows, timer and sensor controlled light systems, LED lighting, high quality glazing, EV charging rough-in for parking spaces, bicycle storage, a high-efficiency irrigation system with rain sensors, low-flow plumbing fixtures, and low VOC paints and adhesives. A complete list of conservation measures is provided in Schedule A of the draft development permit.

The Triangle Sustainable Development Strategy requires the applicant to provide a report from a qualified professional confirming the development meets the goals, requirements and targets of the Strategy prior to building permit issuance.



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### Proposed landscape updates to the Heart:

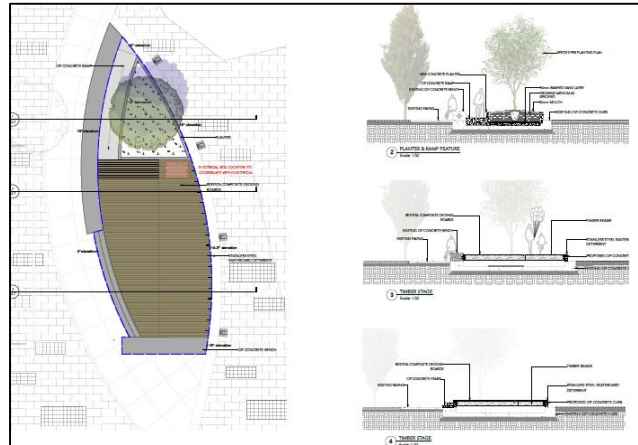
The vision of Fremont Village commercial complex centered around the related concepts of a pedestrian friendly outdoor “village” street, and a lively, community gathering plaza – the “Heart”, which is located directly adjacent of the Building P development site and extends north to the other side of Village Drive.

In order to ensure this concept was implemented, the CD31 zone stipulates the development must provide a 1500 m<sup>2</sup> common outdoor amenity space developed with a combination of landscaping, seating, pedestrian lighting, public art, and performance space.

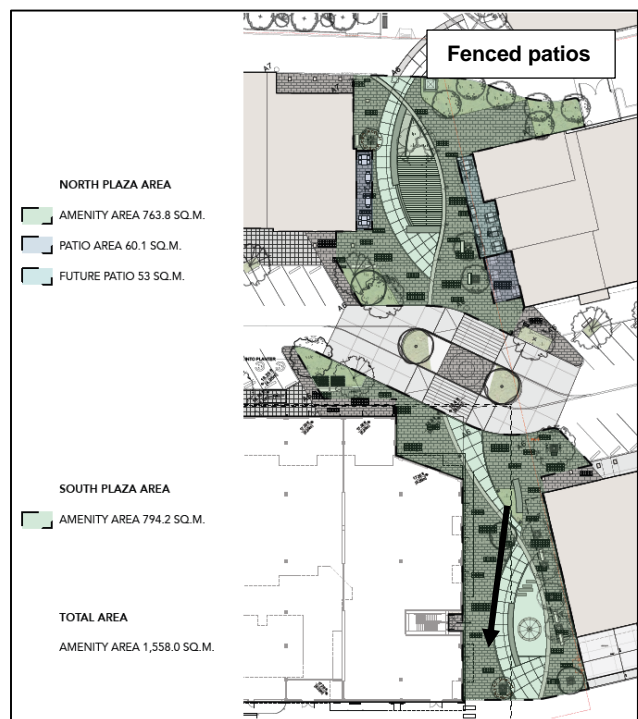
The current design of the Heart was approved in the original Development Permit; it was quite large (1,671 m<sup>2</sup>) and included two central water features connected across Village Drive and substantial hard and soft landscaping. Unique elements were to include inlaid railway rails, custom concrete benches, stepping stones across the water features, vertical bent rail and wood light features, and curvilinear flush concrete banding within coloured feature paving and fields of unit pavers.

The Heart has been substantially completed in accordance with the approved design, however the applicant has identified several design changes intended to increase functionality and encourage use. This includes removing the reflecting pool north of Village Drive in favour of a raised performance stage and additional landscaping. The applicant has also proposed adding more seating, and installing a flag pole to the reflecting pond south of Village Drive (adjacent to subject site).

Staff note that over the years, Onni has permitted tenants in units adjacent to the Heart to fence off space for their exclusive use (primarily restaurant seating areas). This has resulted in the reduction of the common area to 1,558 m<sup>2</sup>, which still meets minimum bylaw requirements, but is significantly



Proposed performance stage and landscaping



Reduction of common outdoor space



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(113 m<sup>2</sup> or 1,216 ft<sup>2</sup>) smaller than the original design. Staff support the provision of patios and encouraged the applicant to consider increasing the setback of Building P from the Heart to provide further opportunities for exclusive outdoor seating without impacting the size of the common Heart space, however the applicant noted this would have an untenable impact on the building design. Accordingly, there will be minimal opportunity for these commercial units to have exclusive outdoor seating or display.

### **DISCUSSION**

The proposed building and landscaping generally comply with the regulations of the City's Zoning Bylaw and meet the intent of the Commercial and Environmental Conservation DPA objectives and guidelines. The proposed building and landscape design are also generally consistent with the Triangle/Fremont Village design, sustainability and signage guidelines.

The addition of commercial units will add to the character of the street and reduce the negative impacts associated with the vacant space, and promote additional visitors and customers to the village complex. By incorporating the remaining residential units permitted by the CD31 zone, the new building design will provide 198 new households in proximity to the commercial uses in the Fremont Village, improving the vitality of the Village. The changes to the Heart will help enliven the space, improve functionality and opportunities to program the use.

It is staff's opinion the development would be attractive and consistent with the expected quality of character of the Fremont Village. Approval of the development permit is recommended.

### **FINANCIAL IMPLICATIONS**

Construction of the subject building and landscaping will increase property tax revenue.

### **PUBLIC CONSULTATION**

A sign notifying residents of the development permit application was posted on the site March 21, 2023; Planning staff have not received any input specific to the building and landscaping design.


Staff conducted a site visit on March 4, 2025, to ensure that the sign is in good standing on the subject property.



Sign facing Village Drive

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### **OPTIONS** (✓ = Staff Recommendation)

	#	Description
	1	Approve Development Permit DP000547.
	2	Request additional information or amendments if Committee is of the opinion that such information or amendments would assist in its evaluation of how the design complies with the CD31 zone, development permit area, and site specific Triangle/Fremont Village guidelines.
	3	Recommend rejection of the application if Committee is of the opinion the application does not conform with the CD31 zone, development permit area, and site specific Triangle/Fremont Village guidelines.

### **ATTACHMENTS**

Attachment 1 - Draft Development Permit DP000547.

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