

THE CORPORATION OF THE CITY OF PORT COQUITLAM
“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT PERMIT

NO. DP000547

Issued to: 0697788 B.C. LTD., INC. NO. BC0697788
(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: SUITE 200 - 1010 SEYMOUR STREET, VANCOUVER, BC, V6B 3M6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this Permit.
2. This Development Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

Address: 850 VILLAGE DRIVE

Legal Description: LOT 3 SECTION 8 BLOCK 6 NORTH RANGE 1 EAST NEW
WESTMINSTER DISTRICT PLAN BCP45149 EXCEPT: PLAN BCP49178

P.I.D.: 028-269-942

3. The above property has been designated as a Development Permit Area under Section 9.0 – Development Permit Area in the “Official Community Plan Bylaw, 2013, No. 3838”.
4. “Port Coquitlam Zoning Bylaw, 2008, No. 3630” and “Parking and Development Management Bylaw, 2018, No. 4078” are varied, supplemented or both in accordance with the following:
 - a. The form and character of the building, including the siting, height and general design, shall be as shown on drawings numbered DP000547 (1) to DP000547 (48) which are attached hereto and form part of this permit.
 - b. The form and character of on-site landscaping shall be as shown on drawings numbered DP000547 (18) and DP000547 (48) and the following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto.

(ii) All planting materials shall be able to survive for a period of one year from the date of the site landscape approval by the Municipality.

c. The building and landscaping shall provide the energy conservation, water conservation and GHG emission reduction elements as shown on Schedule A to the drawings which are attached hereto and form part of this permit.

5. Landscape Security

(a) As a condition of the issuance of this permit, the security set out below will be held by the Municipality prior to the issuance of a building permit to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clause 4 above. There is filed accordingly an irrevocable Letter of Credit or cash security in the amount \$624,677.90 for the purpose of landscaping.

(b) Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. A condition of the posting of the security is that should the Permittee fail to carry out the works or services as hereinabove stated, according to the terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by its servants, agents or contractors, and any surplus shall be paid over to the Permittee.

(c) The Permittee shall complete the landscaping works required by this permit within six months of the final inspection for the final phase of the development. Within the six month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within the six month period, the Municipality has the option of continuing to hold the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping, and recoup additional costs from the Permittee if necessary. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

(d) Should the Permittee carry out the works and services permitted by this permit within the time set out above, the security shall be returned to the Permittee.

6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit, which shall form a part hereof.

7. This permit shall lapse if the Permittee does not substantially commence the construction permitted by this permit within two years of the (issuance) date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

APPROVED BY THE COMMITTEE OF COUNCIL THE ____ DAY OF _____, 2025.

SIGNED THIS ____ DAY OF _____, 2025.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND
CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or
Representative of Applicant)

Fremont Village Mixed-Used Development



FREMONT VILLAGE
SHOPPING CENTRE

PARCEL C - BUILDINGS P - RESIDENTIAL/MIXED USE/AMENITY

OCT.30.2024 - REISSUED FOR DEVELOPMENT PERMIT

CITY OF PORT COQUITLAM
RECEIVED - PLANNING

NOV 05 2024

FILE: DP000547

LIST OF CONTACTS

ARCHITECT

MGBA - MALLEN GOWING BERZINS ARCHITECTURE INC.
c/o Christopher Gowing, Architect AIBC
#300 - 7 EAST 6TH AVENUE
VANCOUVER, B.C.
tel. 604-684-8285
gowing@mgba.com

CIVIL

APLIN & MARTIN CONSULTANTS LTD
c/o Brian Sung, P.Eng.
#1818 - 1177 WEST HASTING STREET
VANCOUVER, B.C.
tel. 604-678-0434
bsung@aplinmartin.com

DEVELOPER

ONNI GROUP
c/o Rodney Rao
#200 - 1010 SEYMOUR STREET
VANCOUVER, B.C.
tel. 604-623-7513
rao@onni.com

LANDSCAPE ARCHITECT

DAVID STOYKO LANDSCAPE ARCHITECT
c/o David Stoyko
2880 - 6TH EAST AVENUE
VANCOUVER, B.C.
tel. 604-720-0048
david@dauidstoyko.com

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MGBA
MALLEN GOWING BERZINS
ARCHITECTURE INCORPORATED

ARCHITECTURE • INTERIOR DESIGN
288 - 7 EAST 6TH AVENUE, VANCOUVER, B.C. CA
1728 GOVERNMENT STREET, VICTORIA, B.C. CA
MGBA.COM INFO@MGBA.COM 1.800.848.8888

onni
LIFE GROUPS

FREMONT VILLAGE
SHOPPING CENTRE

REGISTERED PROFESSIONAL
2024-10-30
B.C. ARCHITECT

KAL - CENTRE PROFESSIONAL

NO.	DESCRIPTION	DATE
1	COVER SHEET	2024-10-30
2	PROJECT INFORMATION	2024-10-30
3	CONTEXT	2024-10-30
4	SITE PLAN	2024-10-30
5	LEVEL P2 FLOOR PLAN	2024-10-30
6	LEVEL P1 FLOOR PLAN	2024-10-30
7	LEVEL 1 FLOOR PLAN	2024-10-30
8	LEVEL 2 FLOOR PLAN	2024-10-30
9	LEVEL 2 - AMENITY FLOOR PLAN	2024-10-30
10	LEVEL 3-5 FLOOR PLAN	2024-10-30
11	LEVEL 3 - AMENITY FLOOR PLAN	2024-10-30
12	ROOF PLAN	2024-10-30
13	SECTIONS	2024-10-30
14	ELEVATIONS	2024-10-30
15	PERSPECTIVE IMAGES	2024-10-30
16	MATERIAL BOARD	2024-10-30
17	SUITES ENLARGED PLAN	2024-10-30
18	SUITES ENLARGED PLAN	2024-10-30
19	SUITES ENLARGED PLAN	2024-10-30
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ONNI GROUP
FREMONT BUILDING P
850 VILLAGE DRIVE, PARCEL C
PORT COQUITLAM, BC
V3B 6G9

COVER SHEET

DATE: OCT.30.2024
PROJECT: 23003

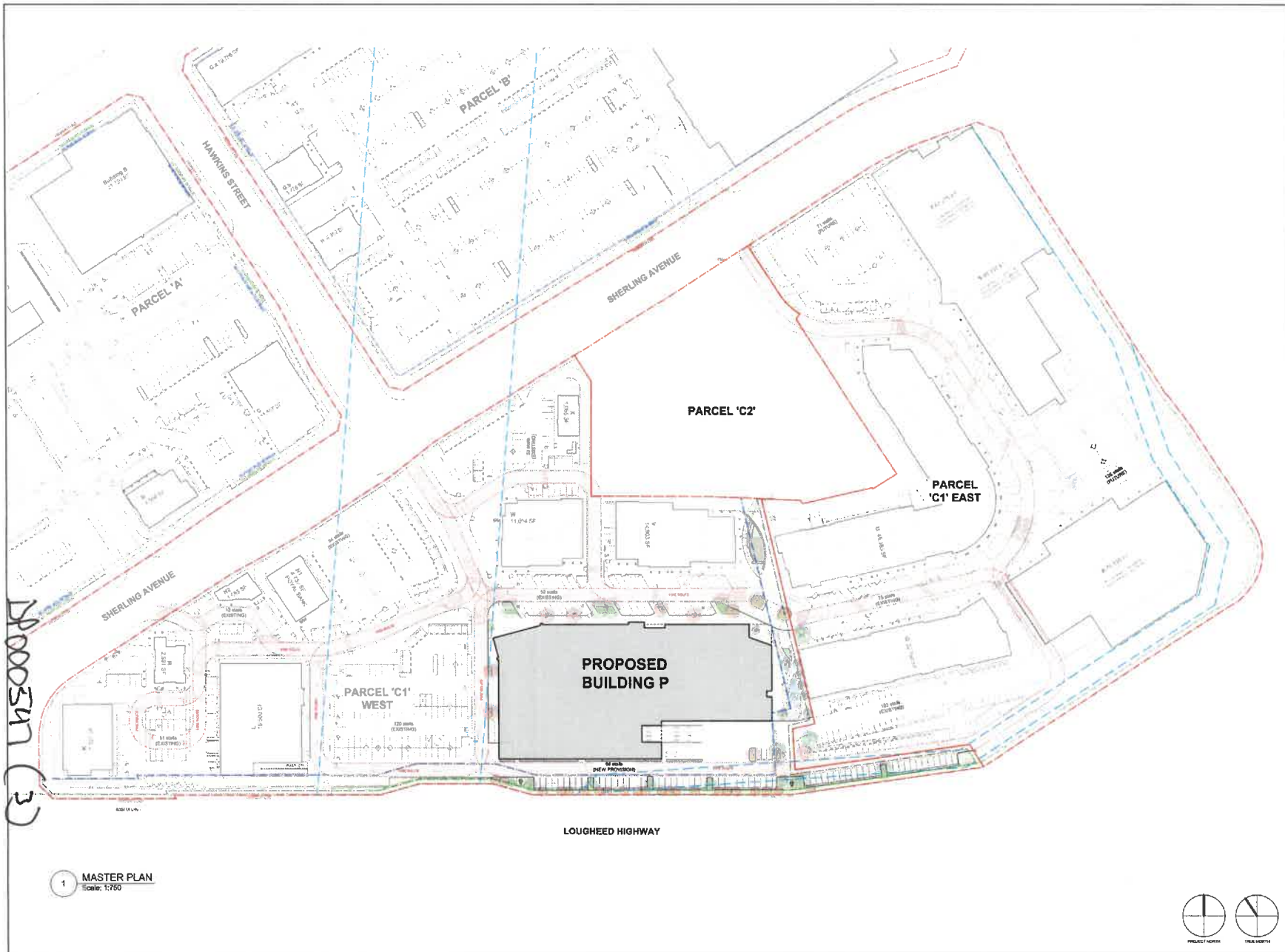
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TABLE 1

BUILDING STATS			
HEIGHT	Required	Provided	
Building height (to top of roof)	18.0 m	18.0 m	
SEWAGE			
Flow (m³/s)	Required	Provided	
Enter (to 1st floor)	8.0 m	4.0 m (10)	
Enter (to 2nd floor)	8.0 m	4.0 m (10)	
Enter (to 3rd floor)	8.0 m	4.0 m (10)	
Enter (to 4th floor)	8.0 m	4.0 m (10)	
Enter (to 5th floor)	8.0 m	4.0 m (10)	
AREA BREAKDOWN			
Level 1			
Residential - Dwelling units	0 m²	0 m²	
Residential - Common	1,800 sq ft	149 sq m	
Commercial - Units	81,365 sq ft	5,665 sq m	
Commercial - Common (Stairs, mechanical, etc.)	5,987 sq ft	552 sq m	
Total Gross Area	88,352 sq ft	6,147 sq m	
Level 2			
Residential - Dwelling units	35,294 sq ft	3,275 sq m	
Residential - Common	8,256 sq ft	767 sq m	
Total Gross Area	43,550 sq ft	4,042 sq m	
Level 3			
Residential - Dwelling units	27,296 sq ft	2,486 sq m	
Residential - Common	5,112 sq ft	476 sq m	
Total Gross Area	32,408 sq ft	3,002 sq m	
Level 4			
Residential - Dwelling units	37,328 sq ft	3,469 sq m	
Residential - Common	5,112 sq ft	476 sq m	
Total Gross Area	42,440 sq ft	3,945 sq m	
Level 5			
Residential - Dwelling units	37,328 sq ft	3,469 sq m	
Residential - Common	5,112 sq ft	476 sq m	
Total Gross Area	42,440 sq ft	3,945 sq m	
TOTAL GROSS AREA	210,430 sq ft	22,357 sq m	
AREA DRIVING TOTAL			
Residential			
Dwelling Units	147,232 sq ft	13,676 sq m	
Common	28,313 sq ft	2,630 sq m	
Total	175,545 sq ft	16,306 sq m	
Commercial			
Units	81,055 sq ft	5,005 sq m	
Common	5,987 sq ft	552 sq m	
Total	87,042 sq ft	8,057 sq m	
GRAND TOTAL	172,445 sq ft	16,299 sq m	
Residential	147,232 sq ft	13,676 sq m	
Commercial	28,313 sq ft	2,630 sq m	
Total	175,545 sq ft	16,306 sq m	
AMBIENT SPACES			
Enclosed spaces (L2)	4,477 sq ft	416 sq m	
Open spaces (L2)	7,608 sq ft	704 sq m	
Total	12,085 sq ft	1,120 sq m	
PARKING			
(1) Parking System (No. 4015) - Section B			
REQUIREMENT			
Residential			
Dwelling units (1 bed)	142 units	1.5 unit	155 spaces
Dwelling units (2 bed +)	56 units	1.5 unit	84 spaces
Other	135 units	1.5 unit	203 spaces
Total Residential			300 spaces
Commercial			
Commercial units	8,055 sq ft	1.47 sq ft	121 spaces
Total Required - Building P			428 spaces
Lot C2			
Parking (to be determined)			428 spaces
Grand Total Required			478 spaces
PROPOSED PARKING BREAKDOWN			
Underground P2			
Residential	235 spaces		
Table P2	235 spaces		
Underground P1			
Residential	65 spaces		
Residential Visitors	65 spaces		
Commercial	115 spaces		
Total P1	245 spaces		
Surface Parking (Lot 20)			
Commercial	25 spaces		
Lot C2 (P1)	45 spaces		
Lot C2 (P2)	95 spaces		
Total (P1)	165 spaces		
PROPOSED PARKING GRAND TOTAL			643 spaces
BICYCLE PARKING			
(1) Bicycling System (No. 3424) - Section B (1)			
Residential			
Dwelling units	139 units	1.27 units	181 spaces
Total Required			181 spaces
Total Provided (P1)			181 spaces

TABLE 2

BUILDING STATS											
Level	Type	Area	Volume	Height	Area	Volume	Height	Area	Volume	Height	Area
Unit	1	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	2	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	3	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	4	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	5	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	6	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	7	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	8	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	9	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	10	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	11	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	12	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	13	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	14	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	15	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	16	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	17	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	18	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	19	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	20	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	21	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	22	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	23	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	24	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	25	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	26	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	27	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	28	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	29	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	30	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	31	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	32	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	33	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	34	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	35	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	36	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	37	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	38	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	39	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	40	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	41	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	42	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	43	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	44	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	45	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	46	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	47	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	48	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	49	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	50	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	51	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	52	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	53	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	54	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	55	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	56	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	57	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	58	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	59	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	60	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	61	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	62	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	63	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	64	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	65	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	66	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	67	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	68	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	69	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	70	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	71	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	72	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	73	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	74	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	75	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	76	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	77	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	78	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	79	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	80	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	81	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	82	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	83	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	84	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	85	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	86	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	87	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	88	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	89	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	90	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	91	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	92	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	93	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	94	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	95	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	96	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	97	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	98	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft	1,000 cu ft	10 ft	1,000 sq ft
Unit	99	1,000 sq ft	1,000 cu ft	10 ft	1						



MGBA
MALLEN GOWING BERZINS
ARCHITECTURE INCORPORATED
ARCHITECTURE • INTERIOR DESIGN
308 - 7 EAST 8TH AVENUE, VANCOUVER, BC, CA
1728 GOVERNMENT STREET, VICTORIA, BC, CA
MGBA.COM P: 604.685.0000 F: 604.685.0001

onni
GROUP



FREMONT VILLAGE
SHOPPING CENTRE



MGBA - ARCHITECT

MGBA - CIVIL/ENGINEERING

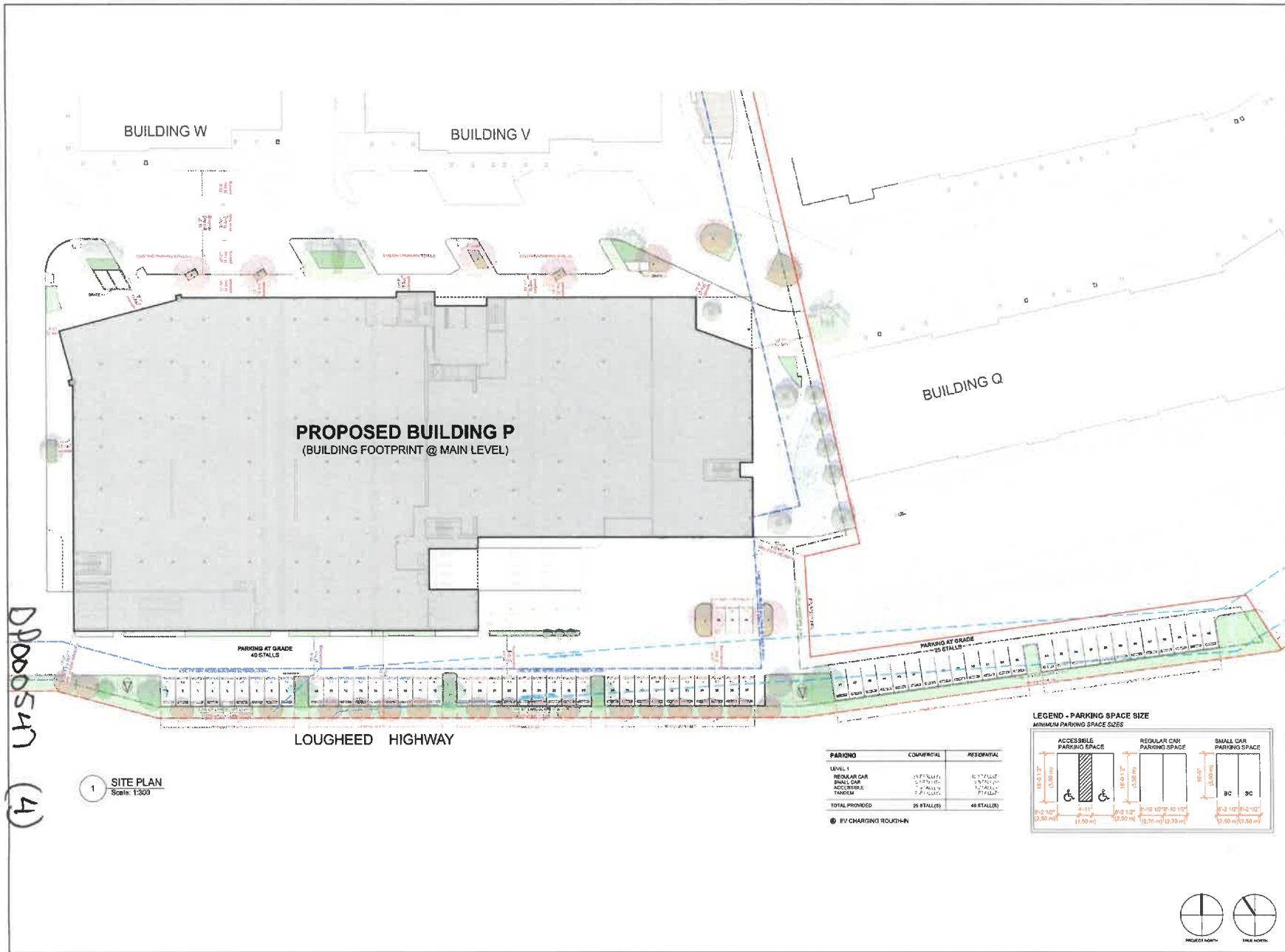
NO.	DESCRIPTION	DATE	BY	CHECKED
1	Issue for Review	2024-10-30	MGBA	

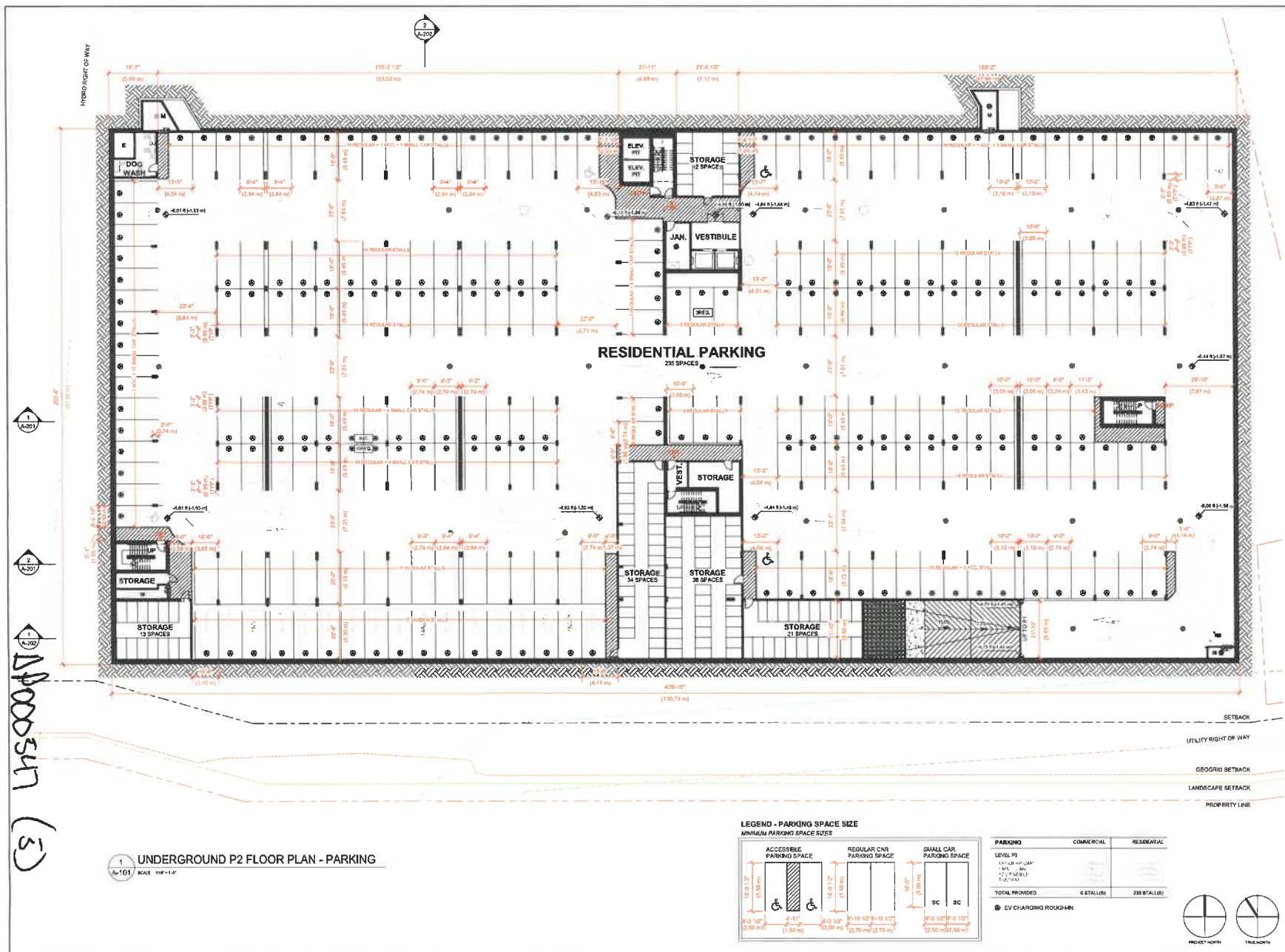
OWNERS AND APPLICANTS: ALL INFORMATION ON THIS DRAWING IS THE PROPERTY OF MGBA. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MGBA. ANY VIOLATION OF THIS NOTICE IS A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE ENGINEERING REGULATIONS.

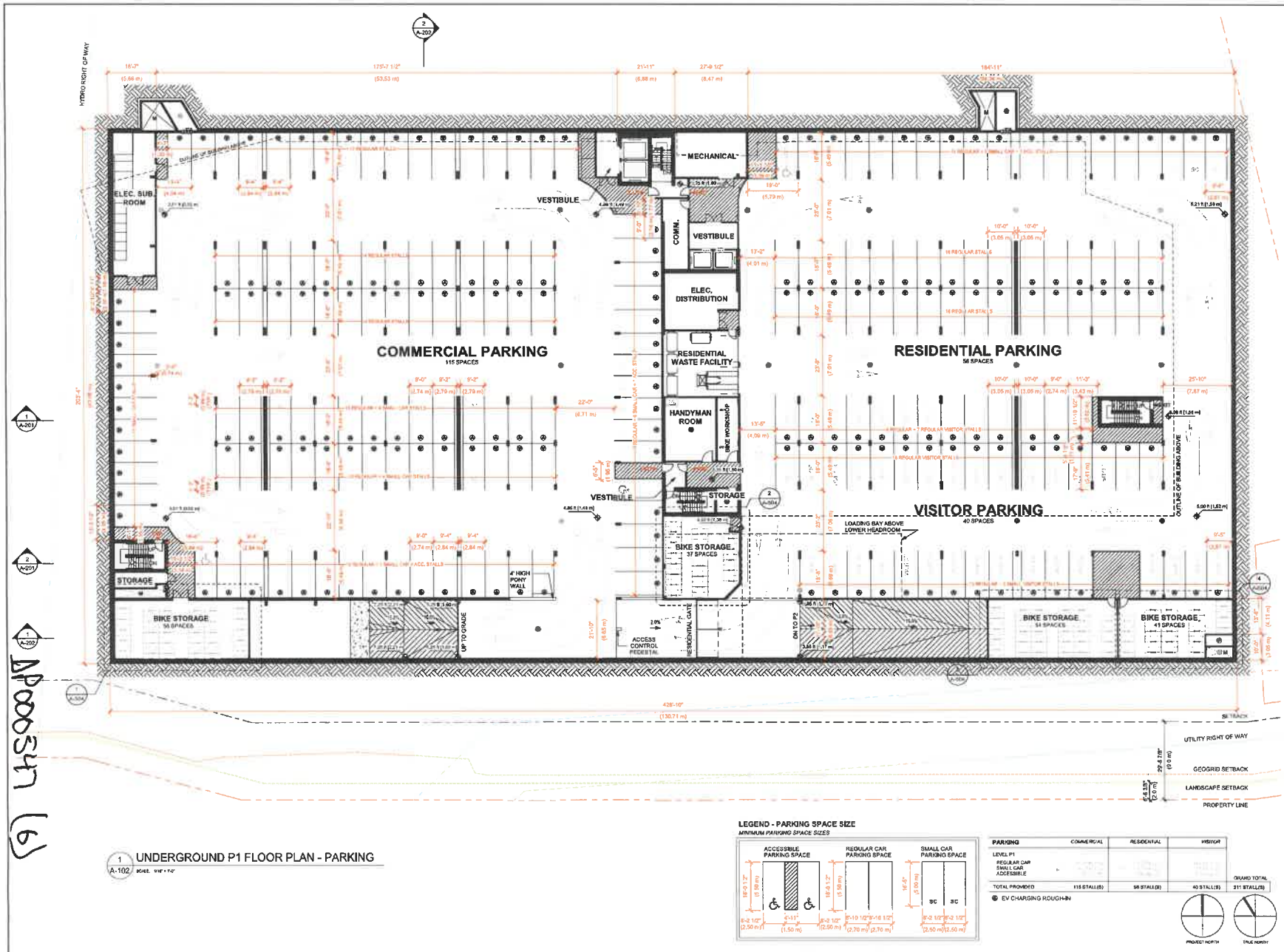
ONNI GROUP
FREMONT BUILDING P
850 VILLAGE DRIVE, PARCEL C
PORT COQUITLAM, BC
V3B 0G9

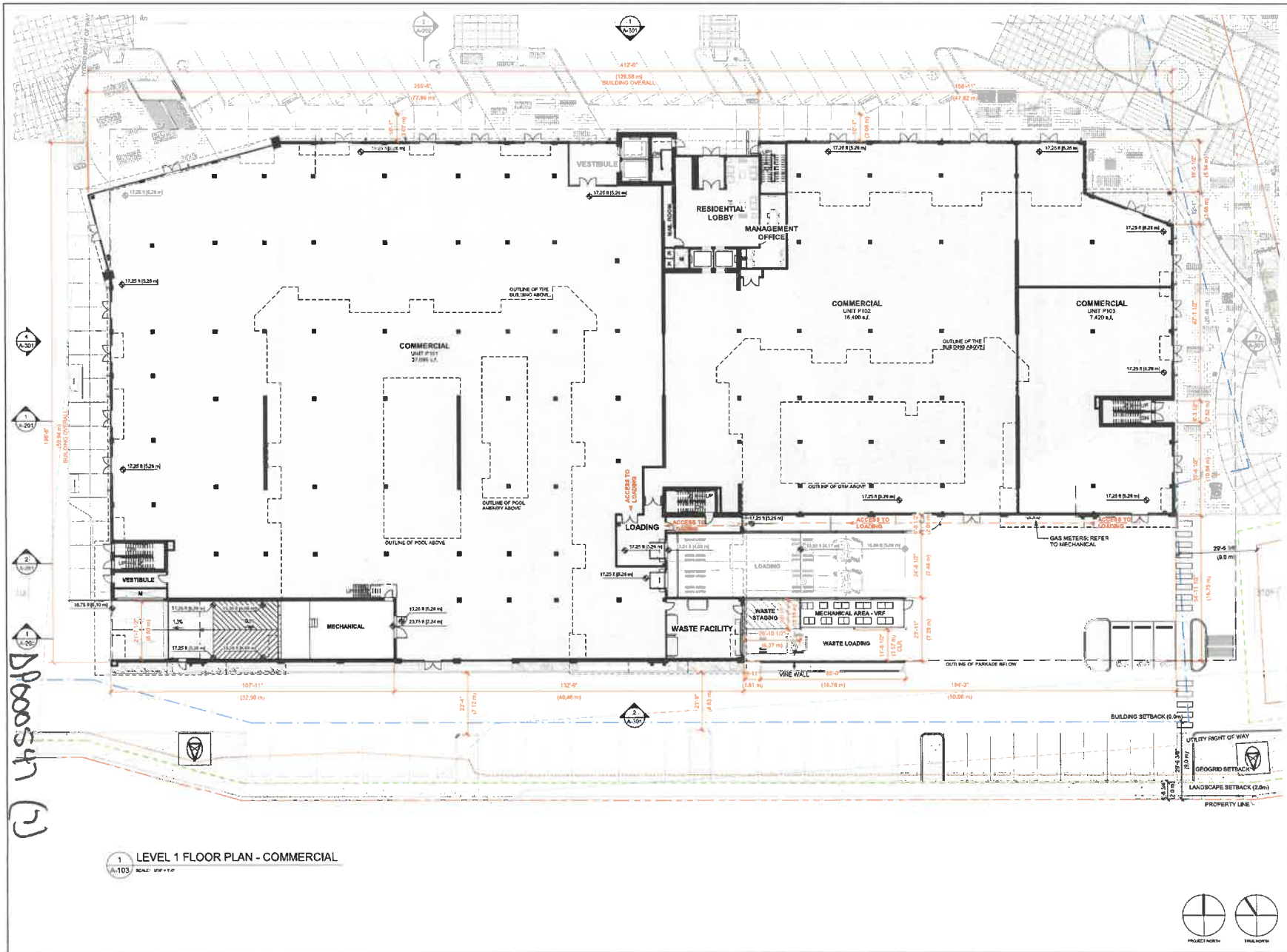
CONTEXT

DATE	OCT.30.2024	23003
SCALE	12" = 1'-0"	
PROJECT	A-002	5









MGBA
MALLEN GOWING BERTZINS
ARCHITECTURE INCORPORATED
ARCHITECTURE • INTERIOR DESIGN
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1728 GOVERNMENT STREET, VICTORIA, BC, CA
MGBA.COM INFO@MGBA.COM T: 800 484 2855

onni
group



**FREMONT VILLAGE
SHOPPING CENTRE**



SEAL - CERTIFIED PROFESSIONAL

DESIGNER AND SPECIFICATIONS: AS REPRESENTATIVE OF
OWNER, AND THE PROPERTY OF THE CITY OF VICTORIA, BRITISH COLUMBIA, CANADA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATIONS OF THE BUILDING AND THE DESIGN OF THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATIONS OF THE BUILDING AND THE DESIGN OF THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

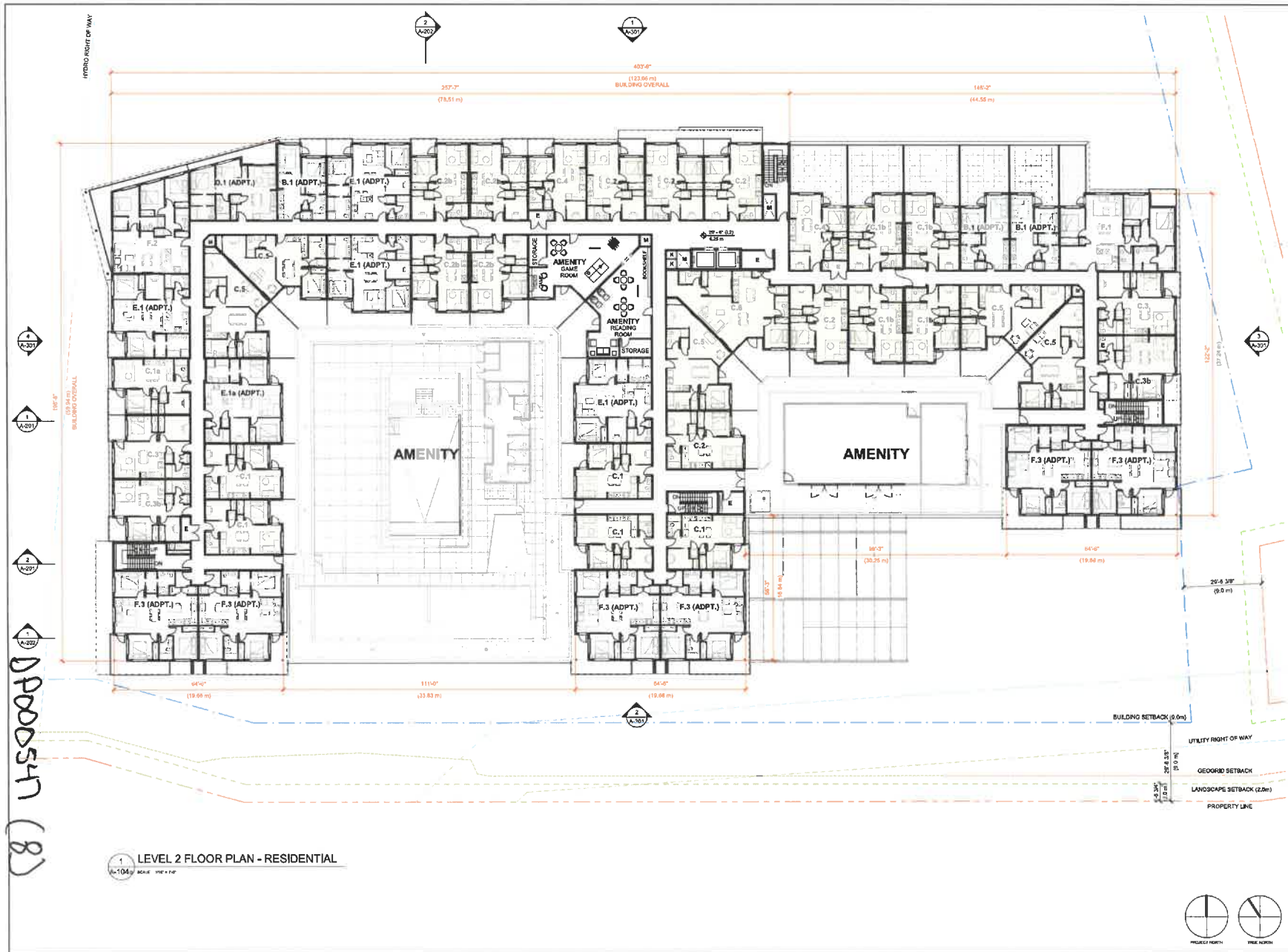
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATIONS OF THE BUILDING AND THE DESIGN OF THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**ONNI GROUP
FREMONT BUILDING P
850 VILLAGE DRIVE, PARCEL C
PORT COQUITLAM, BC
V2B 6G9**

LEVEL 1 FLOOR PLAN

OCT.30.2024 23003
1/16" = 1'-0"

A-103





SEAL • CERTIFIED PROFESSIONAL

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE. UNDER THE PROVISIONS OF MALAYSIAN GOVERNING BEHAVING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

ONNI GROUP
FREMONT BUILDING P
850 VILLAGE DRIVE, PARCEL C
PORT COQUITLAM, BC
V3B 0G9

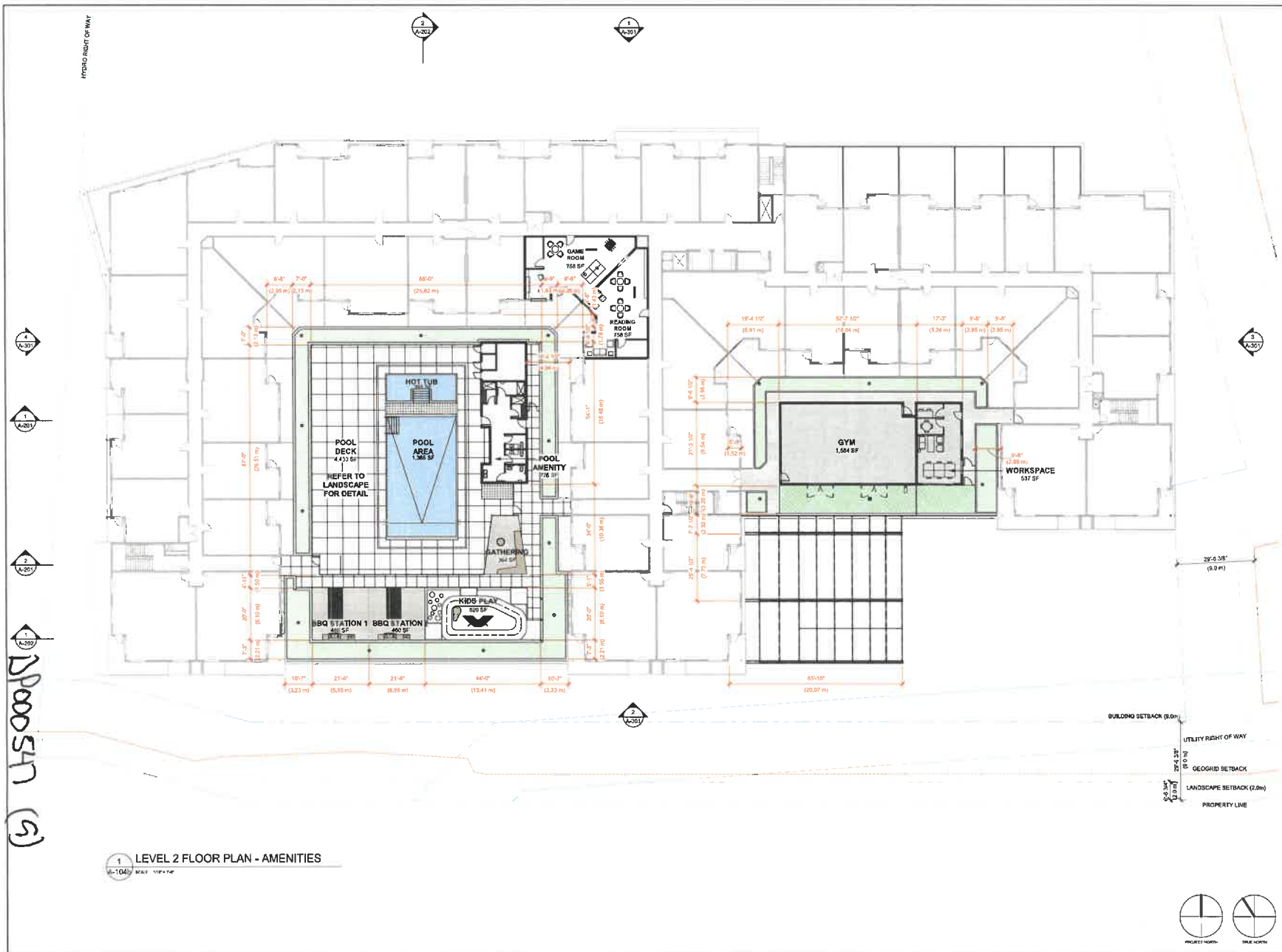
LEVEL 2 - AMENITY
FLOOR PLAN

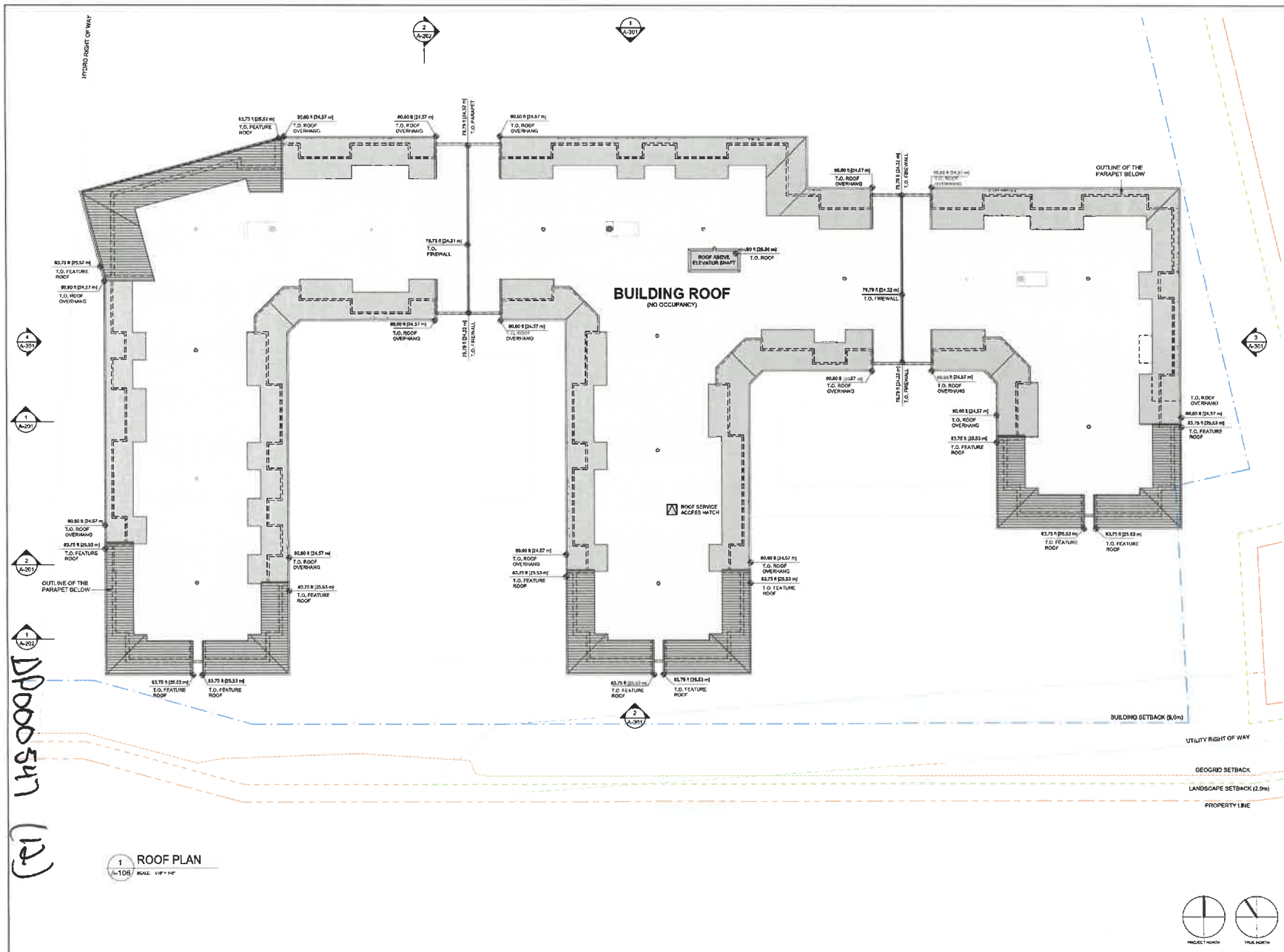
REC'D DATE
OCT 20 2024

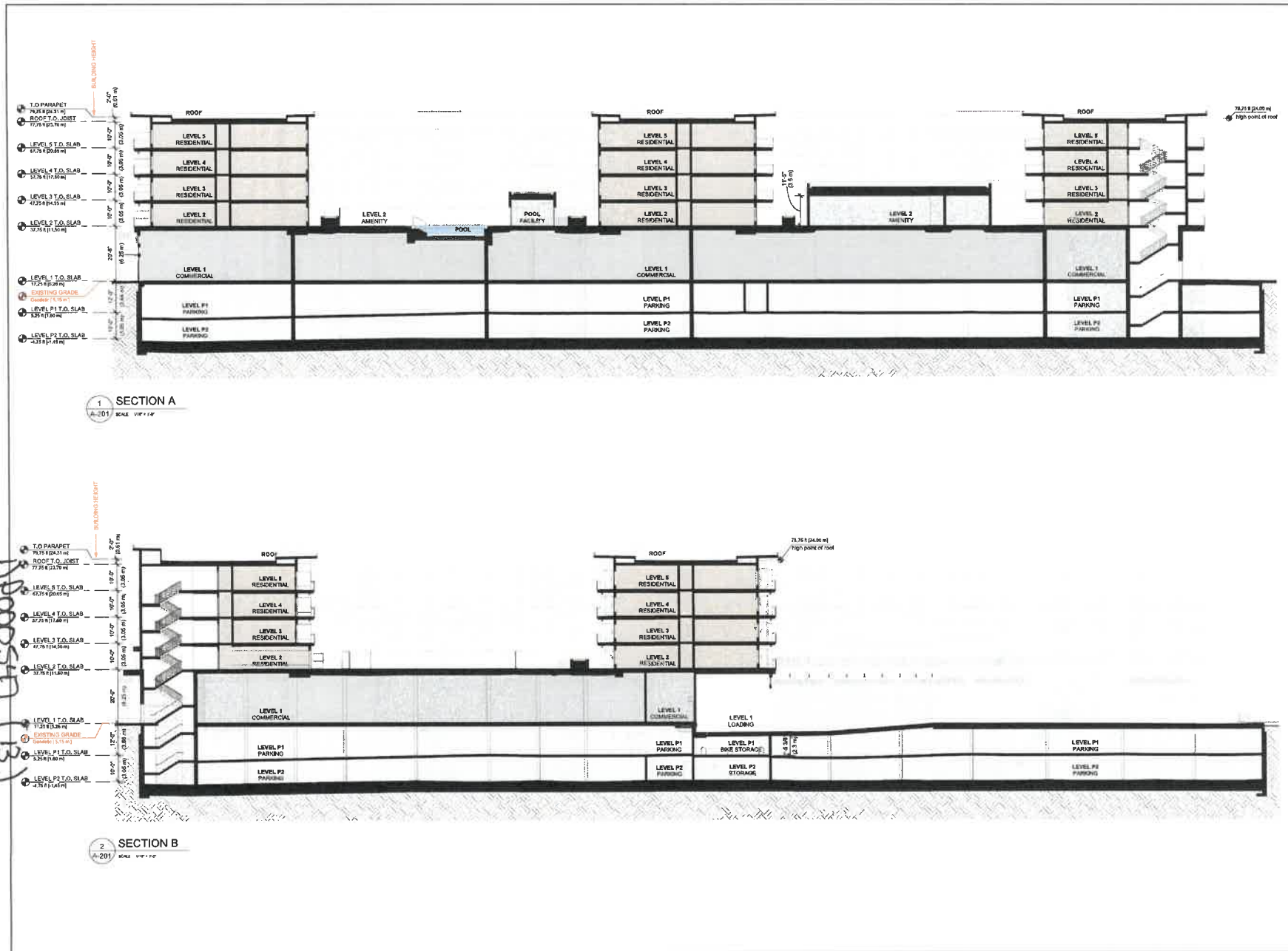
$$1/16'' = 1'-0''$$

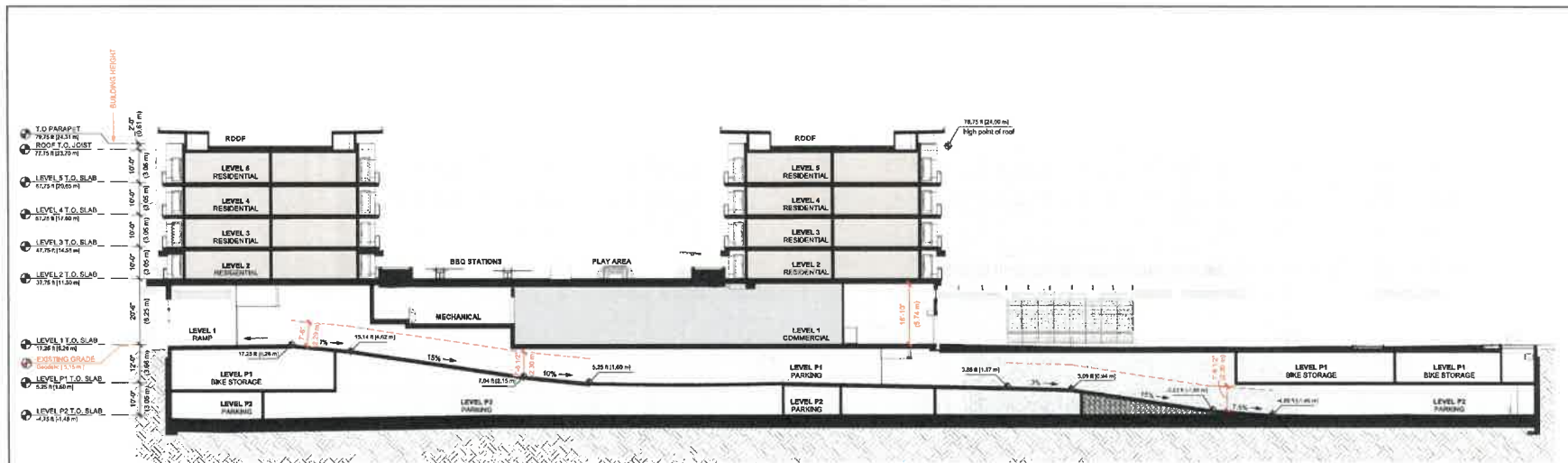
A-104b

5



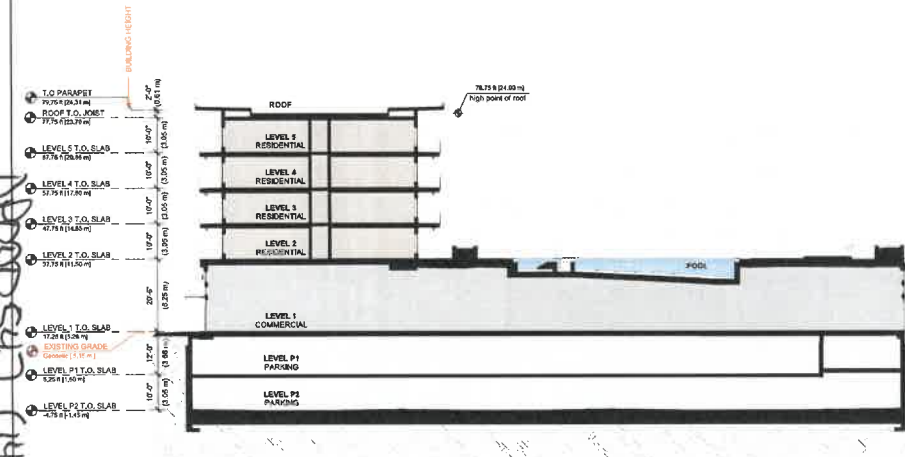






1 SECTION C

A-202 SCALE 1/8" = 1'-0"



2 SECTION D

A-202 SCALE 1/8" = 1'-0"



REAL CERTIFIED PROFESSIONAL

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ONNI GROUP
FREMONT BUILDING P
850 VILLAGE DRIVE, PARCEL C
PORT COQUITLAM, BC
V3B 6G9

SECTIONS

DATE	OCT.30.2024	FILE	23003
SCALE	1/8" = 1'-0"		

- T.O. FEATURE ROOF
13.75 (42.43 m)
- T.O. PARAPET
13.75 (42.43 m)
- LEVEL 5 T.O. SLAB
13.75 (42.43 m)
- LEVEL 4 T.O. SLAB
13.75 (42.43 m)
- LEVEL 3 T.O. SLAB
13.75 (42.43 m)
- LEVEL 2 T.O. SLAB
13.75 (42.43 m)
- LEVEL 1 T.O. SLAB
13.75 (42.43 m)
- EXIST. T.O. GRADE
13.75 (42.43 m)



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

- T.O. FEATURE ROOF
13.75 (42.43 m)
- T.O. PARAPET
13.75 (42.43 m)
- LEVEL 5 T.O. SLAB
13.75 (42.43 m)
- LEVEL 4 T.O. SLAB
13.75 (42.43 m)
- LEVEL 3 T.O. SLAB
13.75 (42.43 m)
- LEVEL 2 T.O. SLAB
13.75 (42.43 m)
- LEVEL 1 T.O. SLAB
13.75 (42.43 m)
- EXIST. T.O. GRADE
13.75 (42.43 m)



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

- T.O. FEATURE ROOF
13.75 (42.43 m)
- T.O. PARAPET
13.75 (42.43 m)
- LEVEL 5 T.O. SLAB
13.75 (42.43 m)
- LEVEL 4 T.O. SLAB
13.75 (42.43 m)
- LEVEL 3 T.O. SLAB
13.75 (42.43 m)
- LEVEL 2 T.O. SLAB
13.75 (42.43 m)
- LEVEL 1 T.O. SLAB
13.75 (42.43 m)
- EXIST. T.O. GRADE
13.75 (42.43 m)



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



MATERIAL LEGEND	
1.1	CEMENTITIOUS PANEL
1.2	BRICK
1.3	SPS FINISH
1.4	CONCRETE WALL
1.5	CONCRETE BASE
1.6	PROFILED METAL CLADDING
1.7	METAL PARAPET FLASHING
1.8	METAL ROOF CLADDING
1.9	METAL & GLASS CANOPY
1.10	STOREFRONT GLAZING
1.11	WOOD CLADDING / SOFFIT
1.12	SIGNAGE
1.13	VINYL FRAMED WINDOWS
1.14	GLAZED BALCONY RAILING

COLOR LEGEND	
a	BM-119 "DOWNFALL WHITE"
b	BM-2134-10 "IRON MOUNTAIN"
c	BM-10-27 "MONTEREY WHITE"
d	BM-HC-165 "BOOTHBAY GREY"
e	"VICWEST" "CHARMEDAL GREY"
f	SW-7269 "IRON ORE"
g	BRICK MASONRY "TAN TERRA"
h	BRICK MASONRY "SOLDER COURSE" "SEATTLE CREAM"
i	"FLAT GREY"

MGBA
 MALLEN GOWING BERZINIS
 ARCHITECTURE INCORPORATED
 ARCHITECTURE • INTERIOR DESIGN
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 V7B 1N6 (604) 681-1111
 MGBA.COM • INFO@MGBA.COM • T: 604.681.1111

onni
 GROUP

FREMONT VILLAGE
 SHOPPING CENTRE

REGISTERED ARCHITECT
 2024-10-30
 0141 ARCHITECT

SEALED PROFESSIONAL

DATE	DESCRIPTION	BY	CHECKED

CONSULTANT AND SPECIFICATIONS. ALL INFORMATION OF
 RECORD, AND THE INFORMATION OF ARCHITECTURE
 ARCHITECTURE AND INFORMATION. THE CONTRACTOR
 SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION
 OF THE PROJECT. THE ARCHITECTURE AND INFORMATION
 SHALL BE USED FOR CONSTRUCTION PURPOSES
 ONLY. ANY OTHER USE IS PROHIBITED.

ONNI GROUP
 FREMONT BUILDING P
 550 VILLAGE DRIVE, PARCEL C
 PORT COQUITLAM, BC
 V3B 0G9

MATERIAL BOARD	
DATE	DESCRIPTION
OCT.30.2024	23003
1" = 1'-0"	5
A-403	

18008547 (18)

- SE HORIZONTAL BICYCLE SPACE
Spoke size: 24" x 16" (2) per 1 line
- PROVISION OF ONE ELECTRICAL
OUTLET PER TWO BICYCLE SPACES

- 37 HORIZONTAL BICYCLE SPACE
Space size: 2'-0" x 6'-0" [0.6m x 1.8m]
- PROVISION OF ONE ELECTRICAL
OUTLET PER TWO BICYCLE SPACES

- 54 HORIZONTAL BICYCLE SPACE
Space size: 2'-0" x 6'-0" (0.6m x 1.8m)
- PROVISION OF ONE ELECTRICAL
OUTLET PER TWO BICYCLE SPACES

- 41 HORIZONTAL BICYCLE SPACE
Space size: 2'-0" x 6'-0" (0.6m x 1.8m)
- PROVISION OF ONE ELECTRICAL
OUTLET PER TWO BICYCLE SPACES

FREMONT VILLAGE BUILDING P

Port Coquitlam, BC

LANDSCAPE SET - ISSUED FOR DP RESUBMISSION
September 16, 2024

LANDSCAPE DRAWING INDEX

L0.0	COVER SHEET
L0.1	LANDSCAPE PERMEABILITY
L0.2	SOIL DEPTH PLAN - LEVEL 1
L0.3	SOIL DEPTH PLAN - LEVELS 2 & 3
L1.0	LANDSCAPE LAYOUT - LEVEL 1
L1.1	LANDSCAPE LAYOUT - LEVEL 2
L1.2	LANDSCAPE LAYOUT - WEST COURTYARD DETAIL PLAN
L1.3	LANDSCAPE LAYOUT - EAST COURTYARD DETAIL PLAN
L1.4	LANDSCAPE LAYOUT - LEVEL 3
L1.5	HEART PLAZA - AREA CALCULATIONS
L1.6	LANDSCAPE LAYOUT - HEART PLAZA NORTH
L1.7	LANDSCAPE LAYOUT - HEART PLAZA SOUTH
L2.0	PLANTING PALETTE
L2.1	PLANTING PLAN - LEVEL 1
L2.2	PLANTING PLAN - LEVEL 2
L2.3	PLANTING PLAN - LEVEL 3
L3.0	GRADING PLAN - LEVEL 1
L4.0	IRRIGATION PLAN - LEVEL 1
L4.1	IRRIGATION PLAN - LEVELS 2 & 3
L5.0	DETAILS - HARDSCAPE
L5.1	DETAILS - SOFTSCAPE
L5.2	DETAILS - SOFTSCAPE
L5.3	DETAILS - PLAYScape & FURNISHINGS
L5.4	DETAILS - FURNISHINGS
L5.5	DETAILS - FURNISHINGS
L5.5B	DETAILS
L5.6	DETAILS - HEART PLAZA STAGE
L5.7	DETAILS - HEART PLAZA STAGE
L5.8	DETAILS - HEART PLAZA STAGE
L5.9	DETAILS - PUBLIC REALM
L5.10	DETAILS - PUBLIC REALM
L5.11	DETAILS - PUBLIC REALM

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO CLAIM. NO CLAIM SHALL BE ALLOWED FOR ERRORS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVISE.

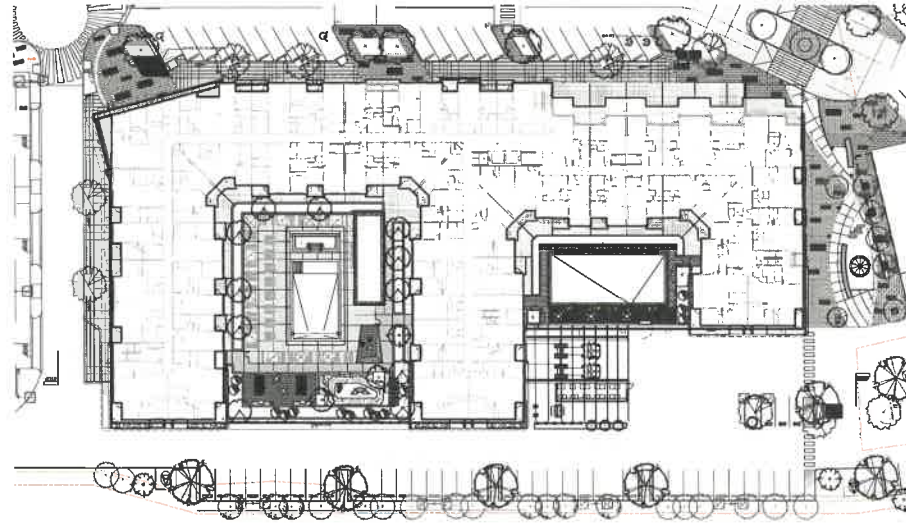
ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

DAVID STOKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.



David Stoyko
Landscape Architect

2886 8TH AVENUE EAST
VANCOUVER, BC V6M 1Y3
P: 604.730.0048

DAVID STOKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES, AS TO CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT, AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. RESPONSIBILITY CAN BE TAKEN WITH ALL ERRORS BY MEASURING OFF OF THESE DRAWINGS.

12	
11	ISSUED FOR DP RESUBMISSION 24-09-16
10	ISSUED FOR BP REVISION 1 24-07-24
9	ISSUED FOR CITY REVIEW 24-06-21
8	ISSUED FOR CITY REVIEW 24-04-18
7	ISSUED FOR BP 24-03-06
6	RE-ISSUED FOR DP / CITY COMMENTS 23-12-11
5	ISSUED FOR BUILDING PERMIT 23-06-06
4	ISSUED FOR DP APPLICATION 23-11-18
3	ISSUED FOR COORDINATION 23-11-14
2	ISSUED FOR CITY REVIEW 22-08-05
1	ISSUED FOR REVIEW 21-09-02

REVISIONS

onni
DESIGN



FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:400
Drawn:	DS
Reviewed:	DS
Project No.	22-002

COVER SHEET &
DRAWING LIST

L0.0

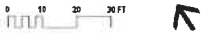
David Stoyko Landscape Architect

2886 6TH AVENUE EAST
VANCOUVER BC V6M 1R3
P 604 720 2018

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE EXAMINATIONS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE ANY OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.



12	
11	ISSUED FOR DP RESUBMISSION 24-09-16
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4	ISSUED FOR DP APPLICATION 23-11-18
3	ISSUED FOR COORDINATION 23-11-14
2	ISSUED FOR CITY REVIEW 22-08-05
1	ISSUED FOR REVIEW 21-09-02

REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

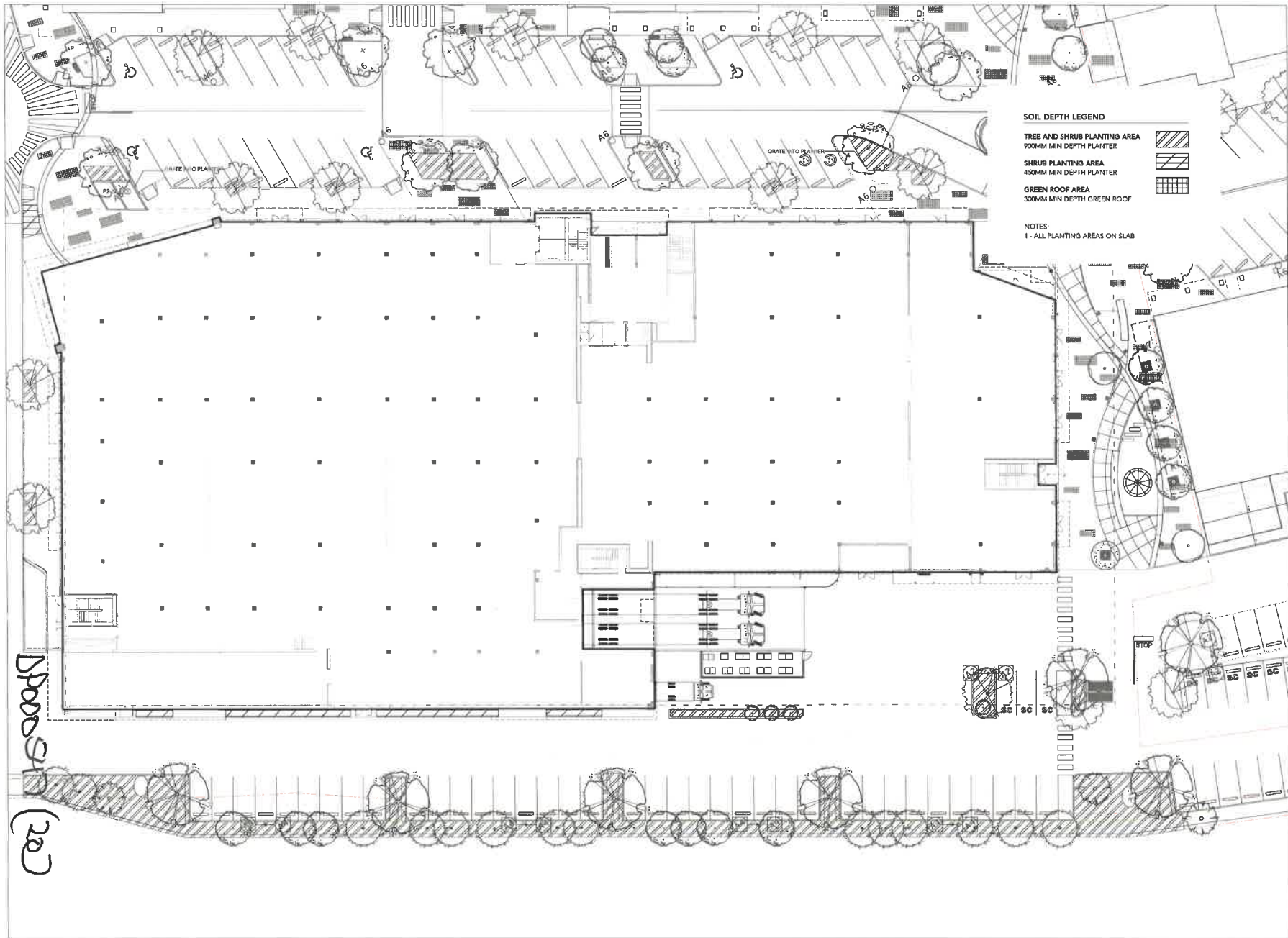
LANDSCAPE PERMEABILITY

L0.1

PERMEABILITY LEGEND

	CALCULATION AREA SITE AREA UP TO BUILT EDGES	11,289 SQ.M. / 121,515 SQ.FT.	
	HARDSCAPE / IMPERMEABLE SURFACES INCLUDES PAVED AND ROOF SURFACES	9,985 SQ.M. / 64,427 SQ.FT.	55%
	PERMEABLE SURFACES INCLUDES PLANTED AND AGGREGATE AREAS	1,264 SQ.M. / 13,607 SQ.FT.	11%
	BUILDING ROOF AREA CONFORM WITH ARCHITECTURAL	4,040 SQ.M. / 43,482 SQ.FT.	36%

SPROOSIN (19)



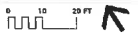
David Stoyko
Landscape Architect

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VANCOUVER BC V6M 1Y3
P 604.726.5048

DAVID STOYKO LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE INCLUDING UTILITIES AND/OR CONCRETE STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.

DO NOT SCALE OFF OF THESE DRAWINGS. NO PERSONS SHALL BE HELD RESPONSIBLE FOR ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.



12	
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4	ISSUED FOR DP APPLICATION 22-11-18
3	ISSUED FOR COORDINATION 22-11-14
2	ISSUED FOR CITY REVIEW 22-08-05
1	ISSUED FOR REVIEW 21-09-02

REVISIONS



**FREMONT VILLAGE
BUILDING P**

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

**SOIL DEPTH PLAN
LEVEL 1**

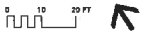
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VANCOUVER, BC V6M 1R3
P: 604.726.5888

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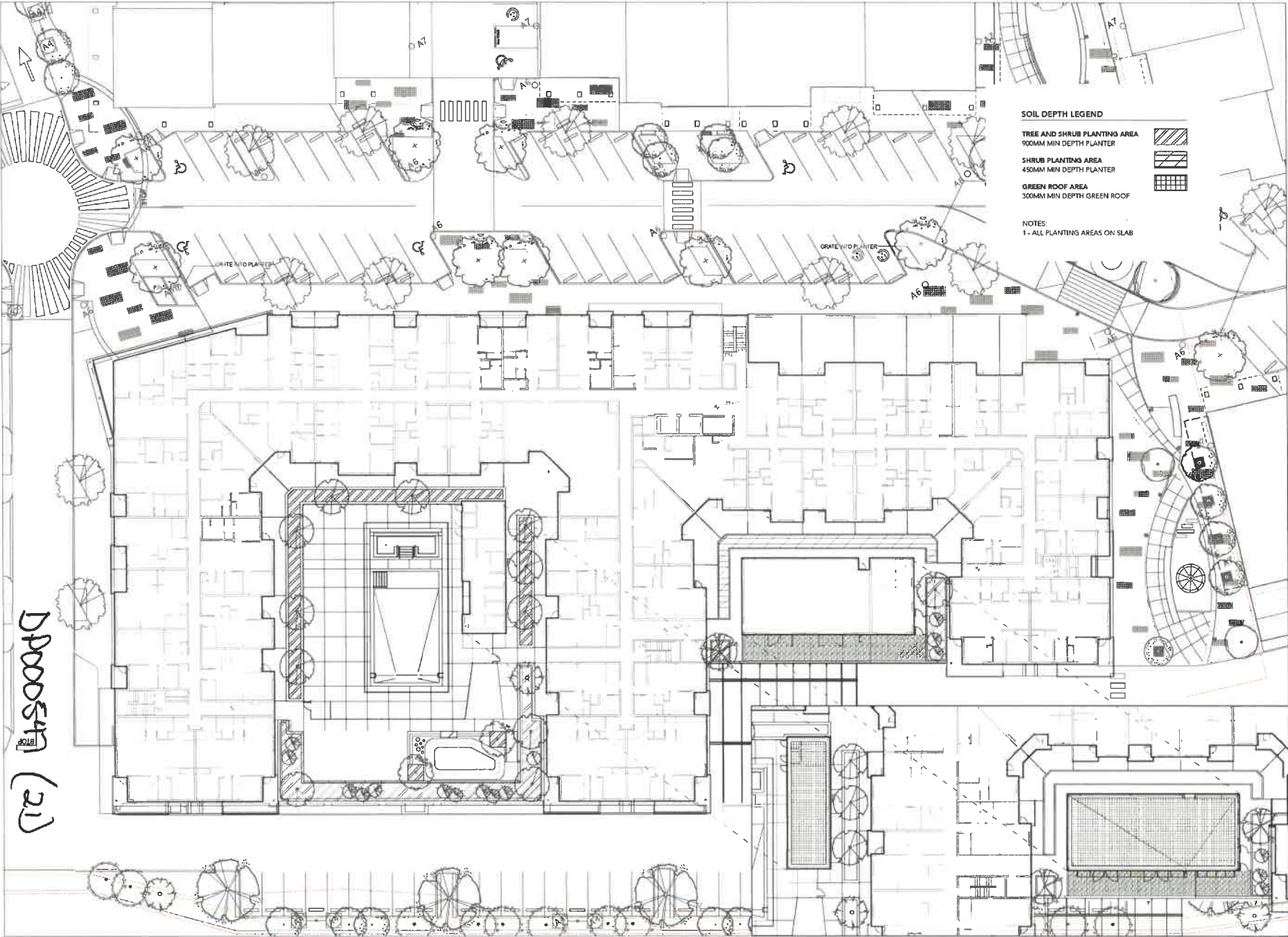
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SOIL DEPTH LEGEND

- TREE AND SHRUB PLANTING AREA
900MM MIN DEPTH PLANTER
- SHRUB PLANTING AREA
450MM MIN DEPTH PLANTER
- GREEN ROOF AREA
300MM MIN DEPTH GREEN ROOF

NOTES
1 - ALL PLANTING AREAS ON SLAB



DP000547 (21)

12		
11	ISSUED FOR DP RESUBMISSION	24-09-16
10	ISSUED FOR BP REVISION 1	24-07-26
9	ISSUED FOR CITY REVIEW	24-06-21
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7	ISSUED FOR BP	24-03-06
6	RE-ISSUED FOR DP / CITY COMMENTS	23-12-11
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3	ISSUED FOR COORDINATION	23-11-14
2	ISSUED FOR CITY REVIEW	23-08-05
1	ISSUED FOR REVIEW	21-09-02

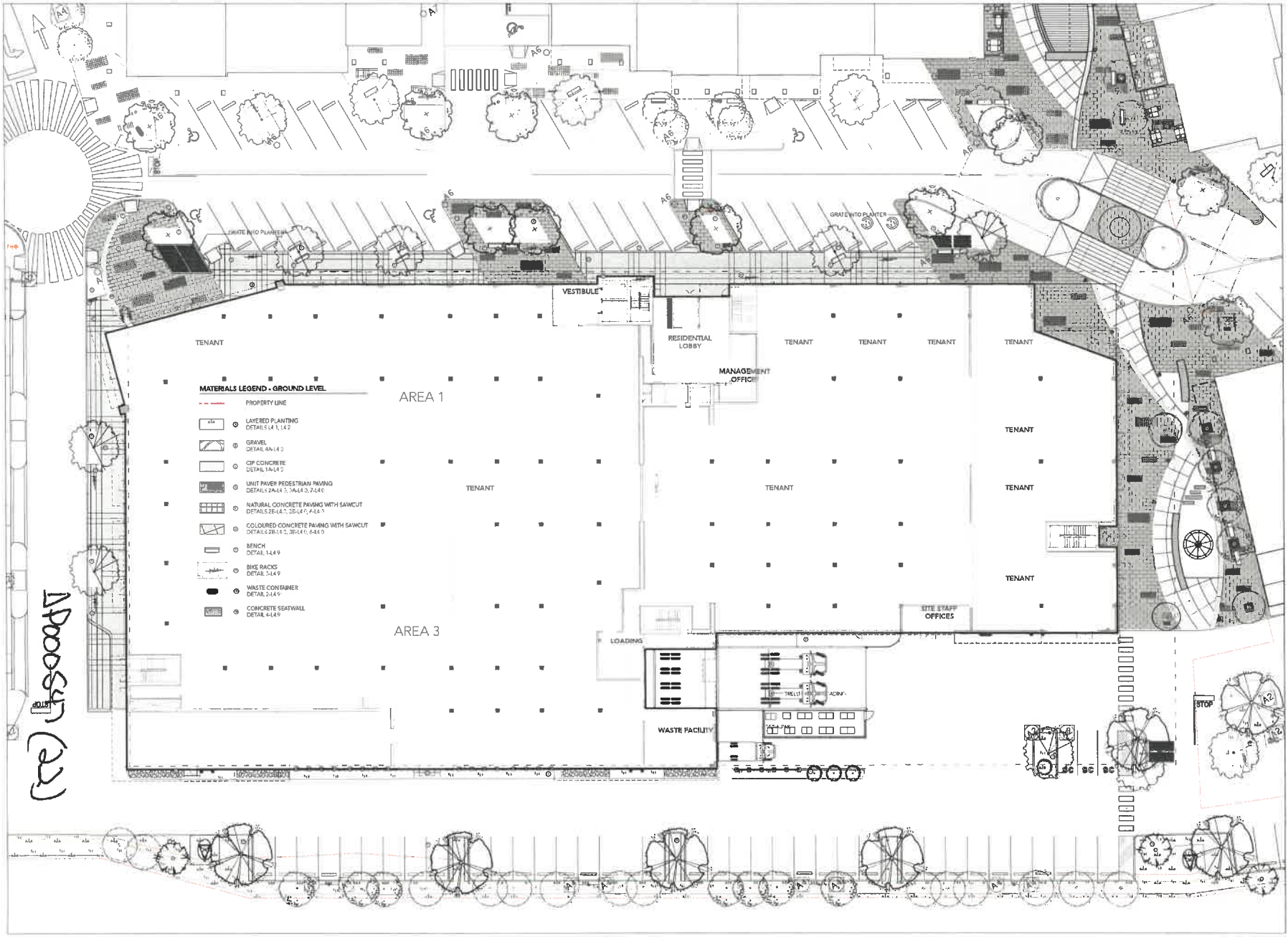


FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

SOIL DEPTH PLAN -
LEVELS 2 & 3



David Stoyko
Landscape Architect

2884 14TH AVENUE EAST
VANCOUVER BC V6M 1Y3
P 604 720 0648

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REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

LANDSCAPE LAYOUT LEVEL 1

L1.0

David Stoyko Landscape Architect

2884 4TH AVENUE EAST
VANCOUVER BC V6M 1R3
P 604 725 0018

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1	ISSUED FOR REVIEW 21-09-02
REVISIONS	

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FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale: 1:200

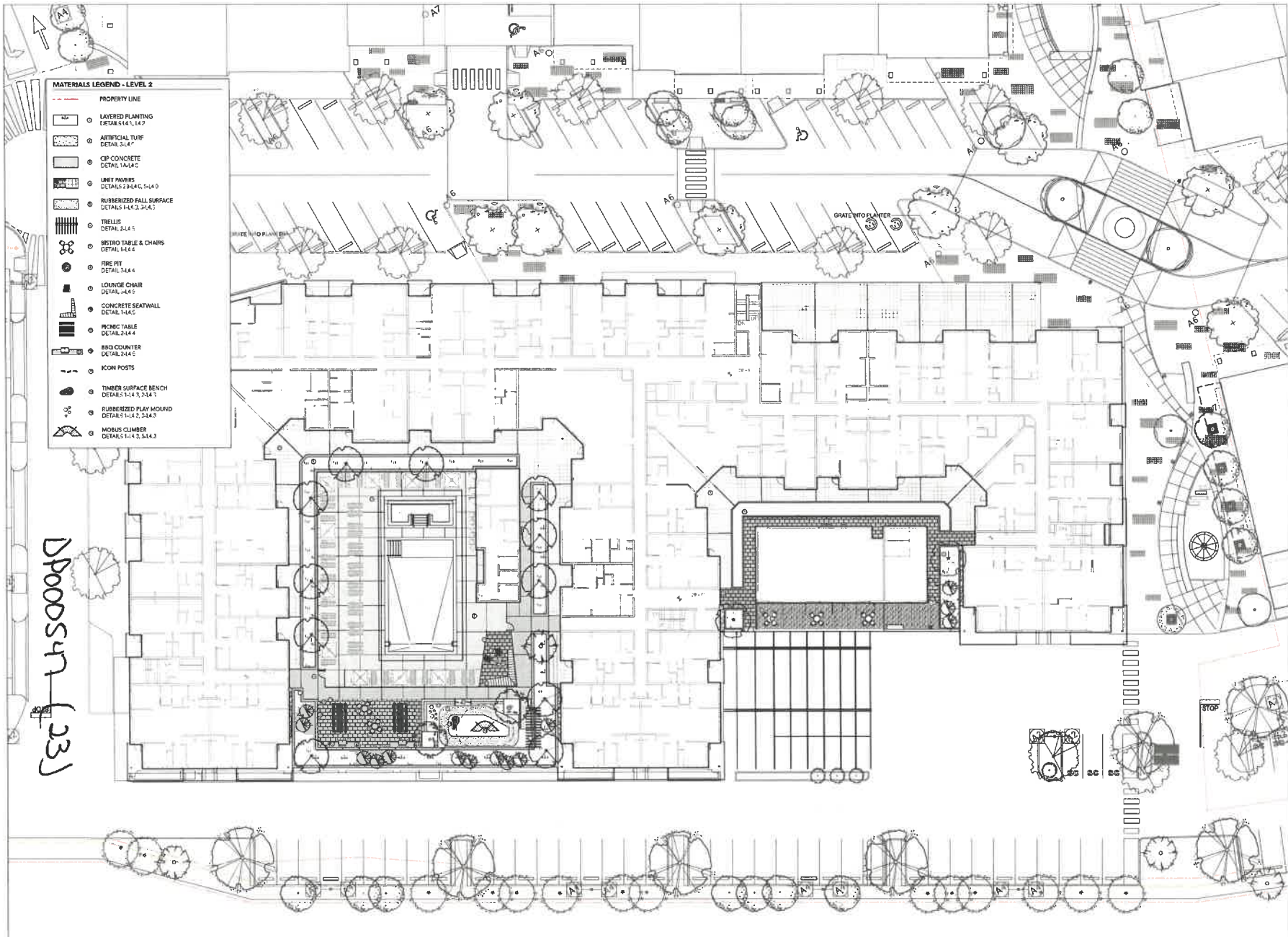
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Reviewed: DS

Project No. 22-002

LANDSCAPE LAYOUT LEVEL 2

L1.1



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VANCOUVER BC V6M 1R3
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REVISIONS	



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale: 1:100
Drawn: MGC/DS
Reviewed: DS
Project No. 22-002

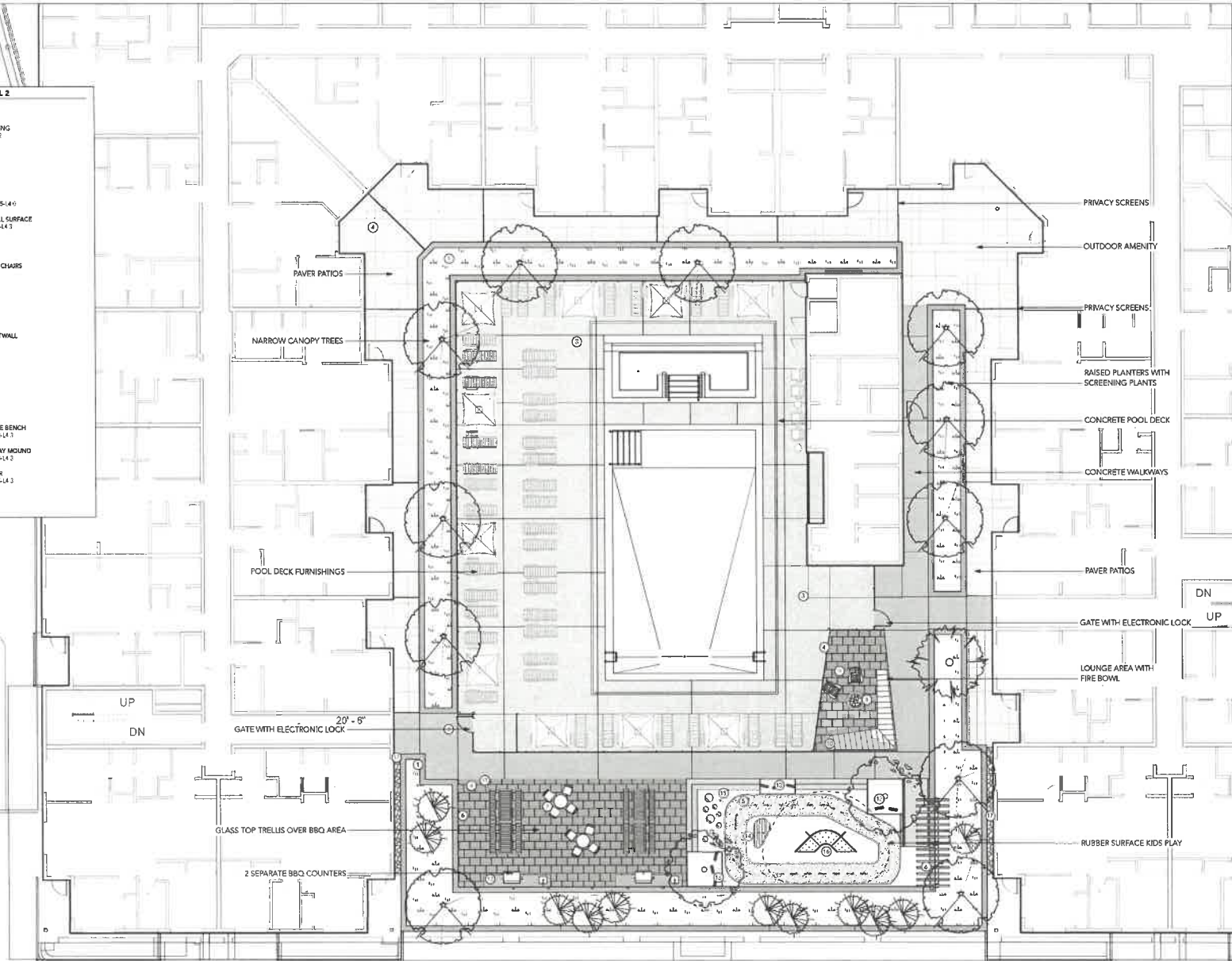
WEST COURTYARD DETAIL PLAN

L1.2

MATERIALS LEGEND - LEVEL 2

- PROPERTY LINE
- LAYERED PLANTING
DETAILS LA.1, LA.2
- ARTIFICIAL TURF
DETAIL 3.4.1.1
- CIP CONCRETE
DETAIL 1.4.4.2
- UNIT PAVERS
DETAILS 2.4.4.1, 2.4.4.2
- RUBBERIZED FALL SURFACE
DETAILS 1.4.3, 3.4.3
- TRELLIS
DETAIL 2.4.4.5
- BISTRO TABLE & CHAIRS
DETAIL 1.4.4
- PBB PT
DETAIL 3.4.4
- LOUNGE CHAIR
DETAIL 2.4.4.5
- CONCRETE SEATWALL
DETAIL 1.4.4.5
- PICNIC TABLE
DETAIL 2.4.4.4
- BBO COUNTER
DETAIL 2.4.4.5
- ICON POSTS
- TIMBER SURFACE BENCH
DETAILS 1.4.4.3, 2.4.4.3
- RUBBERIZED PLAY MOUND
DETAILS 1.4.4.3, 2.4.4.3
- MOBILUS CLIMBER
DETAILS 1.4.4.3, 2.4.4.3
- GRAVEL
DETAIL 4.4.1.1

STOP
0000547 (24)



David Stoyko Landscape Architect

2666 4TH AVENUE EAST
VANCOUVER BC V6M 1R3
P 604 722 0248

ON-SITE LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE INCLUDING UTILITIES AND FOR CONVEYED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM EITHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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REVISIONS	

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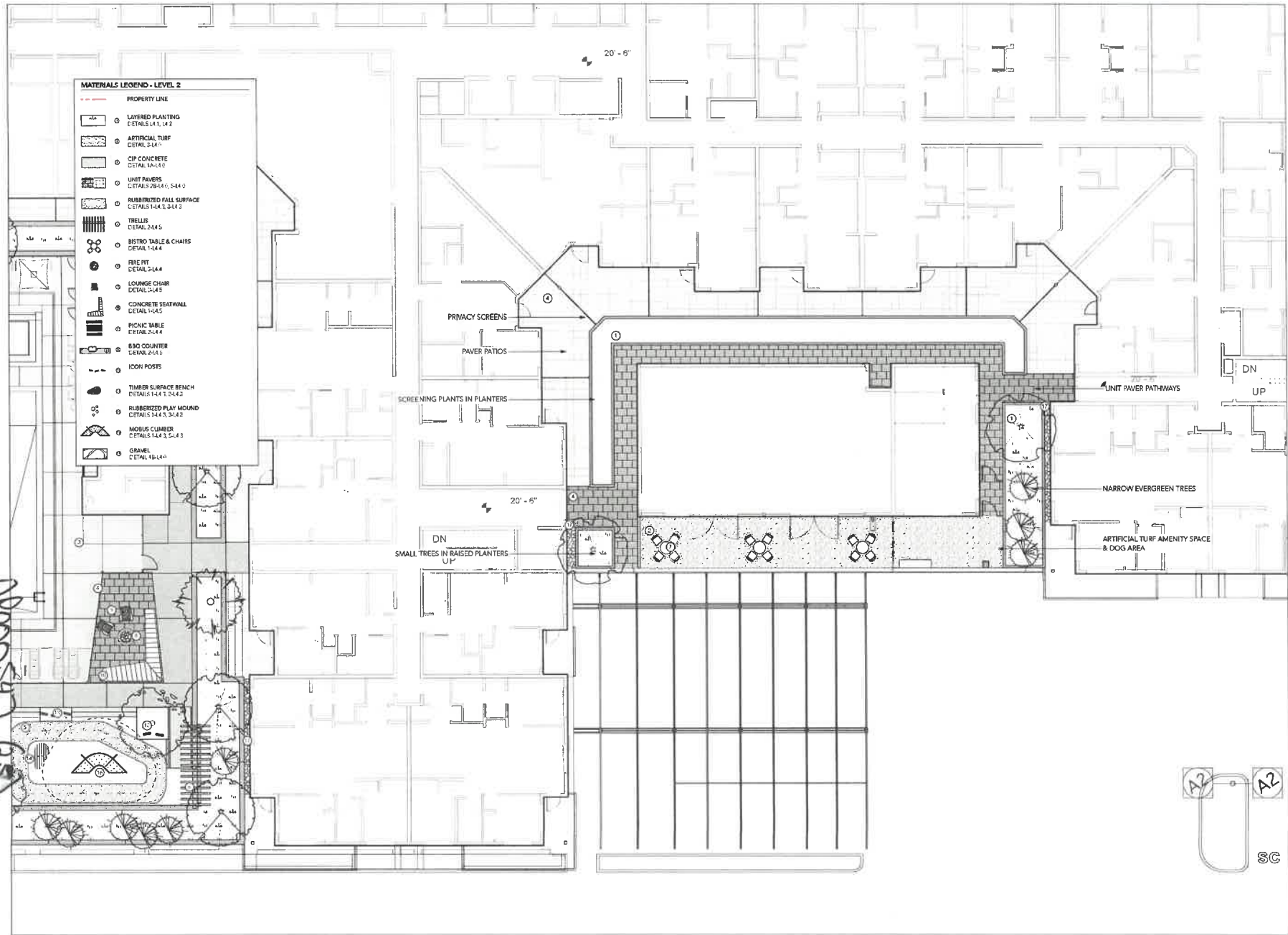
FREMONT VILLAGE BUILDING P

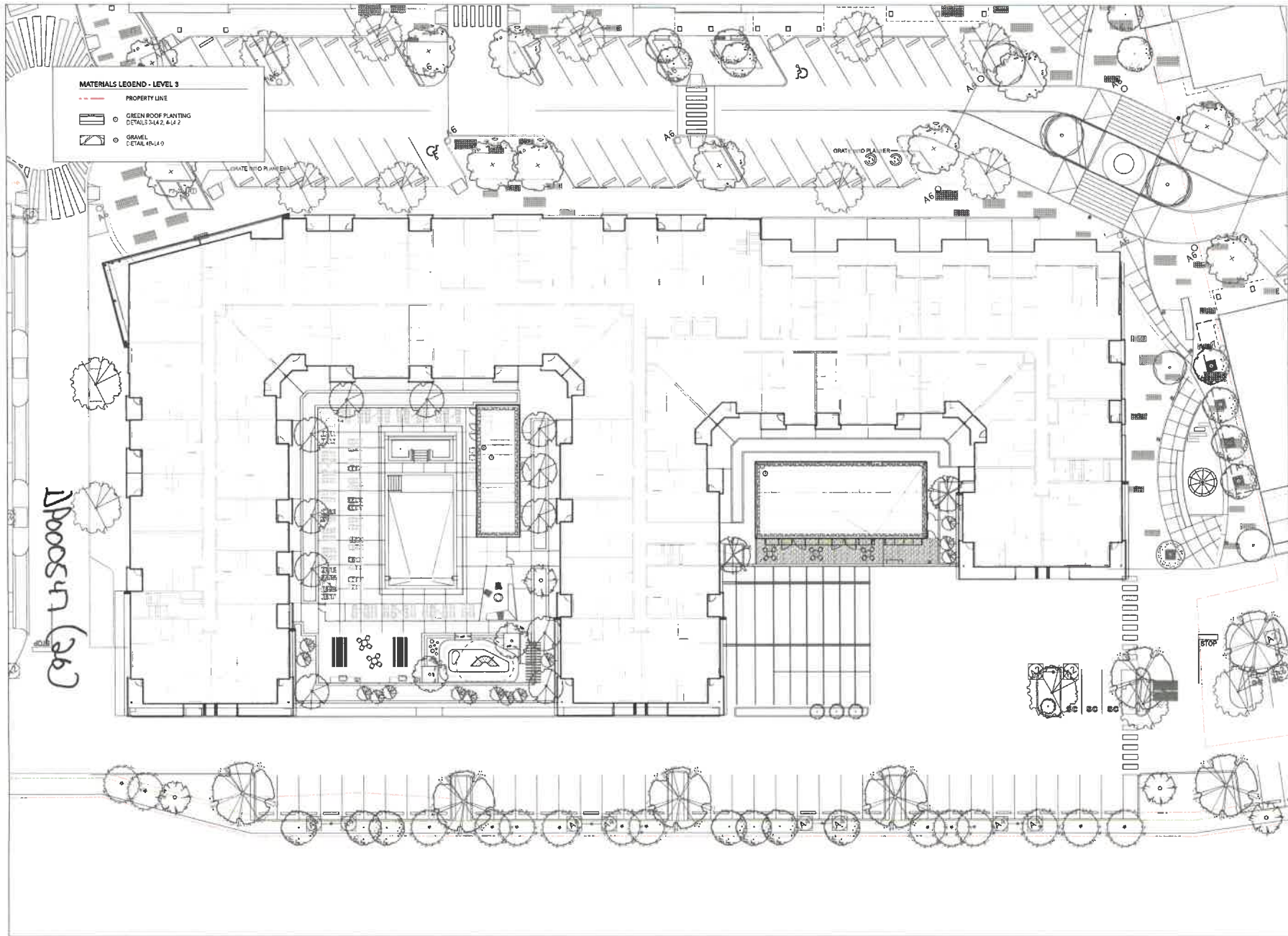
850 Village Drive, Parcel C
Port Coquitlam, British Columbia

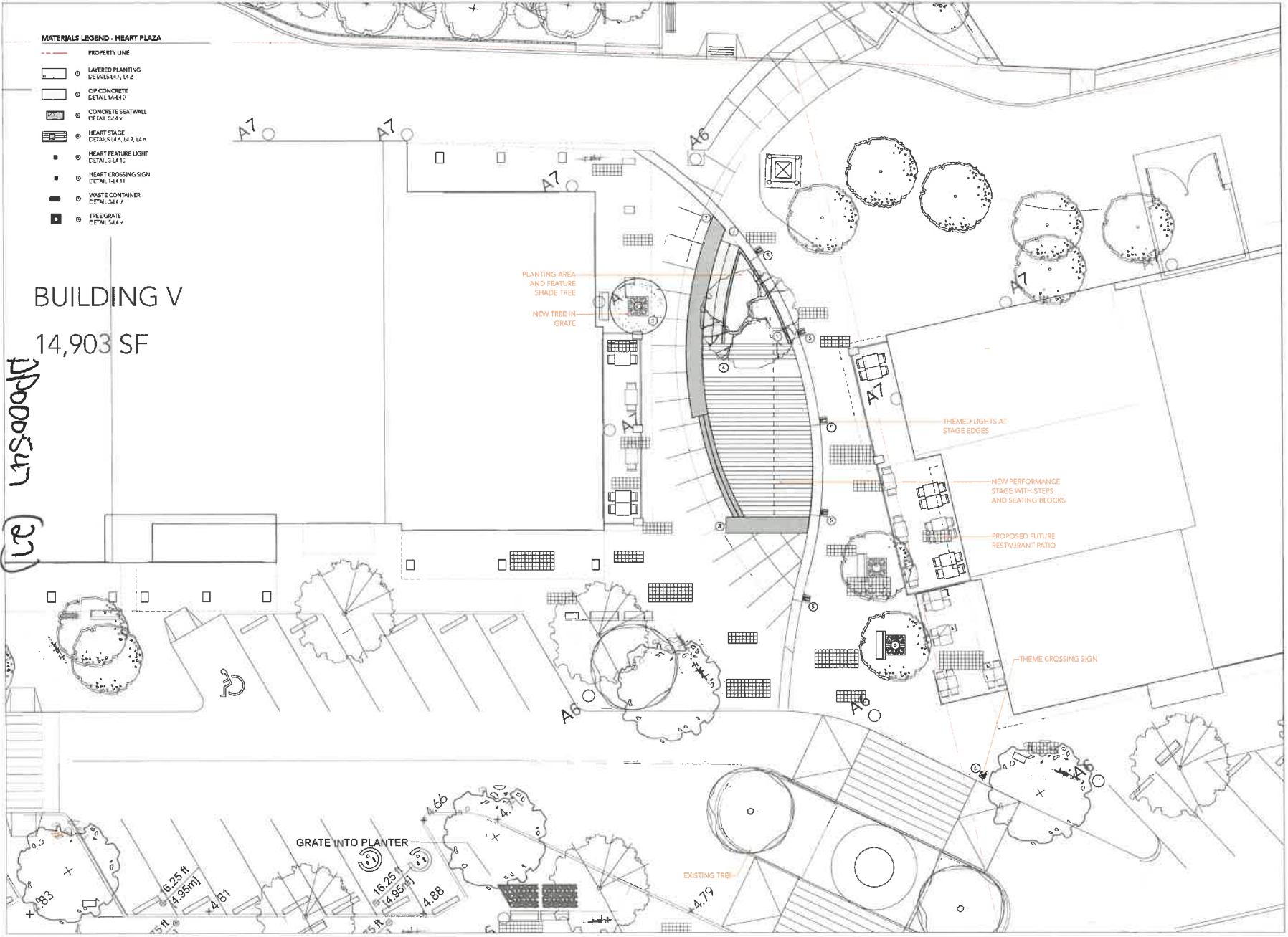
Scale: 1:100
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Reviewed: DS
Project No. 22-002

WEST COURTYARD DETAIL PLAN

L1.3







MATERIALS LEGEND - HEART PLAZA

- PROPERTY LINE
- LAYERED PLANTING
DETAIL S-1A.1, S-1A.2
- CIP CONCRETE
DETAIL S-1A.4.1
- CONCRETE SEATWALL
DETAIL S-1A.5
- HEART STAGE
DETAIL S-1A.1, S-1A.2
- HEART FEATURE LIGHT
DETAIL S-1A.1C
- HEART CROSSING SIGN
DETAIL S-1A.11
- WASTE CONTAINER
DETAIL S-1A.9
- TREE GRATE
DETAIL S-1A.4

BUILDING V
14,903 SF

12000547 (2)

David Stoyko
Landscape Architect

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P: 604 720 0648

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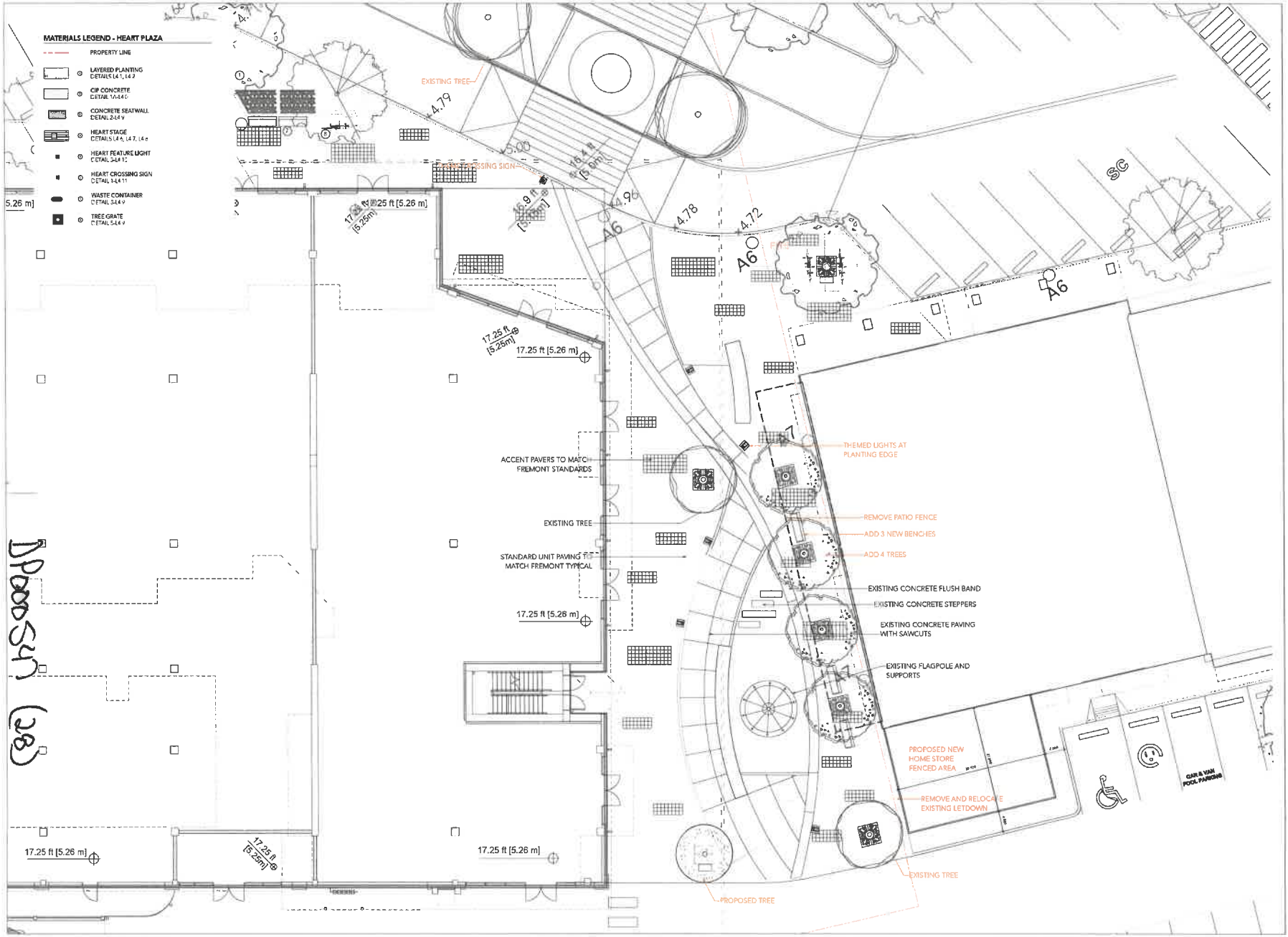
FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:100
Drawn:	DS
Reviewed:	DS
Project No.	22-002

HEART PLAZA -
NORTH LAYOUT

L1.6



David Stoyko
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REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

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Reviewed:	DS
Project No.	22-002

HEART PLAZA - SOUTH LAYOUT

David Stoyko
Landscape Architect












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PLANT LIST

TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	8	Acer rubrum 'Bowhall'	Bowhall Red Maple	7cm cal., B&B	as shown
	5	Acer griseum	Paperbark Maple	6cm cal., B&B	as shown
	11	Carpinus betulus 'Fastigiata'	Fastigate European Hornbeam	7cm cal., B&B	as shown
	14	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm cal., B&B	as shown
	6	Fraxinus pennsylvanica 'Prairie Spire'	Pennsylvanica Ash	6cm cal., B&B	as shown
	1	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	7cm cal., B&B	as shown
	11	Liquidambar styraciflua 'Emerald Sentinel'	Emerald Sentinel Sweet Gum	7cm cal., B&B	as shown
	14	Picea omorika	Serbian Spruce	3m. ht., B&B	as shown
	4	Pinus leucodermis	Bosnian Pine	3.5m. ht., B&B	as shown
	4	Prunus semulata 'Amanogawa'	Amanogawa Cherry	6cm cal., B&B	as shown
	2	Cornus kousa	Kousa Dogwood	3.5m. ht., B&B	as shown

SHRUBS	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	117	Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c.
	299	Ilex crenata 'convexa'	Japanese Holly	#2 pot	24" o.c.
	30	Mahonia nervosa	Low Oregon Grape	#2 pot	24" o.c.
	77	Polystichum munitum	Western Sword Fern	#2 pot	24" o.c.
	117	Rosa gymnocarpa	Baldship Rose	#5 pot	36" o.c.
	59	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c.
	150	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c.
	237	Taxus x media 'Hicksii'	Hick's Yew	#5 pot	24" o.c.
	6	Vaccinium ovatum	Evergreen Huckleberry	#5 pot	36" o.c.

GROUND COVERS / GRASSES / PERENNIALS / VINES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	11	Clematis armandi	Armand's clematis	4" (10cm) pot	15" o.c.
	29	Echinacea purpurea	Purple Coneflower	4" (10cm) pot	18" o.c.
	264	Fragaria chiloensis	Coastal Strawberry	4" (10cm) pot	18" o.c.
	135	Gaillardia xallan	Salal	4" (10cm) pot	18" o.c.
	192	Geranium andresii x 'Johnsons Blue'	Cranesbill	4" (10cm) pot	18" o.c.
	9	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	4" (10cm) pot	15" o.c.
	279	Iris tenax	Oregon Iris	4" (10cm) pot	18" o.c.
	344	Lavandula angustifolia	Lavender	4" (10cm) pot	15" o.c.
	174	Liriope muscari	Lily Turf	4" (10cm) pot	15" o.c.
	13	Parthenocissus quercifolia	Virginia Creeper	4" (10cm) pot	15" o.c.
	134	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	4" (10cm) pot	18" o.c.
	99	Rubus calyculoides	Emerald Carpet	4" (10cm) pot	18" o.c.
	69	Rudbeckia hirta	Black-Eyed Susan	4" (10cm) pot	24" o.c.
	86	Stipa tenuissima	Mexican Feather Grass	#1 pot	24" o.c.

GREEN ROOF	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	2,162	Sq. ft. Elera 'Tough Stuff' sedum tiles	Mixed species sedum mat	sq. ft. area	
	68	Artemisia maritima	Common thistle	Plug	36" o.c.
	66	Chrysopsis villosa	Hairy Golden Aster	Plug	36" o.c.
	649	grains Eschscholzia californica seed	California Poppy	Seed	3g/10sq. ft.
	117	Carex pansa	Sand Dune Sedge	Plug	18" o.c.
	87	Koeleria macrantha	Prairie Junegrass	Plug	18" o.c.
	60	Sporobolus heterolepis	Prairie Dropseed	Plug	24" o.c.

PLANTING NOTES

- IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS ON THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
- ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
- ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
- ALL PLANTING BEDS TO BE MULCHED WITH 2" (50MM) OF ANSWER GARDEN PRODUCTS 'HUMUS BUILDUP' OR APPROVED EQUAL.
- FINAL LANDSCAPE BERM / BED LAYOUTS, AS WELL AS ACTUAL TREE AND SHRUB LOCATIONS AND SPACING, TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF VANCOUVER PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE INCLUDING IRRIGATION OF ALL PLANTED AREAS FOR 1 FULL YEAR AFTER SUBSTANTIAL COMPLETION.

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REVISIONS



FREMONT VILLAGE
BUILDING P

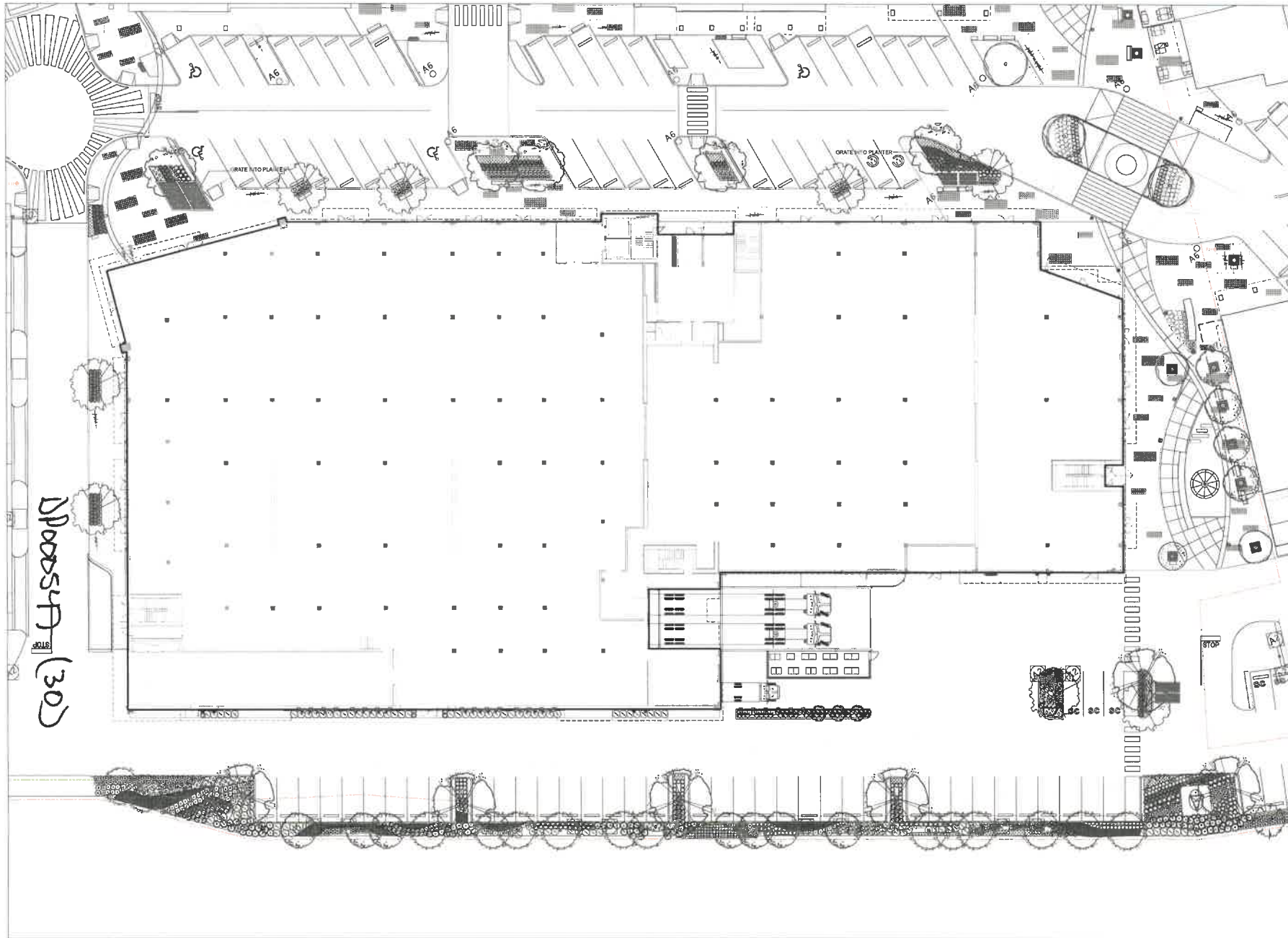
850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	N/A
Drawn:	MGC/DS
Reviewed:	DS
Project No.	22-002

PLANT SCHEDULE

L2.0

DP000547 (29)



David Stoyko Landscape Architect

2884 6TH AVENUE EAST
VANCOUVER BC V6M 1K5
P 604 720 0048

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REVISIONS

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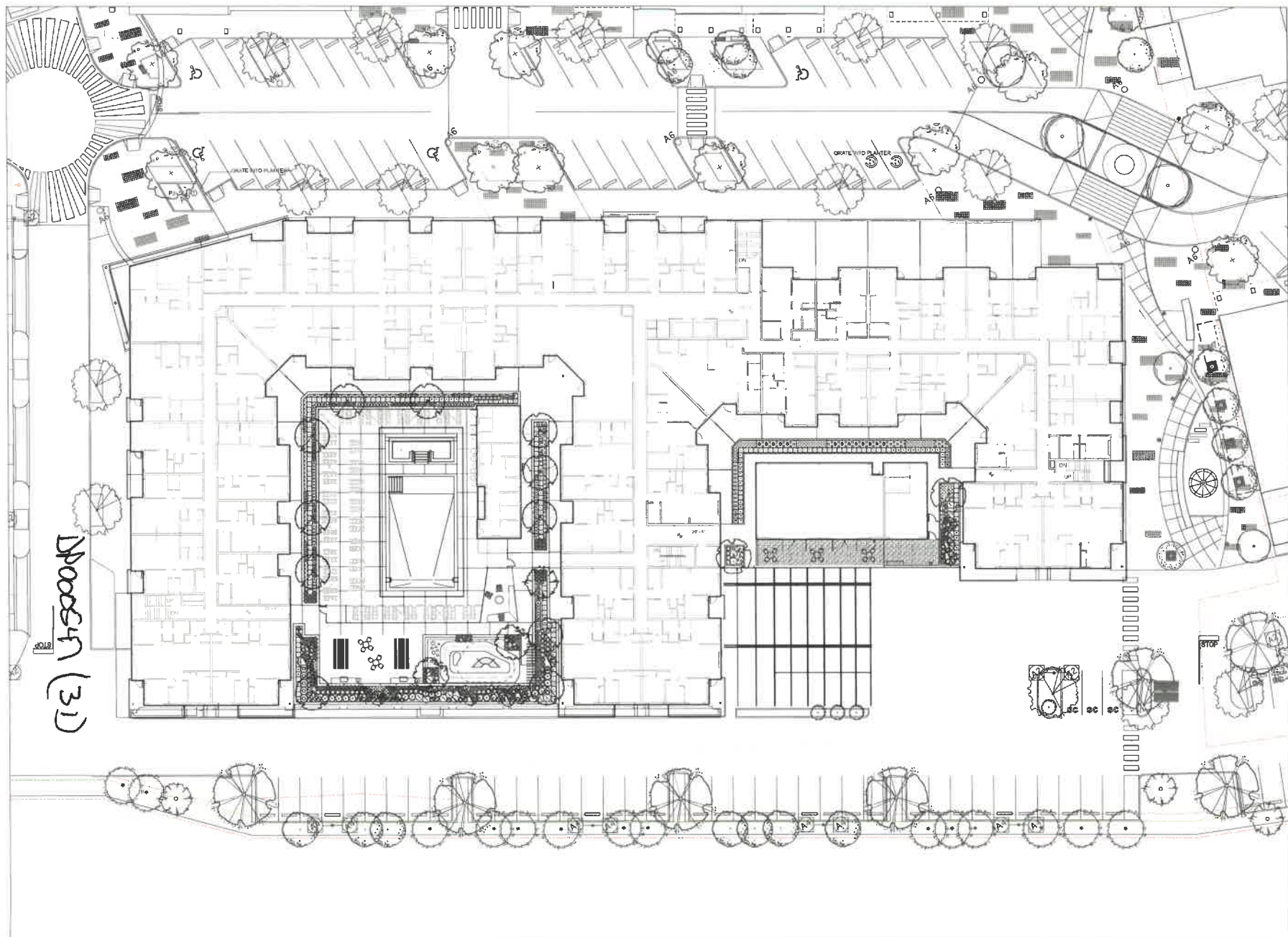
FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

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PLANTING PLAN LEVEL 1

L2.1



David Stoyko Landscape Architect

2844 6TH AVENUE EAST
VANCOUVER BC V6M 1Y3
P 604 720 0045

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2	ISSUED FOR CITY REVIEW	22-09-05
1	ISSUED FOR REVIEW	21-09-02

REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

PLANTING PLAN - LEVEL 2

L2.2

David Stoyko Landscape Architect

2604 4TH AVENUE EAST
VANCOUVER BC V6M 1R3
P 604 720 0048

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10	ISSUED FOR BP REVISION 1 24-07-26
9	ISSUED FOR CITY REVIEW 24-06-21
8	ISSUED FOR CITY REVIEW 24-04-18
7	ISSUED FOR BP 24-03-06
6	RE-ISSUED FOR DP / CITY COMMENTS 23-12-11
5	ISSUED FOR BUILDING PERMIT 23-04-06
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2	ISSUED FOR CITY REVIEW 22-05-05
1	ISSUED FOR REVIEW 21-09-02

REVISIONS



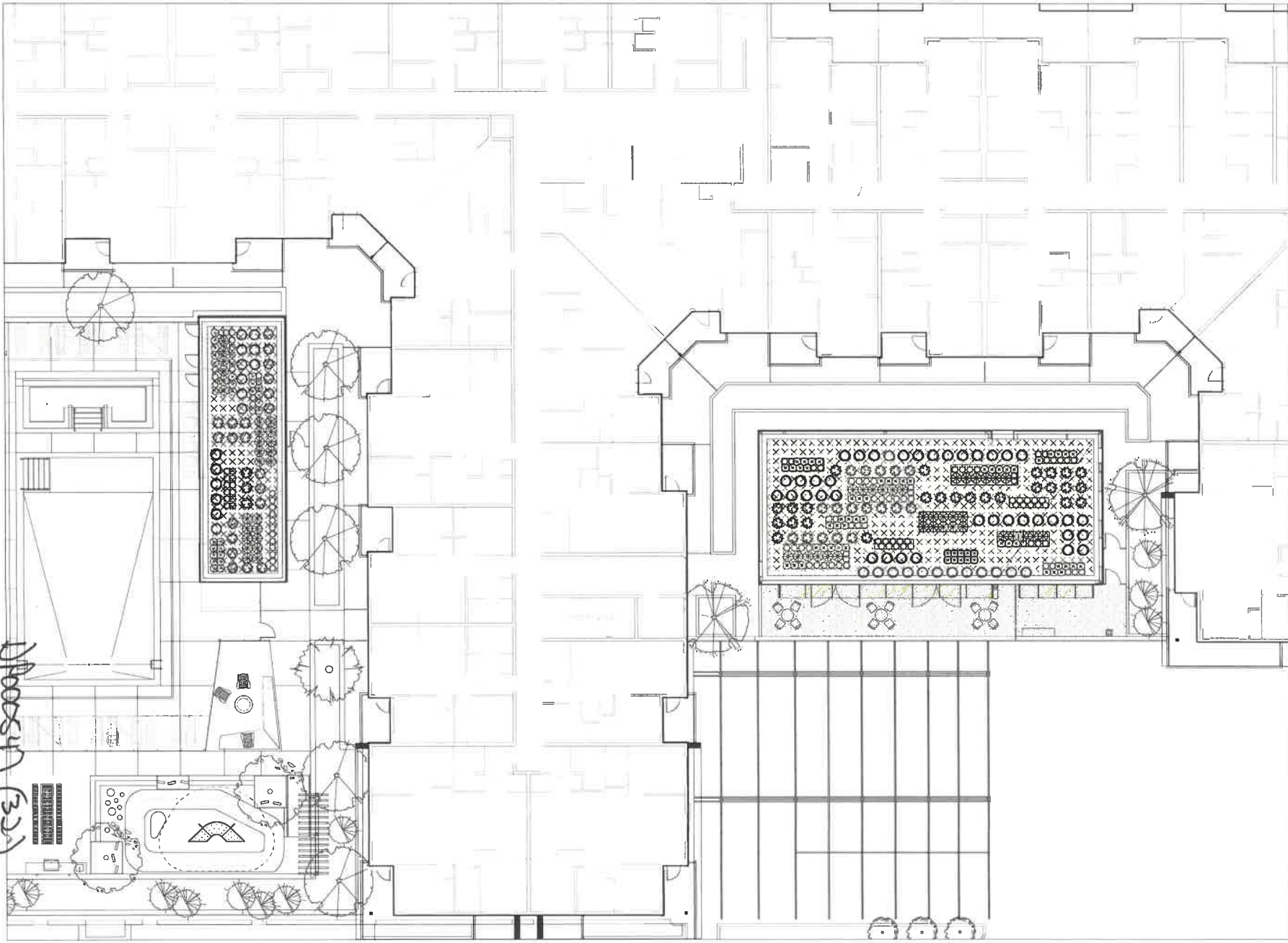
FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

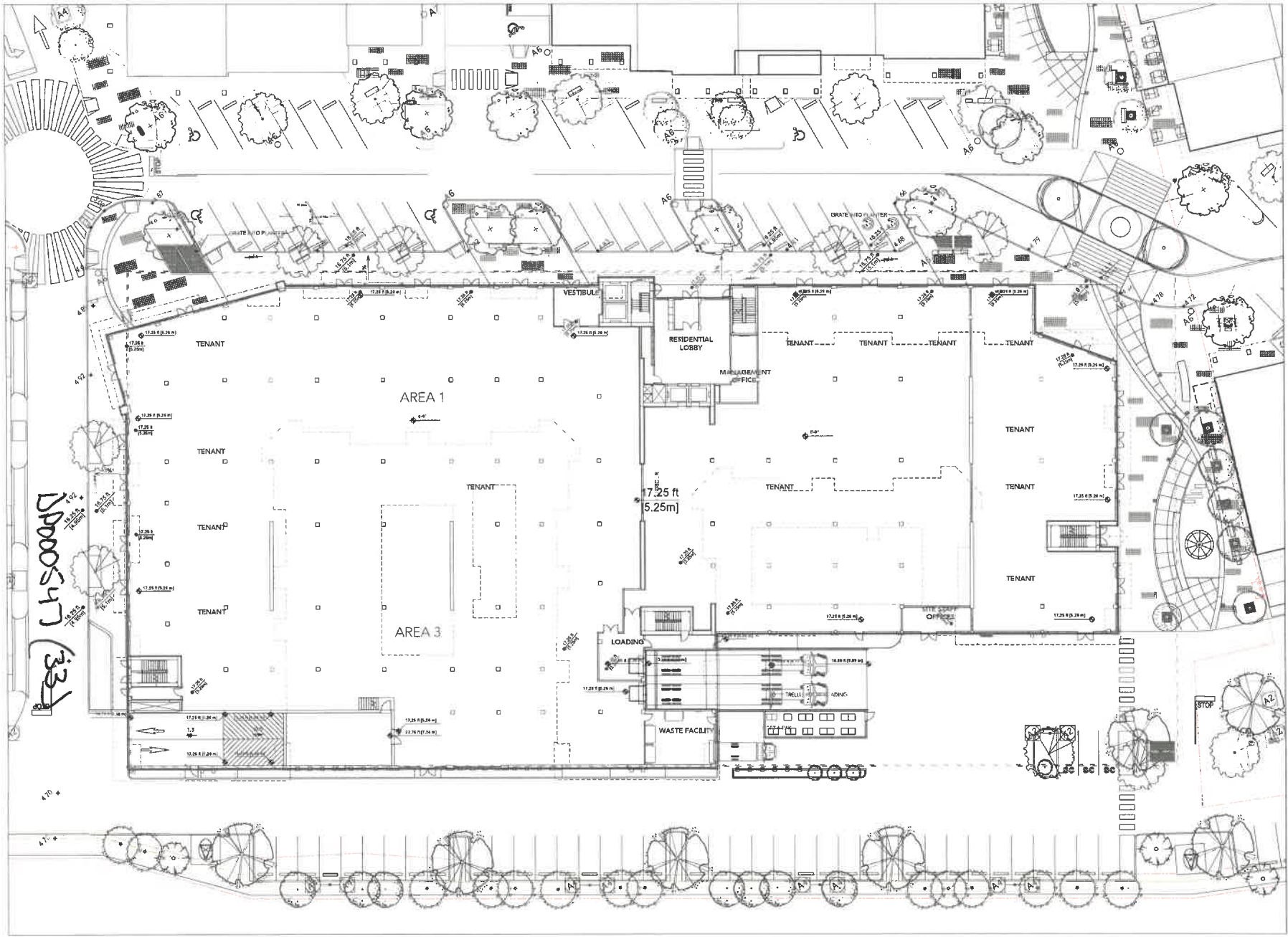
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Drawn:	DS
Reviewed:	DS
Project No.	22-002

PLANTING PLAN LEVEL 3 GREEN ROOFS

L2.3



Onni (32)



David Stoyko
Landscape Architect

2486 4TH AVENUE EAST
VANCOUVER BC V6M 1B3
P 604 720 0348

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REVISIONS

onni



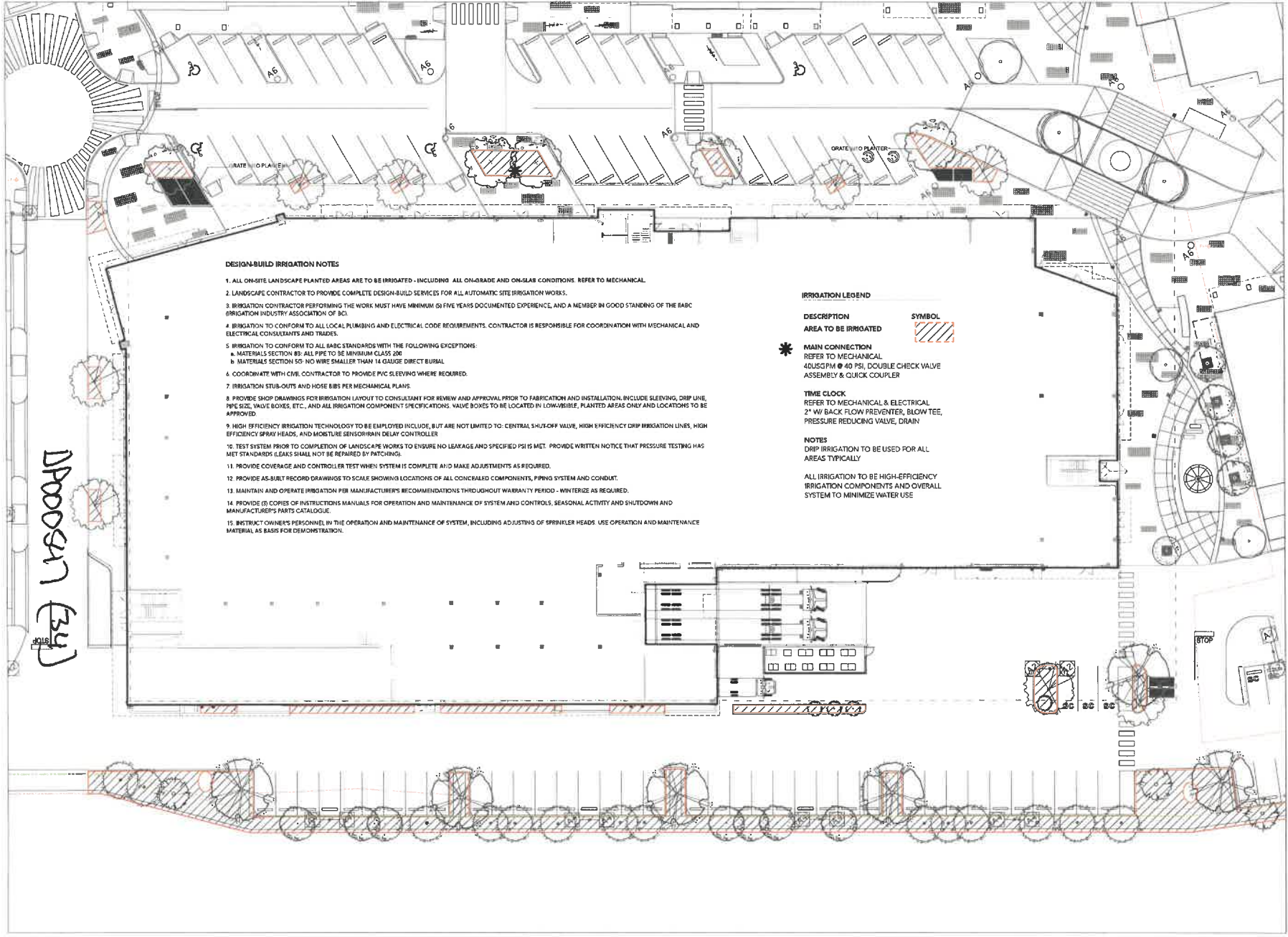
FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	MGC
Reviewed:	DS
Project No.	22-002

GRADING PLAN -
LEVEL 1

L3.0



DP00047 (34)

DESIGN-BUILD IRRIGATION NOTES

- 1. ALL ON-SITE LANDSCAPE PLANTED AREAS ARE TO BE IRRIGATED - INCLUDING ALL ON-GRADE AND ON-SLAB CONDITIONS. REFER TO MECHANICAL.
- 2. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
- 3. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM 50 FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
- 4. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
- 5. IRRIGATION TO CONFORM TO ALL IABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - a. MATERIALS SECTION 85: ALL PIPE TO BE MINIMUM CLASS 200
 - b. MATERIALS SECTION 50: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
- 6. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- 7. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
- 8. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION, INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBILITY, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
- 9. HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES, HIGH EFFICIENCY SPRAY HEADS, AND MOISTURE SENSOR/RAIN DELAY CONTROLLER.
- 10. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
- 11. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
- 12. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
- 13. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
- 14. PROVIDE (5) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
- 15. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.

IRRIGATION LEGEND

- DESCRIPTION
- AREA TO BE IRRIGATED
- MAIN CONNECTION
REFER TO MECHANICAL
40USGPM @ 40 PSI, DOUBLE CHECK VALVE
ASSEMBLY & QUICK COUPLER



- TIME CLOCK
REFER TO MECHANICAL & ELECTRICAL
2" W/ BACK FLOW PREVENTER, BLOW TEE,
PRESSURE REDUCING VALVE, DRAIN

- NOTES
DRIP IRRIGATION TO BE USED FOR ALL
AREAS TYPICALLY

ALL IRRIGATION TO BE HIGH-EFFICIENCY
IRRIGATION COMPONENTS AND OVERALL
SYSTEM TO MINIMIZE WATER USE

David Stoyko
Landscape Architect

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P 604-720-0048

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REVISIONS



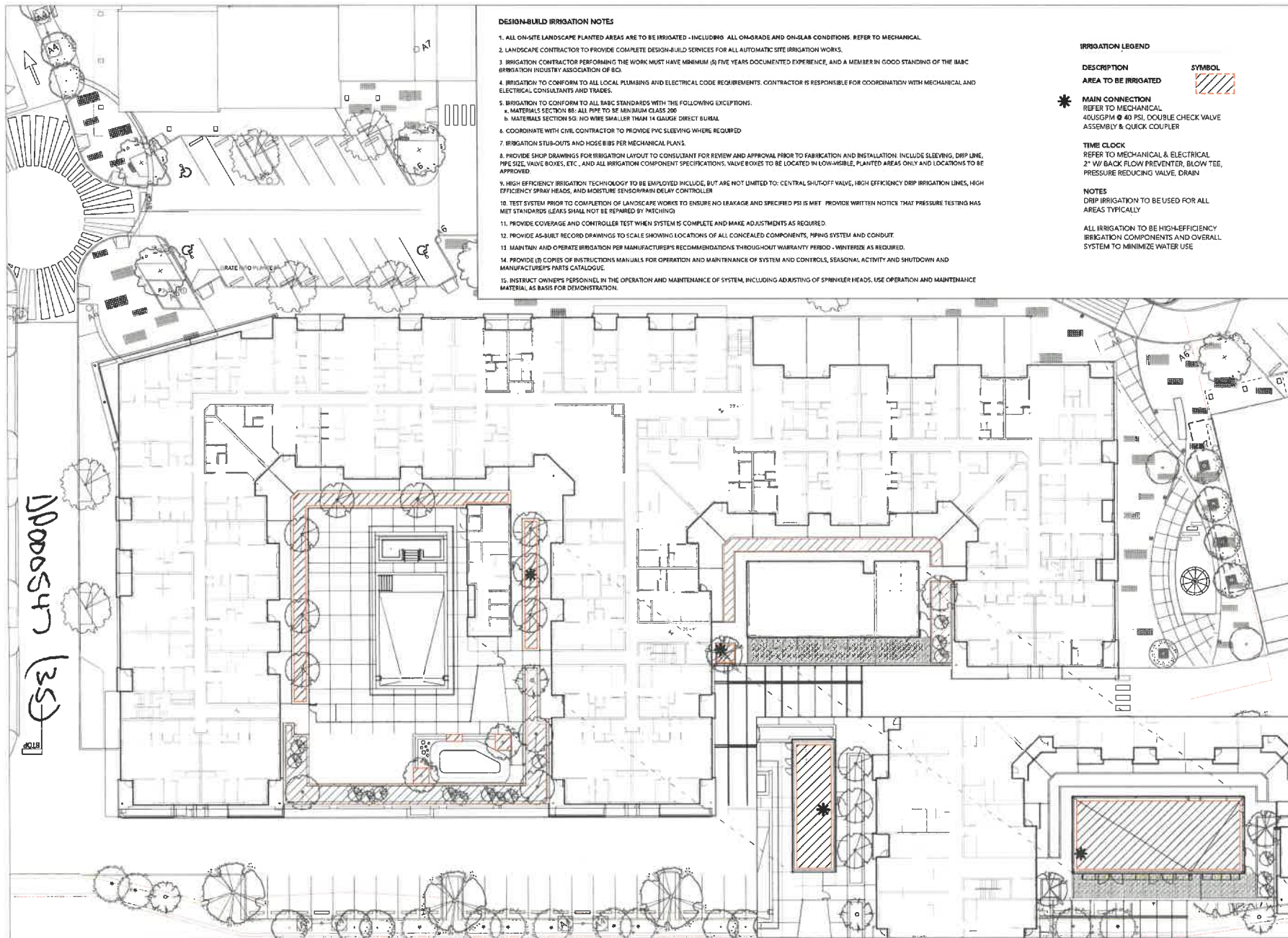
FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	1:200
Drawn:	DS
Reviewed:	DS
Project No.	22-002

IRRIGATION PLAN
LEVEL 1

L4.0



DESIGN-BUILD IRRIGATION NOTES

1. ALL ON-SITE LANDSCAPE PLANTED AREAS ARE TO BE IRRIGATED - INCLUDING ALL ON-GRADE AND ON-SLAB CONDITIONS. REFER TO MECHANICAL.
2. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
3. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IBAC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
4. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
5. IRRIGATION TO CONFORM TO ALL IBAC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - a. MATERIALS SECTION 86: ALL PIPE TO BE MINIMUM CLASS 200
 - b. MATERIALS SECTION 86: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
 - c. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED
 - d. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
 - e. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
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 - h. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
 - i. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
 - j. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
 - k. PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
 - l. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS, USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.

IRRIGATION LEGEND

DESCRIPTION
AREA TO BE IRRIGATED



* **MAIN CONNECTION**
REFER TO MECHANICAL
40USGPM @ 40 PSI, DOUBLE CHECK VALVE
ASSEMBLY & QUICK COUPLER

TIME CLOCK
REFER TO MECHANICAL & ELECTRICAL
2" W/ BACK FLOW PREVENTER, BLOW TEE,
PRESSURE REDUCING VALVE, DRAIN

NOTES
DRIP IRRIGATION TO BE USED FOR ALL
AREAS TYPICALLY

ALL IRRIGATION TO BE HIGH-EFFICIENCY
IRRIGATION COMPONENTS AND OVERALL
SYSTEM TO MINIMIZE WATER USE

David Stoyko
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REVISIONS



FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale: 1:200
Drawn: DS
Reviewed: DS
Project No. 22-002

IRRIGATION PLAN -
LEVELS 2 & 3

L4.1

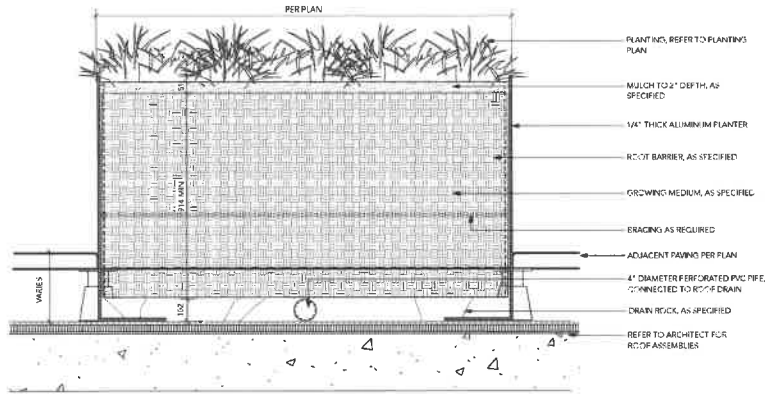
David Stoyko
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2685 6TH AVENUE EAST
VANCOUVER BC V6M 1B3
P 604.720.0048

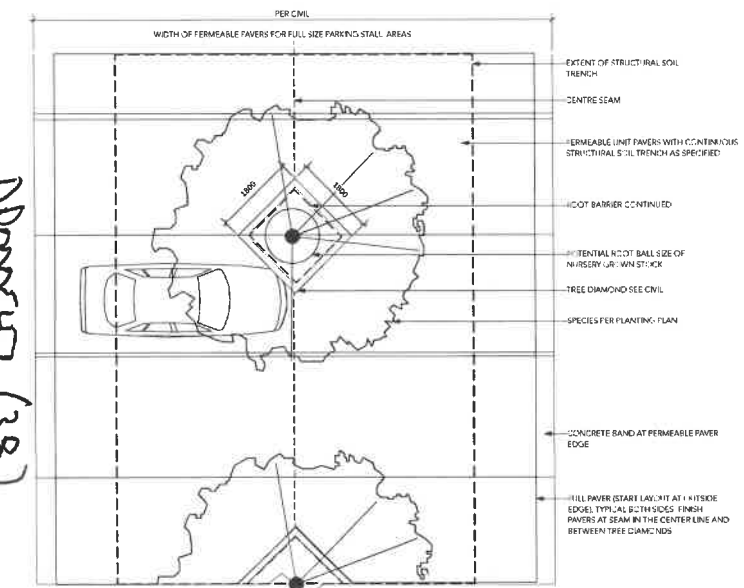
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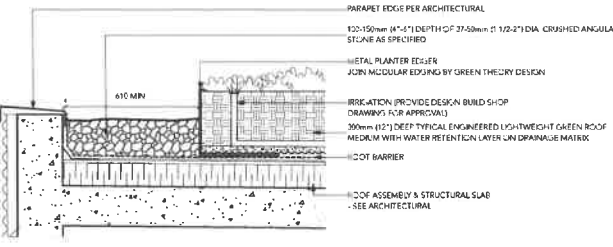


1 METAL PLANTER (TYPICAL)
Scale: 1:10

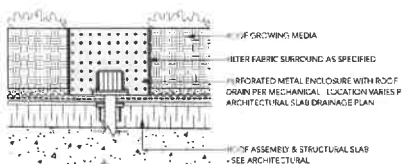


2 PARKING LOT TREE TRENCH (TYPICAL)
Scale: 1:50

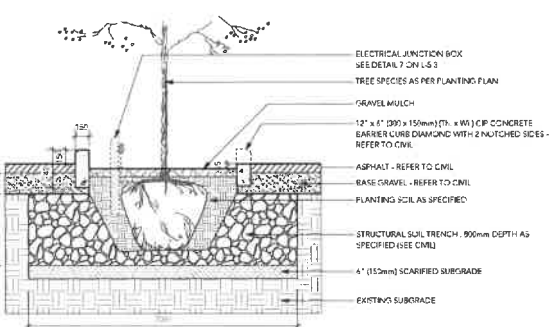
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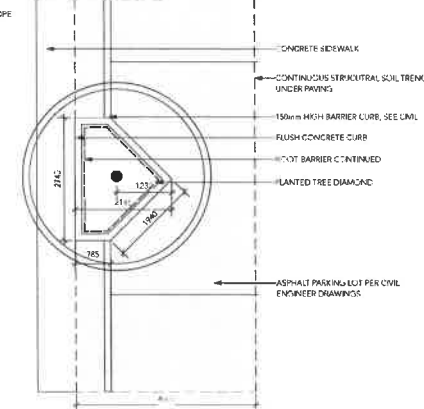
3 GREEN ROOF PLANTING
Scale: 1:10



4 GREEN ROOF PLANTING DRAIN
Scale: 1:10



5 TREE DIAMOND SURROUND & STRUCTURAL SOIL TRENCH
Scale: 1:25



6 STRUCTURAL SOIL AND TREE PLANTING PERIMETER PARKING
Scale: 1:50



BARRIER CURB NOTCH

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REVISIONS

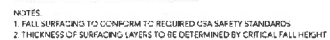
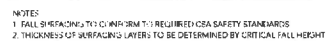


FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:
Drawn: MGC
Reviewed: DS
Project No. 22-002

DETAILS - SOFTSCAPE



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REVISIONS

onni

Scale:	
Drawn:	MGC
Reviewed:	DS
Project No.	22-002

DETAILS - PLAYSCAPE & FURNISHINGS

L5.3

FORO



TECHNICAL DRAWING OF THE 'T' BRAND WHEEL

Left View (Top-down): Shows a circular wheel face with a central hub and a pattern of small holes. A dimension line indicates a diameter of 10" (254 mm).

Right View (Side View): Shows the T-shaped cross-section of the wheel. The vertical stem has a diameter of 1 1/2" (38 mm). The horizontal top flange has a width of 10" (254 mm) and a thickness of 1 1/2" (38 mm). The total height of the wheel is 10" (254 mm).

DIMENSIONS

Dimension	Value
Height	10.1" (254 mm)
Diameter	10" (254 mm)
Length	10.0" (254 mm)

T 4000 Y(0-1000)
 T 0000-0000
 0000-0000

1	OC
	N/A

FORO



DIMENSIONS:
Height: 30.5"
Width: 18.5"
Depth: 21.8"
Weight: 14.2 lbs.

Y = 0.045X₁ + 0.0004X₂
t = 0.7792000000
error = 0.0000000000



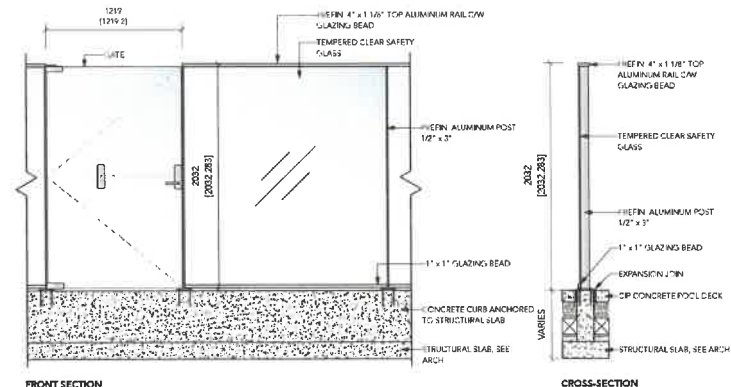
Figure 1 shows the dimensions of the test specimen. The width is 1820 mm. The total height is 727 mm, with the top section being 448 mm high.

2 PIC N/A

NA



3 FIRE PIT
N/A



FRONT SECTION

CROSS-SECTION

NOTES

- 1 SELF CLOSING GATE AND LATCH
- 2 CARD READER SHOWN TO ALL GATES
- 3 ENGINEERED SHOP DRAWINGS TO BE SUBMITTED FOR REVIEW AND APPROVAL BY CONSULTANTS.
- 4 ALL METAL GUARD ELEMENTS AND FASTENERS TO BE SIZED TO MEET REQUIRED GUARD LOADS AS PER VBBL AS DESIGNED AND DETERMINED BY GUARDRAIL CONTRACTOR
- 5 ALL FASTENERS TO BE STAINLESS STEEL
- 6 REFER TO GILMORE PHASE 1 DETAIL

4 POOL EN
Scale: 1:20

Scale: 1:20

2606 6TH AVENUE EAST
VANCOUVER BC V5M 1R3
P 604.720.0048

DAVIS-STICKLEY LANDSCAPE ARCHITECT DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ANY ELEMENT AT THE PROJECT SITE, INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES, OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

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1	ISSUED FOR REVIEW	21-09-02

REVISIONS

onni

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	
Drawn:	MGC
Reviewed:	DS
Project No.	22-002

DETAILS - FURNISHINGS

L5.4

David Stoyko Landscape Architect

2655 6TH AVENUE EAST
VANCOUVER BC V6M 1B3
P 604.730.0048

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REVISIONS

onni
LANDSCAPE ARCHITECT

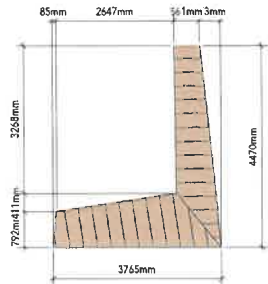
FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

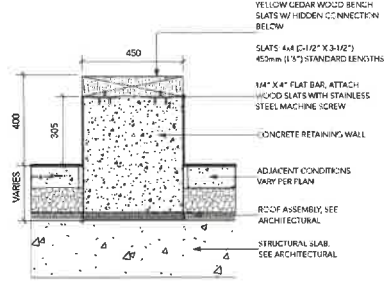
Scale:
Drawn: MGC
Reviewed: DS
Project No. 22-002

DETAILS - FURNISHINGS

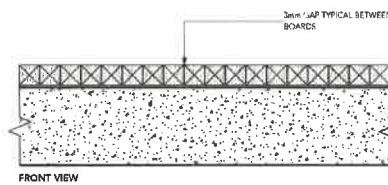
L5.5



1a CUSTOM BENCHES
Scale: 1:50



1b CUSTOM BENCH
Scale: 1:10

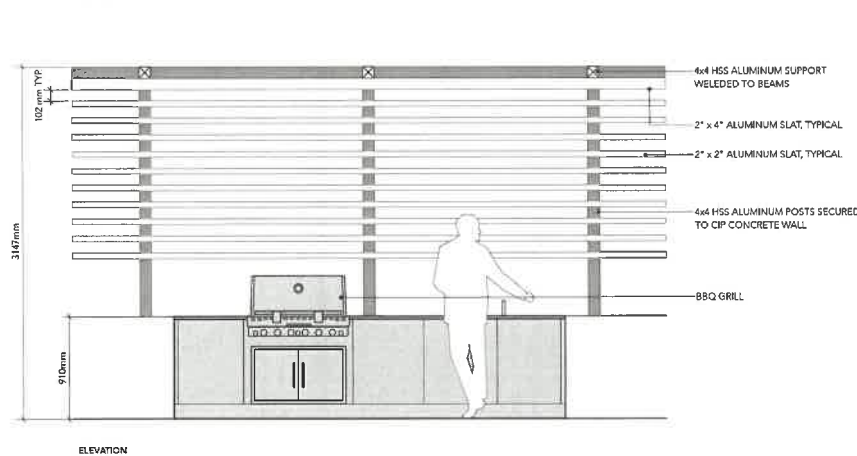
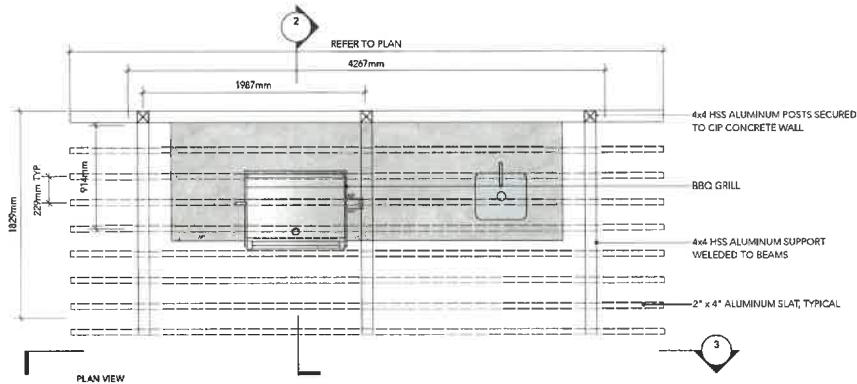


FRONT VIEW

2x4x8 ALUMINUM POSTS SECURED TO CIP CONCRETE WALL
2x4x8 ALUMINUM POSTS SECURED TO CIP CONCRETE WALL

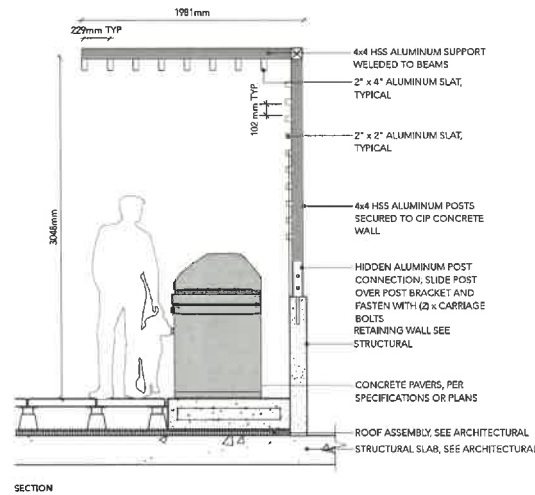


3 LOUNGE CHAIR
Scale: 1:20



2 TRELLIS AND BBQ COUNTER
Scale: 1:20

NOTE
1 CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW
2 ALL METAL TO BE POWDERCOATED BLACK



SECTION

DP000547 (41)

1550mm 1550mm 1550mm

2050mm

100MM X 100MM SQUARE SECTION TOP STEEL RAIL WELDED TO POSTS, BLACK PAINT COATING

100MM X 100MM X 10 GAUGE WELDED WIRE MESH SCREEN BLACK PAINTED

STEEL CLIP H PERSPEX BOLTED TO STEEL POSTS

100MM X 100MM SQUARE SECTION STEEL POST BLACK PAINT COATING

200MM X 200MM X 13MM STEEL BASE PLATE C/W 4 # 13MM DIAMETER X 100MM LONG H27X14X2 (55MM MINIMUM IMBEDDED INTO CONCRETE)

6 REBAR AT 300MM (12") SPACING

CONCRETE FOOTING

COMPACTED GRAVEL BASE

1 **FREESTANDING GREEN SCREEN**
Scale: 1:20

L5.5B

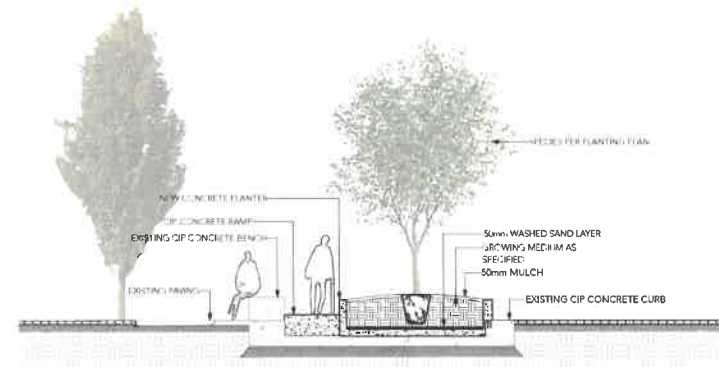
David Stoyko Landscape Architect

2686 6TH AVENUE EAST
VANCOUVER BC V6M 1K3
P 604.720.0848

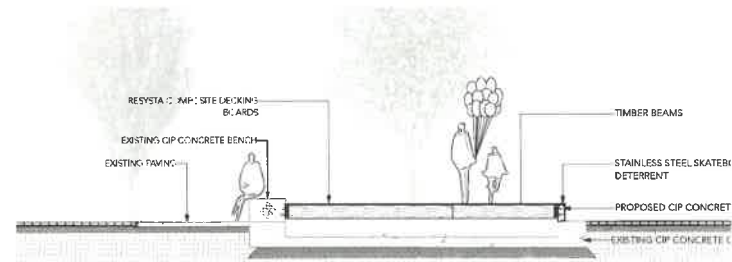
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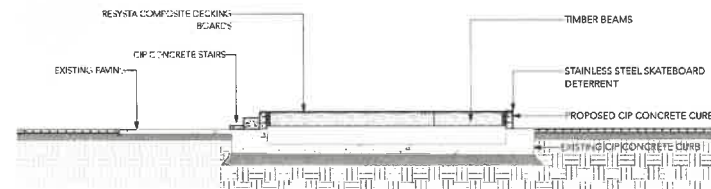
DO NOT SCALE OFF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS BY MEASURING OFF OF THESE DRAWINGS.



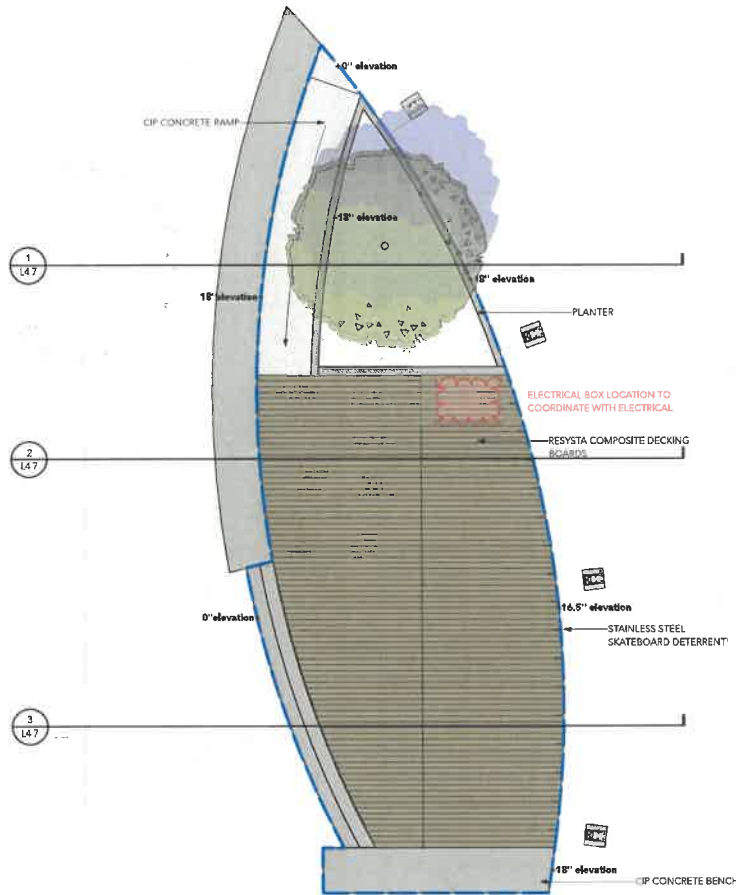
2 PLANTER & RAMP FEATURE
Scale: 1:50



3 TIMBER STAGE
Scale: 1:50



4 TIMBER STAGE
Scale: 1:50



1 HEART PLAZA - PLAN
Scale: 1:50

12	
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2	ISSUED FOR CITY REVIEW 22-08-05
1	ISSUED FOR REVIEW 21-09-02
REVISIONS	



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:
Drawn: MGC
Reviewed: DS
Project No. 22-002

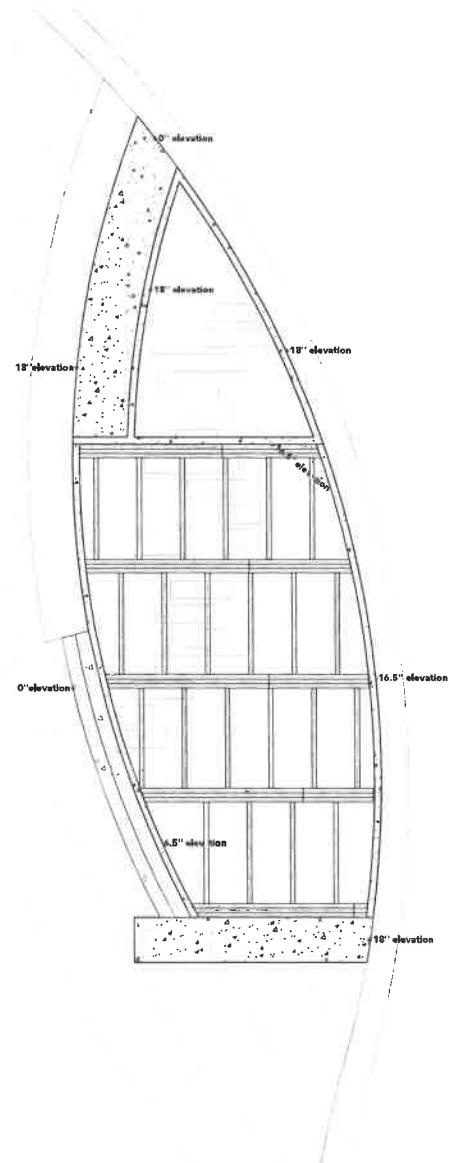
DETAILS - HEART PLAZA STAGE

L5.6

15000547 (44)

1 HEART PLAZA - EXISTING CONDITION
1:50

2 HEART PLAZA - FRAME
1:50



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REVISIONS



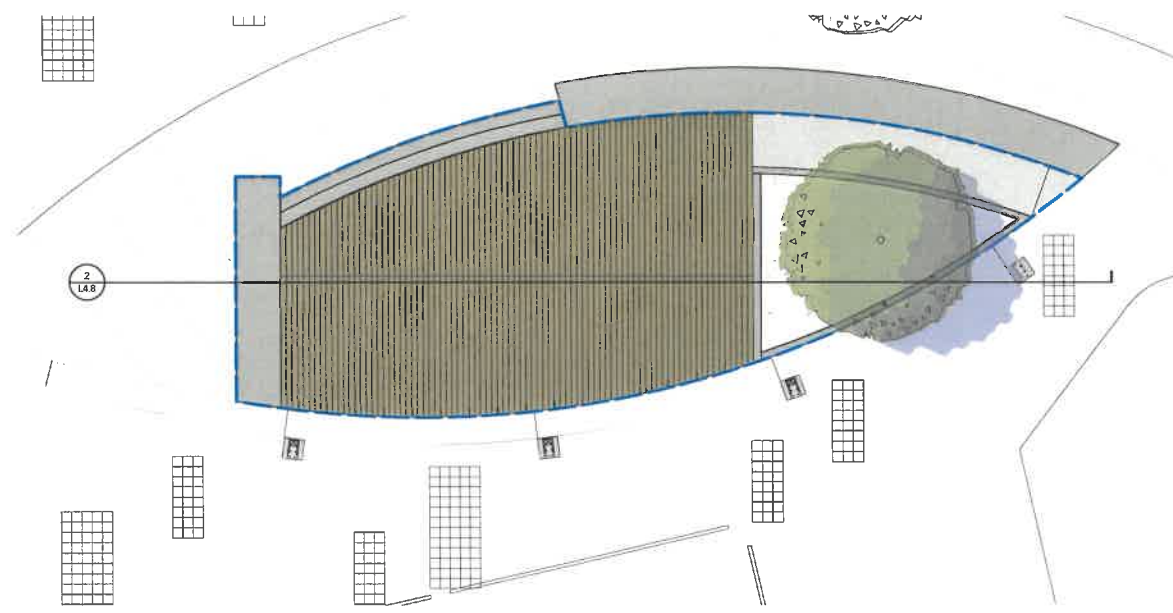
FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

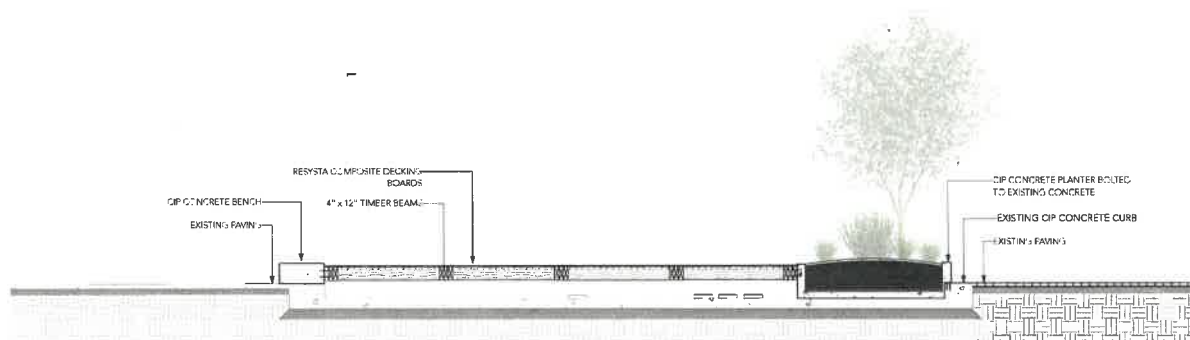
Scale:	
Drawn:	MGC
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Project No.	22-002

DETAILS - HEART PLAZA STAGE

L5.7



1 HEART PLAZA - PLAN
1:50



2 HEART PLAZA - LONG SECTION
1:50

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P 604.720.0048

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REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:
Drawn: MGC
Reviewed: DS
Project No. 22-002

DETAILS - HEART PLAZA STAGE

L5.8

DP000547 (45)

Series 31 Carriage Lane Bench

GENERAL SPECIFICATIONS

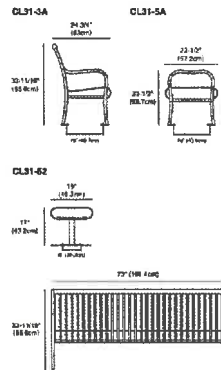
Material: A492 steel, wheel-derivated to bare metal, then pre-fabricated to final shape. The metal is first zinc primed then powder coated with polyester, electrostatically applied, and baked at high temperature to produce a non-resistant finish.
Hardware: All hardware is professionally finished with our baked-on polyester powder coating.

OPTIONS

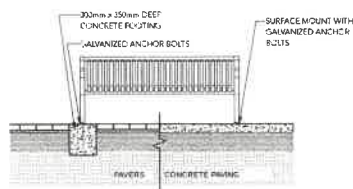
Material Colours: Make your choice from 28 standard paint colours. Or, for an additional charge, choose from one of over 160 custom paint colours. Standard colour chips and custom colour charts are available upon request.

ACCESSORIES

To give your project that professional finish, may we suggest the addition of our Series 31 receptacles. For a complete listing of our receptacles and other furnishings, please refer to the respective books in our catalogue.

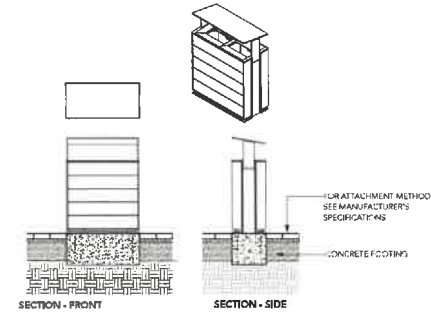


Frances Andrew 8th Parkingside Local 604.883.7712
19154 8th Avenue, Surrey, British Columbia TEL-FAX 1 800 565 6279

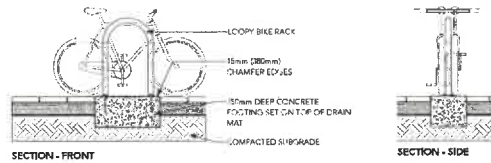
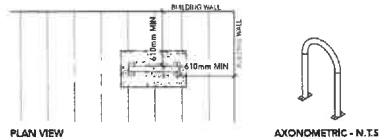


1 FRANCES ANDREW CARRIAGE LANE BENCH
N/A

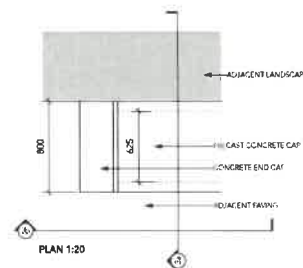
MODEL: APEX LITTER & RECYCLING RECEPTACLE (SLAPX - 36Q)
COLOUR: BLACK
SUPPLIER: FORMS+SURFACES (800 451 0410)



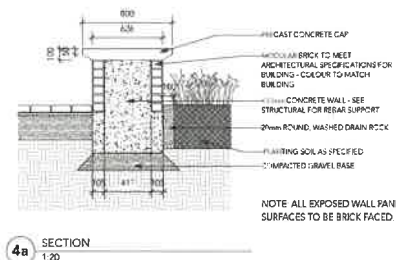
2 LITTER & RECYCLING CONTAINER
Scale 1:25



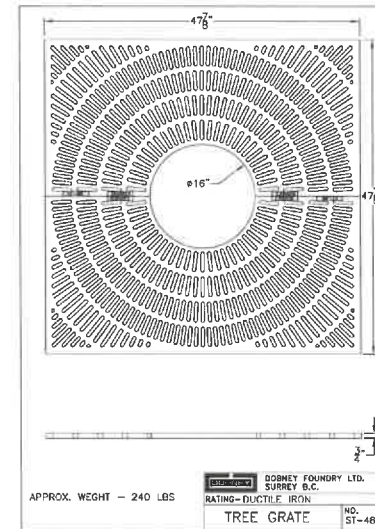
3 DERO - 'HOOP RACK' BIKE RACK (FOOT MOUNT)
Scale 1:25



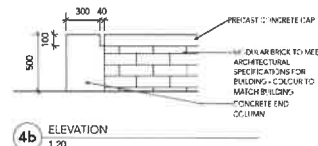
4 CONCRETE SEATWALL AT PLANTING
AS INDICATED



4a SECTION
1:20



5 TREE GRATE
N/A



4b ELEVATION
1:20

David Stoyko
Landscape Architect

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P 604.723.0948

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REVISIONS

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FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale: _____
Drawn: MGC
Reviewed: DS
Project No. 22-002

DETAILS - PUBLIC
REALM

L5.9

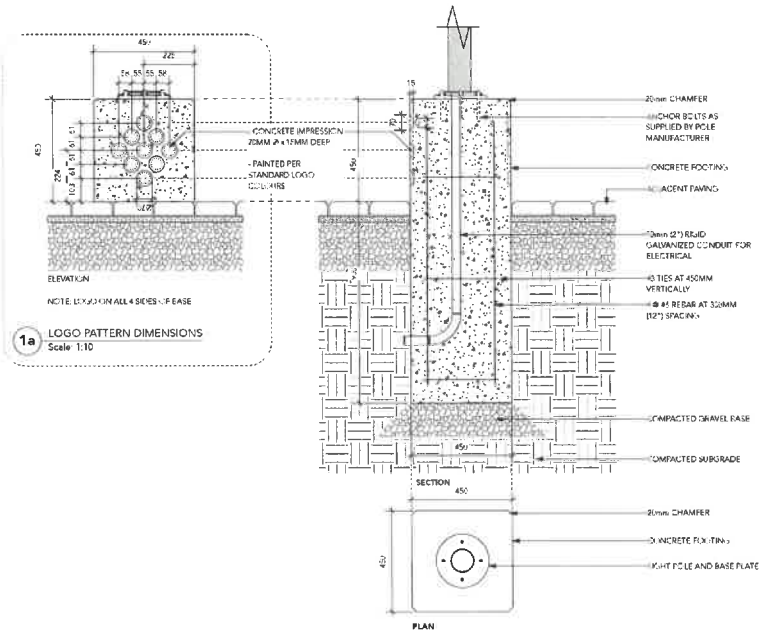
David Stoyko
Landscape Architect

2884 4TH AVENUE EAST
VANCOUVER BC V5M 1Y3
P 604.732.0048

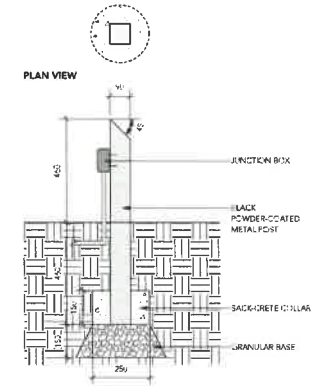
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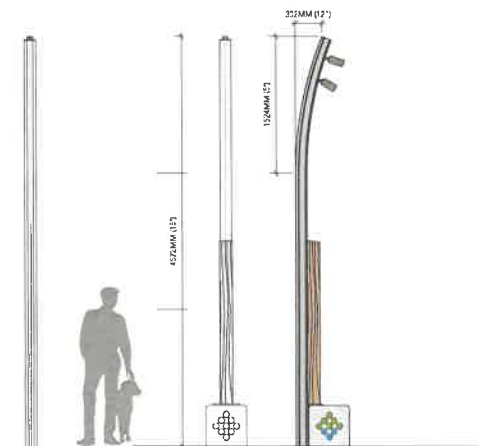
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1 LIGHT STANDARD BASE
Scale: 1:20



2 ELECTRICAL JUNCTION BOX FOR TREES
Scale: 1:10



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REVISIONS	



FREMONT VILLAGE
BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:
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Project No. 22-002

DETAILS - PUBLIC
REALM

L5.10

DP00547 (47)

David Stoyko Landscape Architect

2886 17th AVENUE EAST
VANCOUVER BC V6M 1P3
P 604 720 0668

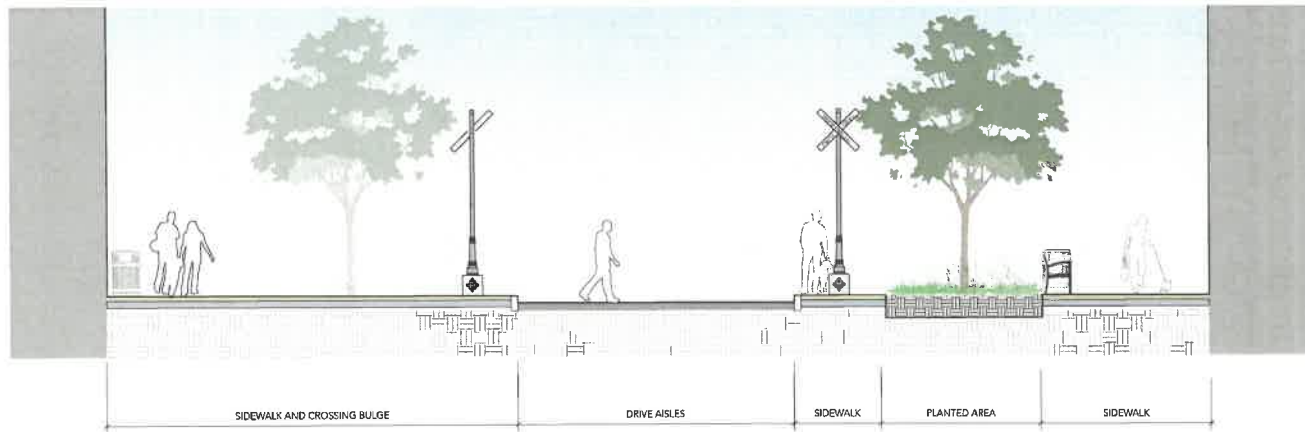
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1a CROSSING SIGN PRECEDENTS & INSPIRATION
Scale: 1:50



1 SHOPPING PROMENADE WITH CROSSING SIGN
Scale: 1:50

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REVISIONS



FREMONT VILLAGE BUILDING P

850 Village Drive, Parcel C
Port Coquitlam, British Columbia

Scale:	
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Reviewed:	DS
Project No.	22-002

DETAILS - PUBLIC
REALM

L5.11

Schedule A

Energy Conservation

Conservation Measure	Verification Method
Building design to meet BC Energy Step Code step as required by the Building and Plumbing Bylaw	BP Stage; staff review of building permit
Light coloured roofing membrane to minimize solar heat gain	BP stage; staff review of building permit
Installation of green roof on the pool shower/change and gym/co-work buildings	BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arborist
Glazing to be maximized wherever possible for natural light.	BP Stage; staff review of building plans
Operable windows will be provided to allow natural ventilation	BP Stage; staff review of building plans
Windows are to be efficient thermally broken to help reduce solar heat gain	BP Stage; staff review of building plans
Lights will be timer and sensor controlled where possible. Fixtures will be LED to minimize energy consumption.	BP Stage; written confirmation by developer
Energy Star rated appliances will be used for residential uses.	BP Stage; written confirmation by developer

Water Conservation

Conservation Measure	Verification Method
Plumbing fixtures to be low-flow	BP Stage; staff review of building plans
High-efficiency irrigation system with rain sensors will be installed	BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arborist

GHG Reduction

Conservation Measure	Verification Method
Provision of recycling storage facilities	BP Stage; staff review of building plans
Electric vehicle charging rough in	BP Stage; staff review of building plans
Use no or low volatile organic compounds (VOCs) content interior paints	BP Stage; written confirmation by developer.