

THE CORPORATION OF THE CITY OF PORT COQUITLAM
“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT PERMIT

NO. DP000597

Issued to: Provincial Rental Housing Corporation, INC.NO. BC0052129
(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: 1701-4555 Kingsway, Burnaby, BC V5H 4V8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this Permit.
2. This Development Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

Address: 2365 and 2371 Kelly Ave, Port Coquitlam

Legal Description: LOT K DISTRICT LOT 289 GROUP 1 NEW WESTMINSTER DISTRICT
PLAN 22141
LOT L DISTRICT LOT 289 GROUP 1 NEW WESTMINSTER DISTRICT
PLAN 22141

P.I.D.: 009-154-833; 009-154-876

3. The above property has been designated as a Development Permit Area under Section 9.0 – Development Permit Area in the “Official Community Plan Bylaw, 2013, No. 3838”.
4. “Port Coquitlam Zoning Bylaw, 2008, No. 3630” and “Parking and Development Management Bylaw, 2018, No.4078” are varied, supplemented or both in accordance with the following:
 - a. The form and character of the building, including the siting, height and general design, shall be as shown on drawings numbered DP000597 (1) to DP000597 (29) which are attached hereto and form part of this permit.
 - b. The form and character of on-site landscaping shall be as shown on drawings numbered DP000597 (18) to DP000597 (28) and the following standards for landscaping are imposed:

- (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto.
 - (ii) All planting materials shall be able to survive for a period of one year from the date of the site landscape approval by the Municipality.
- c. The building and landscaping shall provide the energy conservation, water conservation and GHG emission reduction elements as shown on Schedule A to the drawings which are attached hereto and form part of this permit.

5. Landscape Security

- (a) As a condition of the issuance of this permit, the security set out below will be held by the Municipality prior to the issuance of a building permit to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clause 4 above. There is filed accordingly an irrevocable Letter of Credit or cash security in the amount \$324,096.00 for the purpose of landscaping.
- (b) Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. A condition of the posting of the security is that should the Permittee fail to carry out the works or services as hereinabove stated, according to the terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by its servants, agents or contractors, and any surplus shall be paid over to the Permittee.
- (c) The Permittee shall complete the landscaping works required by this permit within six months of the final inspection for the final phase of the development. Within the six month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within the six month period, the Municipality has the option of continuing to hold the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping, and recoup additional costs from the Permittee if necessary. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

- (d) Should the Permittee carry out the works and services permitted by this permit within the time set out above, the security shall be returned to the Permittee.
6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit, which shall form a part hereof.

7. This permit shall lapse if the Permittee does not substantially commence the construction permitted by this permit within two years of the (issuance) date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

APPROVED BY THE COMMITTEE OF COUNCIL THE _____ DAY OF MARCH 2025.

SIGNED THIS _____ DAY OF _____ 2025.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND
CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or
Representative of Applicant)

NEW VIEW SOCIETY 2371 KELLY AVE., PORT COQUITLAM

ISSUED FOR DP PRIOR TO REV. 1 - 2025-01-10



HOUSING EFFICIENCY

Units:	3,208 m ² (34,431 ft ²)
Circulation:	1020 m ² (10,959 ft ²)
Indoor Amenity:	2,760 m ² (29,571 ft ²) Includes 2,200 m ² of Overhang Unit - 1,430 m ²
Outdoor Amenity/ Landscape Open Space (Excluded):	2,050 m ² (22,159 ft ²) Requires 2,050 m ² per Dwelling Unit - 2,050 m ²
Private Outdoor Amenity (Excluded):	1,010 m ² (10,821 ft ²)
Service Areas:	14 m ² (150 ft ²)
Admin Areas:	92 m ² (987 ft ²)
Total:	4,942 m ² (53,274 ft ²)
GFA:	4,440 m ² (47,753 ft ²) Excludes Outdoor Amenity
Efficiency:	1.09 (84 m ² / GFA)

Unit Mix (Total):

2 Bed (Adaptable):	10 units (0.31%)
1 Bed (Adaptable):	6 units (0.19%)
Studio (Total):	60 units (1.87%)
Accessible:	10 units (0.31%)
A-Access:	50 units (1.56%)
Total:	74 units - (2.37%)
Units Per Acre:	14 units on 0.1 Acre = 142 U/A

PROJECT INFORMATION

SITE INFO	009-154-870 & 009-154-833
ADDRESS	2371 KELLY AVE
LEGAL	2371-2371 KELLY AVE
ZONING	INVESTMENT DISTRICT, PLAN 11/02/2141 (GROUP 1)
LOT AREA	15,611.00 sq m
BUILDING AREA	17,663.56 sq ft
LOT COVERAGE	10,607.45 sq ft In PAC zones the maximum lot coverage may be increased by 25% of the proportion of increased off-street parking that is provided underground or within a structure, up to 63%. (See drawing 3/A101)

SETBACKS	PERMITTED (m)	PERMITTED (ft)	PROPOSED (m)	PROPOSED (ft)
FRONT	4.00 m	13.12 ft	4.00 m	13.12 ft
REAR	7.50 m	24.61 ft	7.50 m	24.61 ft
SIDE (WEST)	4.00 m	13.12 ft	4.00 m	13.12 ft
SIDE (EAST)	3.00 m	9.84 ft	3.00 m	9.84 ft

DATUMS & HEIGHTS	METRIC	IMPERIAL
AVERAGE NATURAL GRADE	5.55 m	18.21 ft

FLOOD CONSTRUCTION LEVEL	9.88 m	22.67 ft
ALLOWABLE HEIGHT	30.00 m	98.43 ft
PROPOSED HEIGHT	24.73 m	81.14 ft

GROSS FLOOR AREAS		
PARKING GARAGE	963.67 sq m	10372.85 sq ft
FIRST FLOOR	925.14 sq m	9958.11 sq ft
SECOND FLOOR	712.51 sq m	7639.28 sq ft
THIRD FLOOR	712.51 sq m	7639.28 sq ft
FOURTH FLOOR	712.51 sq m	7639.28 sq ft
FIFTH FLOOR	674.53 sq m	7260.57 sq ft
SIXTH FLOOR	674.53 sq m	7260.57 sq ft
TOTAL (EXCLUDING PARKING GARAGE)	4562.80 sq m	49437.31 sq ft

FAR EXCLUSIONS	644.53 sq m	6928.12 sq ft
	136.00 sq m	1466.52 sq ft

GFA - FAR EXCLUSIONS	3510.40 sq m	37755.58 sq ft
ALLOWABLE FAR	2.5	4102.5 sq m
PROPOSED FAR	2.1	3765.58 sq ft

OPEN SPACE	25.9 sq m	277.58 sq ft
REQUIRED OPEN (1% OF GFA)	250 sq m	2688.11 sq ft
PROPOSED OPEN SPACE		277.58 sq ft

UNITS PER ACRE	N/A	
REQUIRED U/A	162.5	
PROPOSED U/A		

PARKING	REQUIRED	PROPOSED
One (1) parking space per dwelling unit	74	18
		(5.37) Variance Required, 2 small car spaces (11%)
One (1) bike space per dwelling unit	74	74
		(1:1)

See (B) short-term bike spaces, minimum for a building containing more than 20 units.

SUITE SCHEDULE

UNIT TYPE	QUANTITY	AREA (m ²) / UNIT	AREA (sq ft) / UNIT	SUITE NUMBERS
A STUDIO ADPT	50	35.7	383.9	1,62, 105, 106, 108, 107, 1,08, 202, 203, 205, 206, 207, 208, 209, 210, 211, 212, 302, 303, 305, 306, 307, 308, 309, 310, 311, 312, 314, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 504, 505, 506, 507, 510, 511, 512, 604, 605, 606, 607, 610, 611, 612
B1 STUDIO ADPT	3	15.4	165.9	210, 311, 410, 511, 608
C1 STUDIO ADPT	2	4.7	50.5	2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000
D STUDIO ADPT	5	37.4	401.0	501, 601
E 1-BED ADPT	5	39.5	424.5	111, 111, 411, 509, 609
F 2-BED ADPT	4	78.1	840.1	104, 104, 304, 404
G 3-BED ADPT	4	115.4	1240.1	101, 101, 301, 401
H 4-BED ADPT	2	84.0	904.6	100, 600

DRAWING SCHEDULE

- A 000 COVER SHEET
- A 000B PERSPECTIVES
- A 101 SITE PLAN
- A 200 PARKING PLAN
- A 201 GROUND FLOOR PLAN
- A 202 2ND FLOOR PLAN
- A 203 3RD FLOOR PLAN
- A 204 4TH FLOOR PLAN
- A 205 5TH FLOOR PLAN
- A 206 6TH FLOOR PLAN
- A 207 ROOF LEVEL PLAN
- A 208 ROOF PLAN
- A 209 ELEVATION - SOUTH & WEST
- A 210 ELEVATIONS - NORTH & EAST
- A 400 SECTIONS
- A 401 SECTIONS
- A 600 FINISHES

CONTACT INFORMATION

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REVISIONS

NO.	DATE	DESCRIPTION
12	2024-10-18	Issued for 25% CD
13	2024-11-27	Issued for 50% CD Review
14	2024-12-12	Issued for DP Prior To
15	2025-01-10	Issued for DP Prior To Rev. 1

PROJECT INFORMATION

PROJECT NUMBER: 2371 Kelly Ave.
PROJECT START DATE: Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
COVER SHEET

DRAWING NUMBER:
A 000

SCALE:
NTS

CROWN BY:
GC

DP000 597(1)



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REVISIONS

ISSUES	
12 2024-10-18	Issued for 25% CD
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15 2025-01-10	Issued for DP Prior To Rev.1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
2371 Kelly Ave.
Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly
Ave.

DRAWING TITLE:
PERSPECTIVES

DRAWING NUMBER:
A 000B

SCALE: DRAWN BY:
NTS GC



DP000sa7 (2)

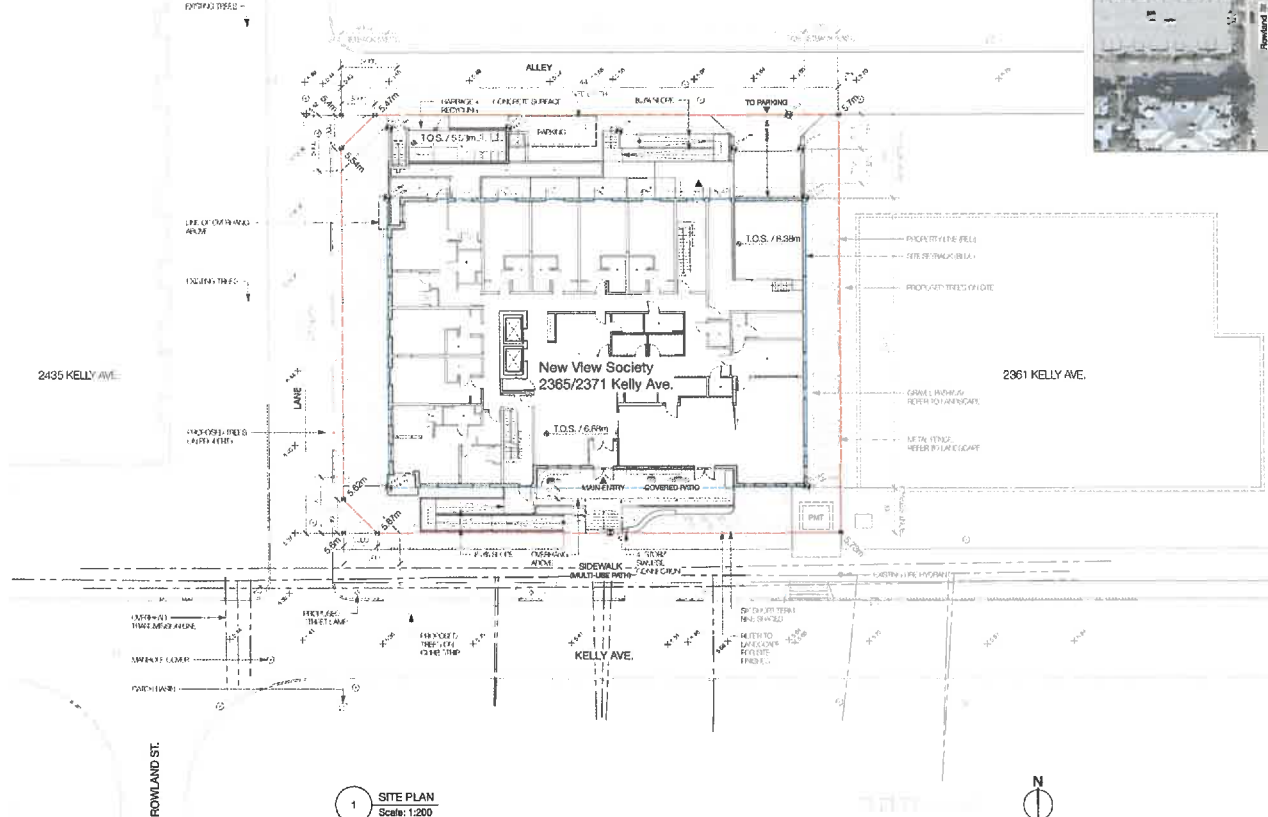


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2 LOCATION PLAN
Scale: 1:1000



1 SITE PLAN
Scale: 1:200



3 LOT COVERAGE
Scale: 1:500

REVISIONS

DATE	DESCRIPTION	ISSUED FOR
12 2024-10-18	Issued for 25% CD	
13 2024-11-27	Issued for 50% CD Review	
14 2024-12-12	Issued for DP Prior To	
15 2025-01-10	Issued for DP Prior To Rev.1	

PROJECT NUMBER: PROJECT START DATE

PROJECT ADDRESS:
2371 Kelly Ave
Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A 101

SCALE: DRAWN BY:
GC

D8000597(3)



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REVISIONS

ISSUES	
12 2024-10-18	Issued for 25% CD
13 2024-11-27	Issued for 50% CD Review
14 2024-12-12	Issued for DP Prior To
15 2025-01-10	Issued for DP Prior To Rev.1

PROJECT NUMBER: PROJECT START DATE:

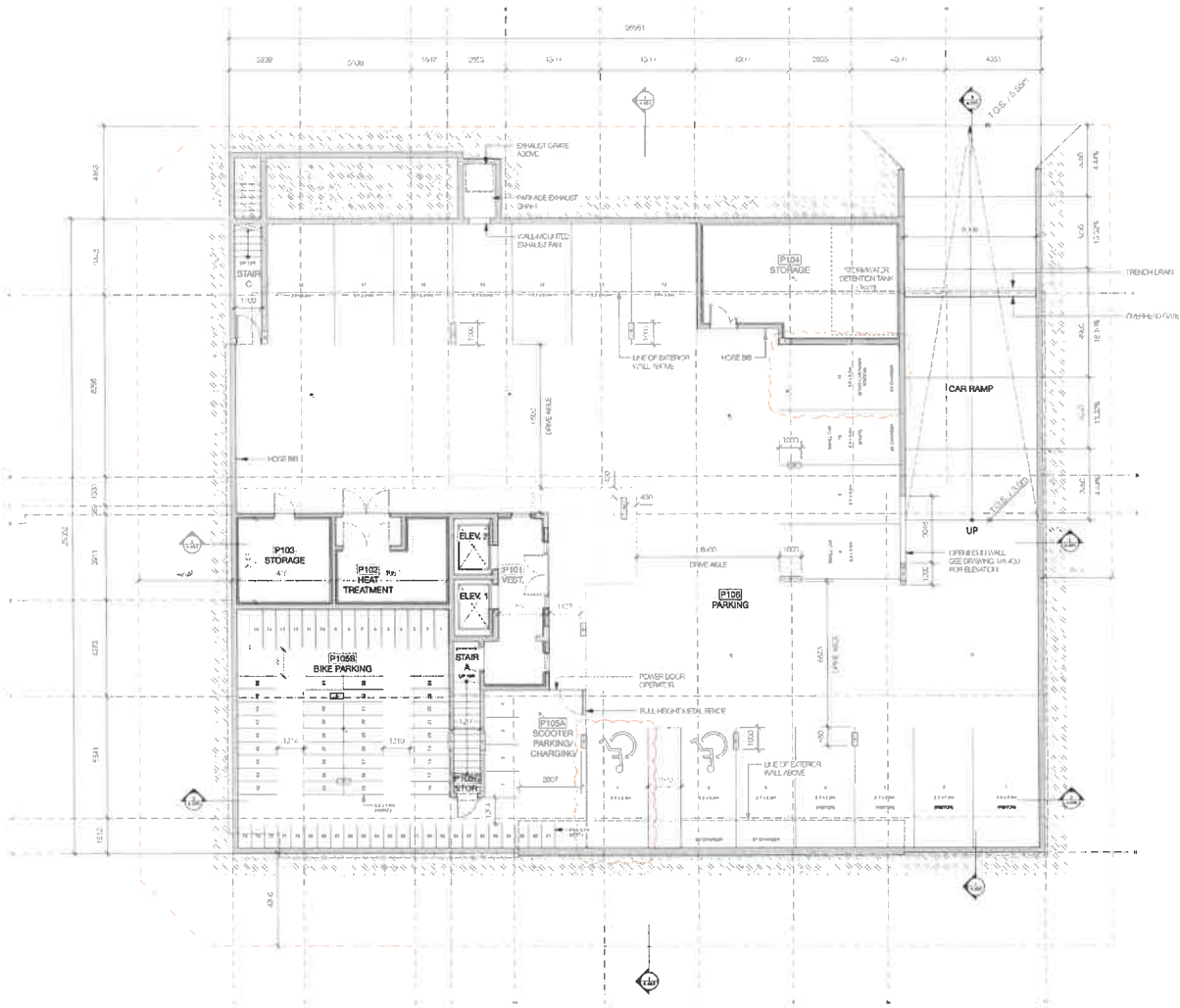
PROJECT ADDRESS:
2371 Kelly Ave,
Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
PARKING PLAN

DRAWING NUMBER:
A 200

SCALE: 1:100 DRAWN BY: GC



PARKING GARAGE	
PARKING:	18 SPACES (10 CARS & 8 BIKES) (P100)
BIKE PARKING:	74 SPACES TOTAL 50 IN PROGRESS (P100) 24 OFF-ROAD (P100)
SCOOTER PARKING:	40 SPACES
NOTE: ALL APPLICABLE PARKING SPACES (CAR, BICYCLE, BIKES, E-SKATEBOARD, E-SKATEBOARD) ARE TO BE INSTALLED TO BE INSTALLED.	

1 PARKING PLAN
Scale: 1:100



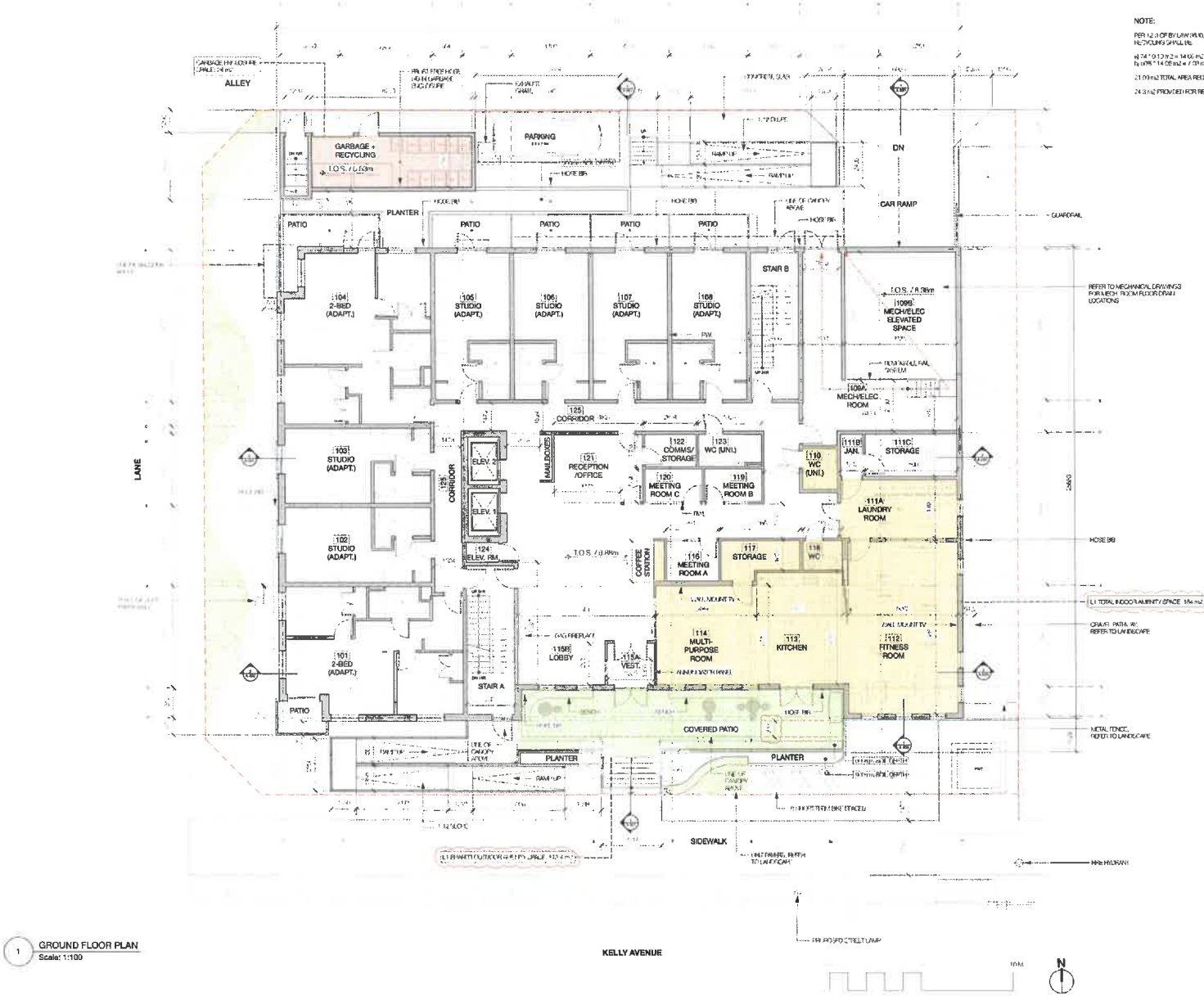
Drawing 2371 (4)



2025-01-10
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NOTE:
PER 12.2 OF BY-LAW 146, SPACE ALLOCATION FOR THE STORAGE OF RECYCLING MATERIAL:
4.14 TO 12.12 = 14.00 M² MGD
14.00 M² TO 14.00 M² = 7.00 M²
21.00 M² TOTAL AREA REQUIRED FOR RECYCLING STORAGE
24.34 M² PROVIDED FOR RECYCLING AND GARBAGE

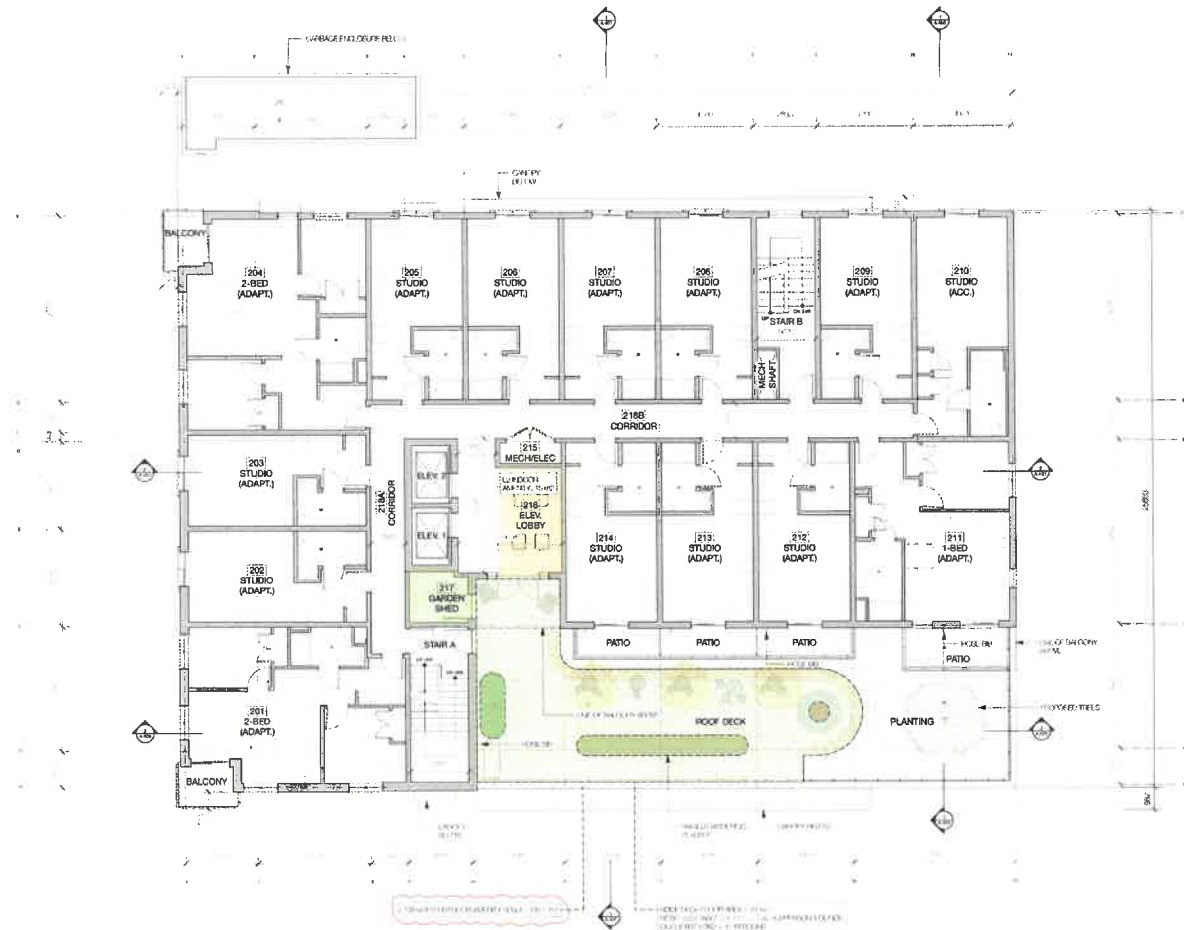


D000597 (5)



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1 2ND FLOOR PLAN
 Scale: 1:100

REVISIONS:

ISSUES	
12 2024-10-18	Issued for 25% CD
13 2024-11-27	Issued for 50% CD Review
14 2024-12-12	Issued for DP Prior To
15 2025-01-10	Issued for DP Prior To Rev. 1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
 2371 Kelly Ave.
 Port Coquitlam BC V3C 1Y3

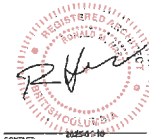
PROJECT NAME:
 New View Society 2371 Kelly Ave.

DRAWING TITLE:
 2ND FLOOR PLAN

DRAWING NUMBER:
A 202

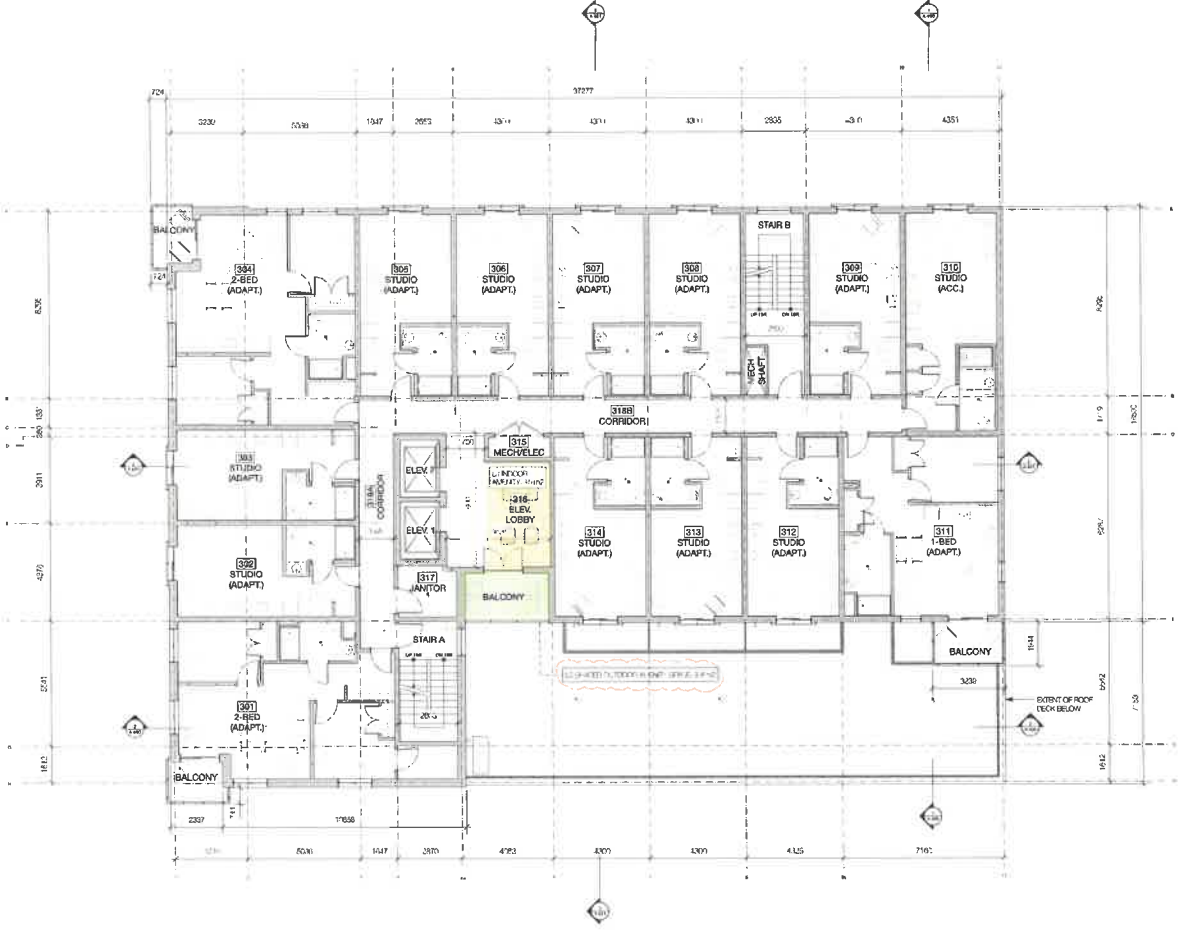
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1 3RD FLOOR PLAN
Scale: 1:100



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 - 13 2024-11-27 Issued for 50% CD Review
 - 14 2024-12-12 Issued for DP Prior To
 - 15 2025-01-10 Issued for DP Prior To Rev.1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS
2371 Kelly Ave.
Port Coquitlam BC V3C 1Y3

PROJECT NAME
New View Society 2371 Kelly Ave.

DRAWING TITLE
3RD FLOOR PLAN

DRAWING NUMBER
A 203

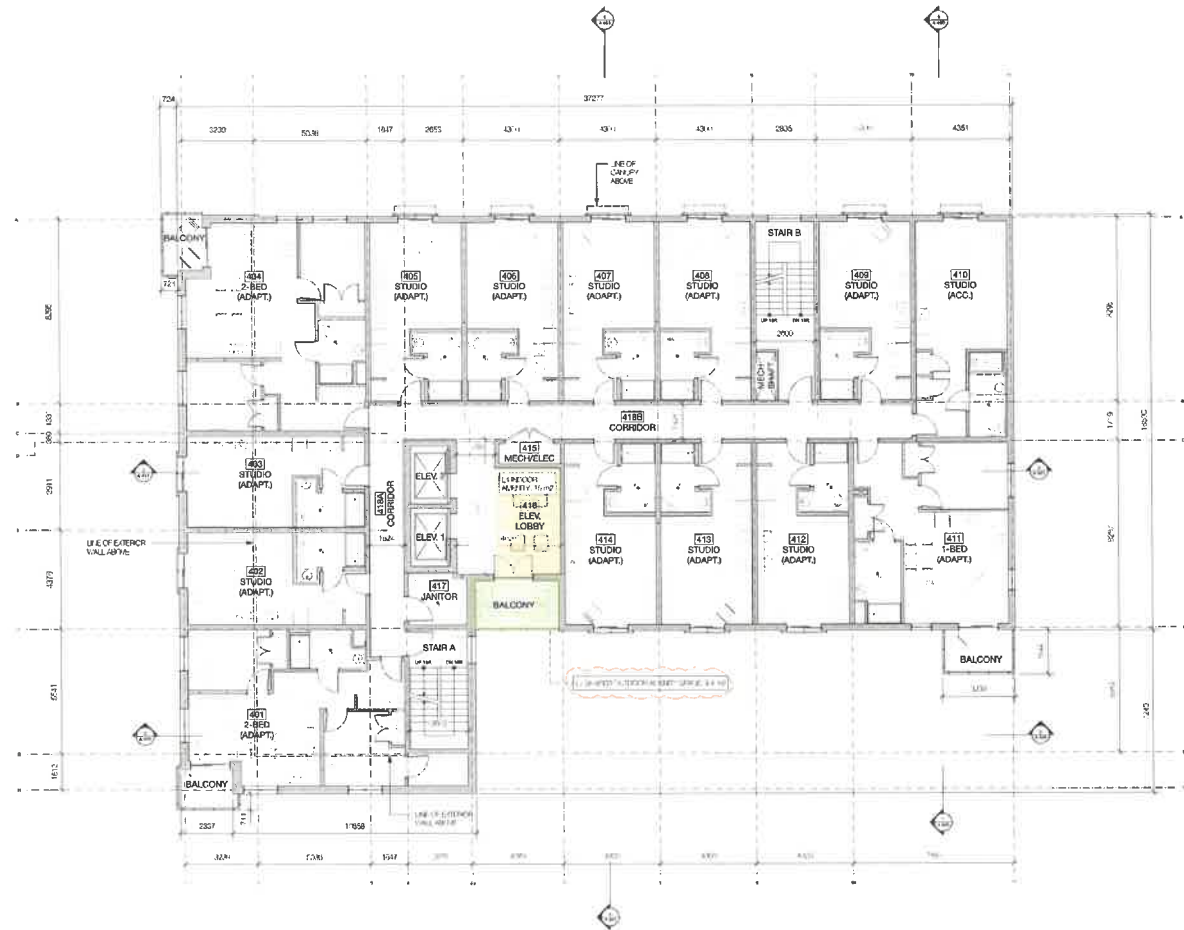
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1 4TH FLOOR PLAN
Scale: 1:100



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| 13 | 2024-11-27 | Issued for 50% CD Review |
| 14 | 2024-12-12 | Issued for DP Prior To |
| 15 | 2025-01-10 | Issued for DP Prior To Rev.1 |

PROJECT NUMBER PROJECT START DATE

PROJECT ADDRESS
2371 Kelly Ave.
Port Coquitlam BC V3C 1Y3

PROJECT NAME
New View Society 2371 Kelly Ave.

DRAWING TITLE
4TH FLOOR PLAN

DRAWING NUMBER
A 204

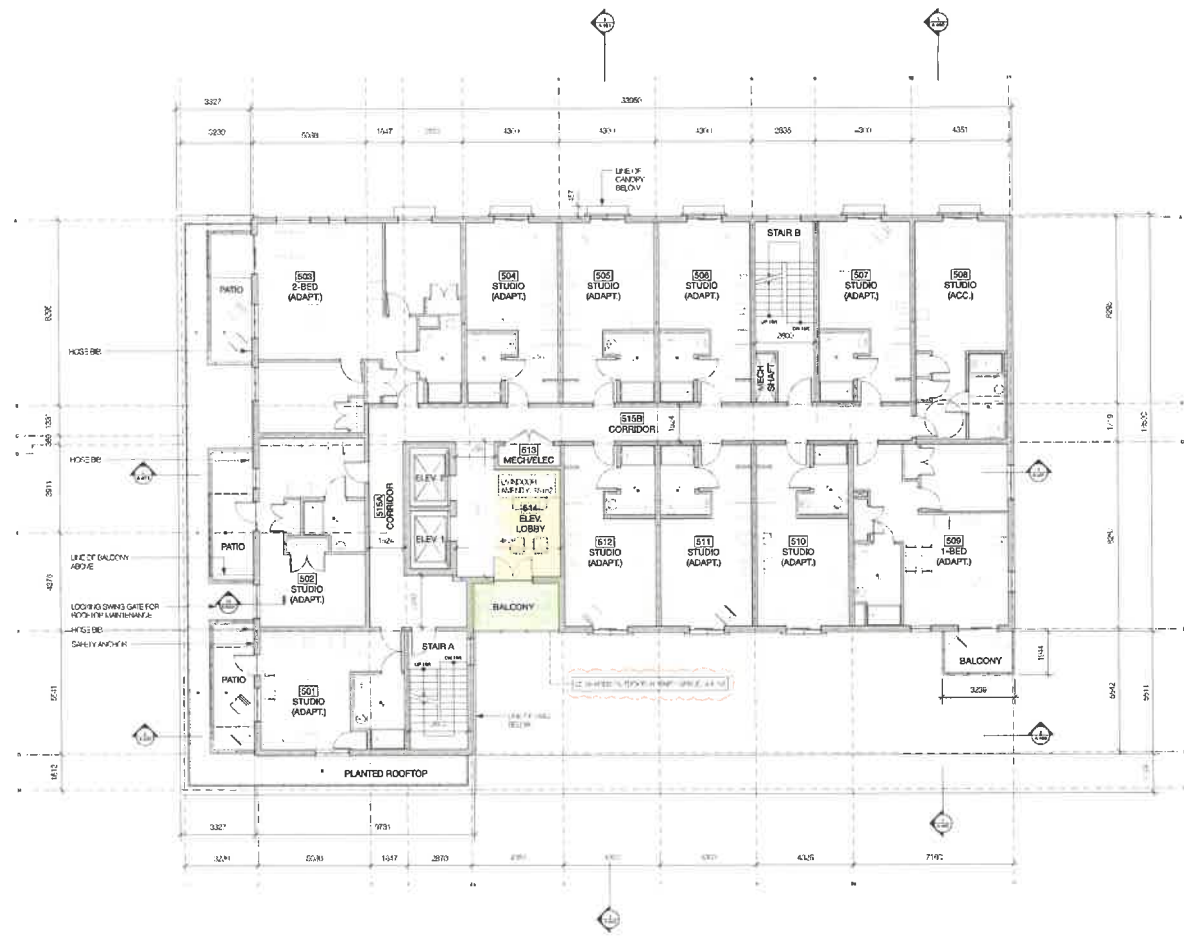
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1 6TH FLOOR PLAN
 Scale: 1:100



REVISIONS:

- | ISSUES | DATE | DESCRIPTION |
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| 12 | 2024-10-18 | Issued for 25% CD |
| 13 | 2024-11-27 | Issued for 50% CD Review |
| 14 | 2024-12-12 | Issued for DP Prior To |
| 15 | 2025-01-10 | Issued for DP Prior To Rev.1 |

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
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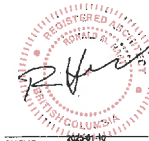
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 New View Society 2371 Kelly Ave.

DRAWING TITLE:
 6TH FLOOR PLAN

DRAWING NUMBER:
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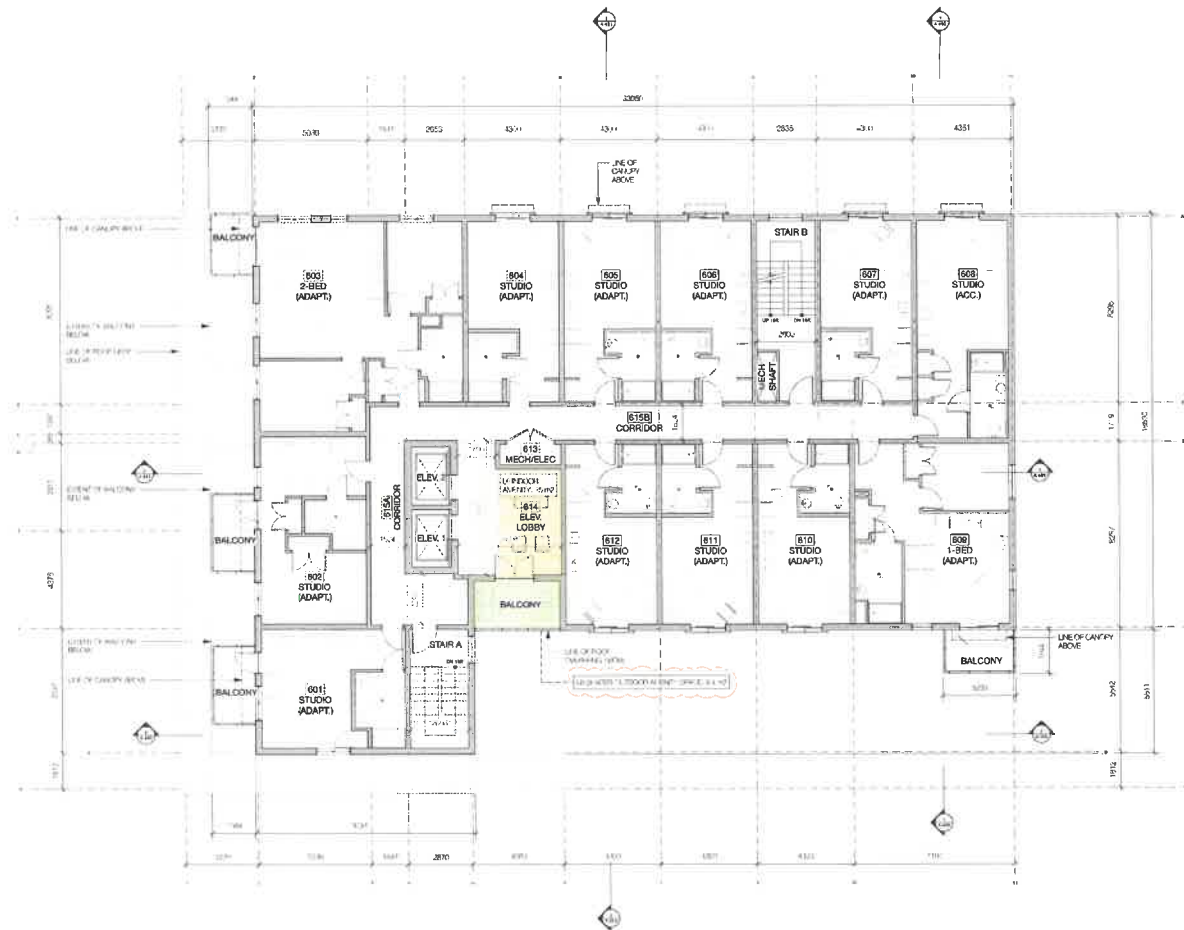
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1 6TH FLOOR PLAN
Scale: 1:100



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REVISION	DATE	DESCRIPTION
12	2024-10-18	Issued for 25% CD
13	2024-11-27	Issued for 50% CD Review
14	2024-12-12	Issued for DP Prior To
15	2026-01-10	Issued for DP Prior To Rev.1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
2371 Kelly Ave
Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
6TH FLOOR PLAN

DRAWING NUMBER:
A 206

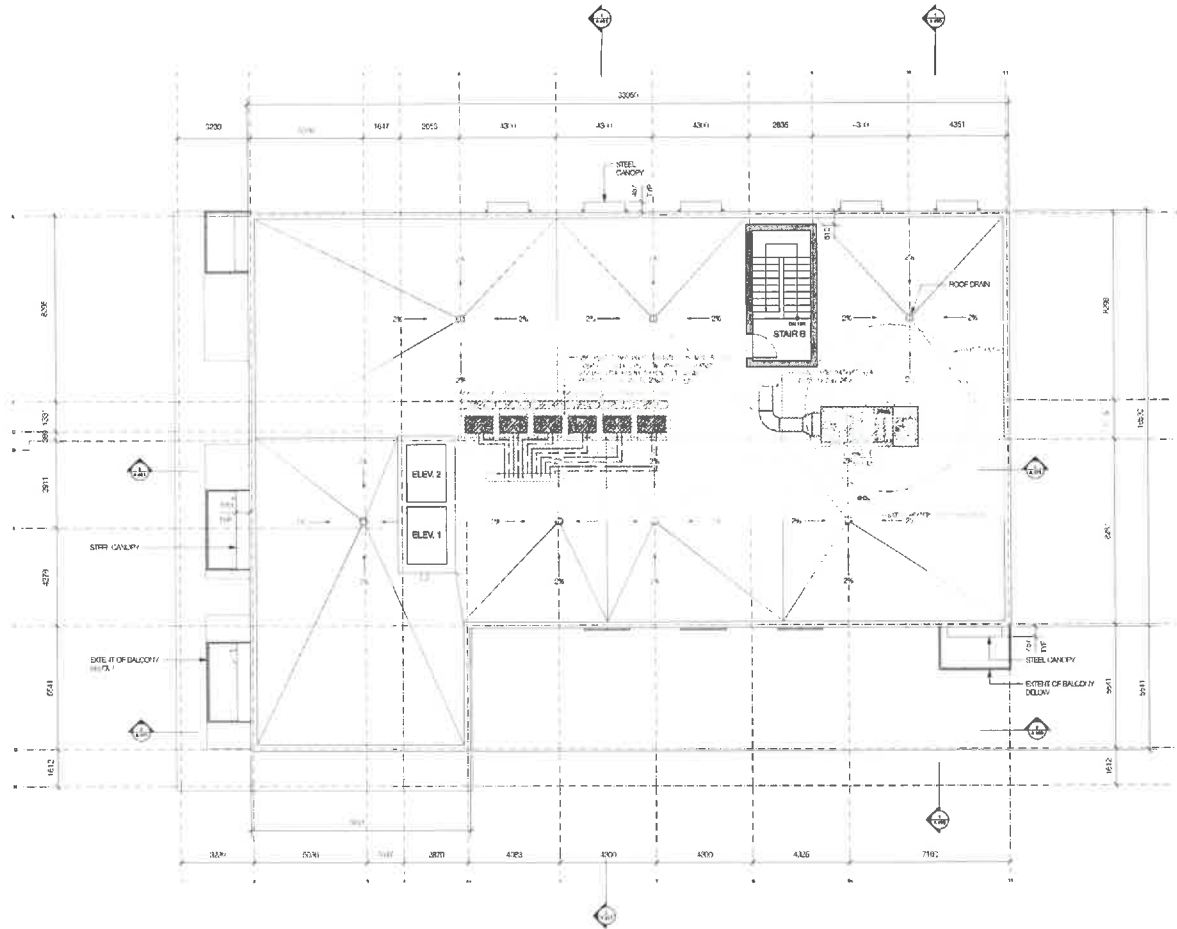
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1 ROOF LEVEL PLAN
Scale: 1:100



REVISIONS

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12 2024-10-18 Issued for 25%
CD
13 2024-11-27 Issued for 50%
CD Review
14 2024-12-12 Issued for DP
Prior To
15 2025-01-10 Issued for DP
Prior To Rev. 1

PROJECT NUMBER PROJECT START DATE

PROJECT ADDRESS
2371 Kelly Ave.
Port Coquitlam BC V3C 1Y3

PROJECT NAME
New View Society 2371 Kelly
Ave.

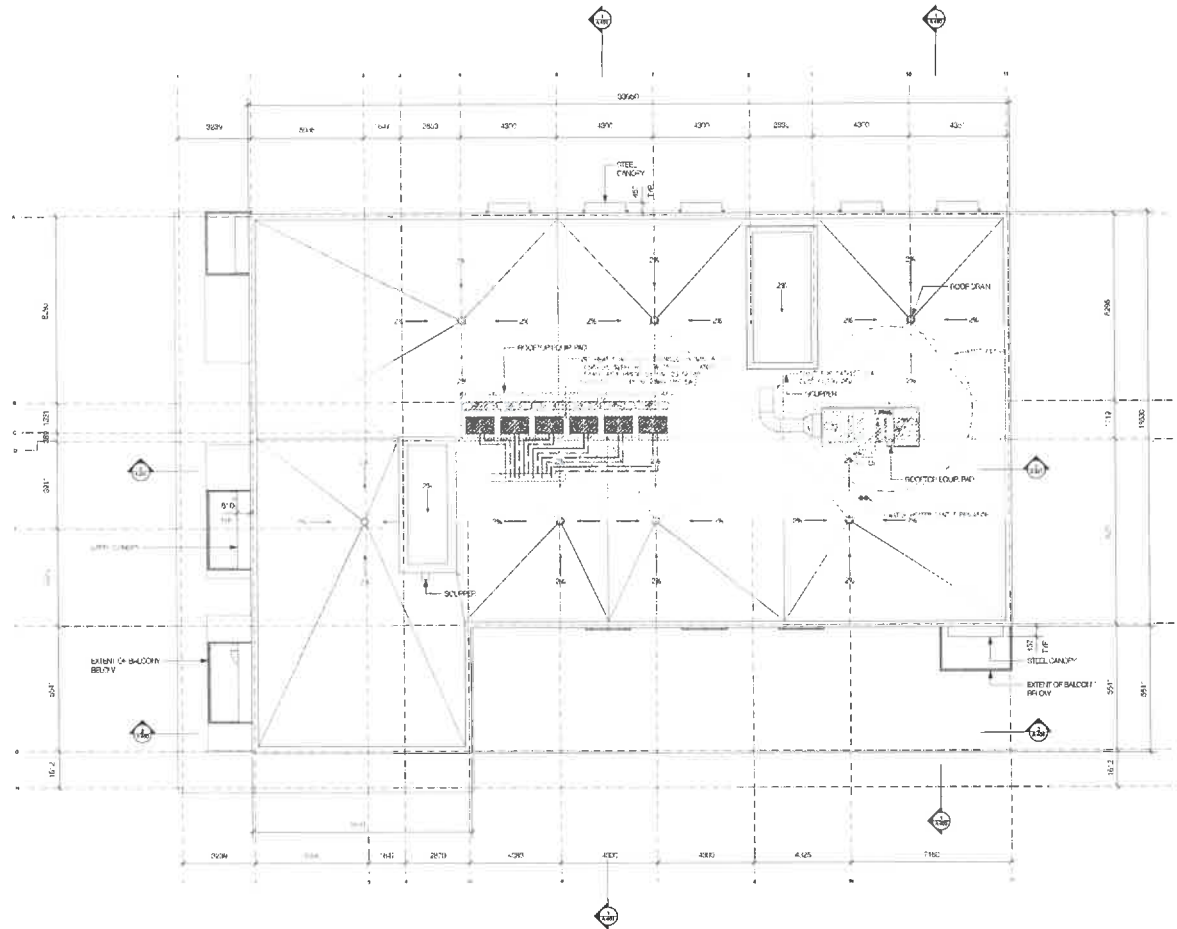
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ROOF LEVEL PLAN

DRAWING NUMBER
A 207

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SCALE:	DRAWN BY:
1:100	GC

A topographic map of the study area. The map shows a series of rectangular blocks representing buildings. Elevation contours are marked with '5' and '10M'. A north arrow is located in the top right corner, pointing upwards.

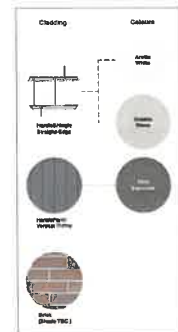
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- ELEVATION LEGEND**
1. HATCHES/SHADE
STRAIGHT EDGE
FINE CONCRETE BLOCKS WHITE
 2. HATCHES/SHADE
STRAIGHT EDGE
FINE CONCRETE BLOCKS (CONCRETE BLOCKS)
 3. HATCHES/SHADE
STRAIGHT EDGE
FINE CONCRETE BLOCKS (CONCRETE BLOCKS)
 4. HATCHES/SHADE
STRAIGHT EDGE
FINE CONCRETE BLOCKS (CONCRETE BLOCKS)
 5. ARCHITECTURAL CONCRETE
FINISH
 6. STEEL FRAMED GLASS PANELS
TO MATCH WINDOW FRAMES
 7. PAINTED STEEL DARK BROWN
TO MATCH WINDOW FRAMES
 8. STEEL CHIMNEY TO MATCH
WINDOW FRAMES
 9. LIGHT SCENES
 10. VINYL WINDOWS AND DOORS
DARK BROWN
 11. ALUMINUM WINDOWS AND
DOORS DARK BROWN
 12. SOFT LUX WALL SYSTEM ON
BULKHEAD WOODGRAIN FINISH
 13. SOFT LUX WALL SYSTEM ON
BULKHEAD WOODGRAIN FINISH
 14. METAL FRAMED GLASS
PANELS
 15. CONCRETE BLOCKS PAINT
WHITE



REVISIONS:

ISSUED:
12 2024-10-18 Issued for 25%
CD
13 2024-11-27 Issued for 50%
CD Review
14 2024-12-12 Issued for DP
Prior To
15 2025-01-10 Issued for DP
Prior To Rev. 1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
2371 Kelly Ave.
Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly
Ave.

DRAWING TITLE:
ELEVATIONS - SOUTH & WEST

DRAWING NUMBER:
A 300

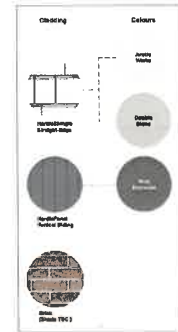
SCALE: 1:100 GRAPHIC SCALE: GC

1 SOUTH ELEVATION
Scale: 1:100

2 WEST ELEVATION
Scale: 1:100

D8000597(13)

- ELEVATION LEGEND**
1. HATCHES/SHIELD
STRAIGHT EDGE
FIBRE CEMENT SIDING/PAINT
(SHEET)
 2. HATCHES/SHIELD
STRAIGHT EDGE
FIBRE CEMENT SIDING
(DOUBLE SIDING)
 3. HATCHES/SHIELD
V-GROOVE FIBRE CEMENT
SIDING (VERTICAL)
 4. BRICK (KNOTH HILL)
 5. ARCHITECTURAL CONCRETE
FINISH
 6. STEEL FRAMED GLASS PANELS
TO MATCH WINDOW FRAMES
 7. PAINTED STEEL (DARK BROWN)
TO MATCH WINDOW FRAMES
 8. STEEL CHIMNEY (3 WINDOVS)
 9. LIGHT SCULPTURE
 10. VINYL WINDOWS AND DOORS
DARK BROWN
 11. ALUMINUM WINDOWS AND
DOORS (DARK BROWN)
 12. CORTEX GLASS PANEL SYSTEM FOR
SKYLIGHT - WOODGRAIN FINISH
 13. SCULPT (VINYL - WHITE)
 14. METAL WAREHOUSE
FLUORINE
 15. CONCRETE BLOCK, PAINT
WHITE



REVISIONS:

ISSUES:	DATE	DESCRIPTION
12	2024-10-18	Issued for 25% CD
13	2024-11-27	Issued for 50% CD Review
14	2024-12-12	Issued for DP Prior To
15	2025-01-10	Issued for DP Prior To Rev. 1

PROJECT NUMBER: PROJECT START DATE:

PROJECT ADDRESS:
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Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
ELEVATIONS - NORTH & EAST

DRAWING NUMBER:
A 301

SCALE: 1:100 DRAWN BY: GC

1 NORTH ELEVATION
Scale: 1:100

2 EAST ELEVATION
Scale: 1:100

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13 2024-11-27	Issued for 50% CD Review
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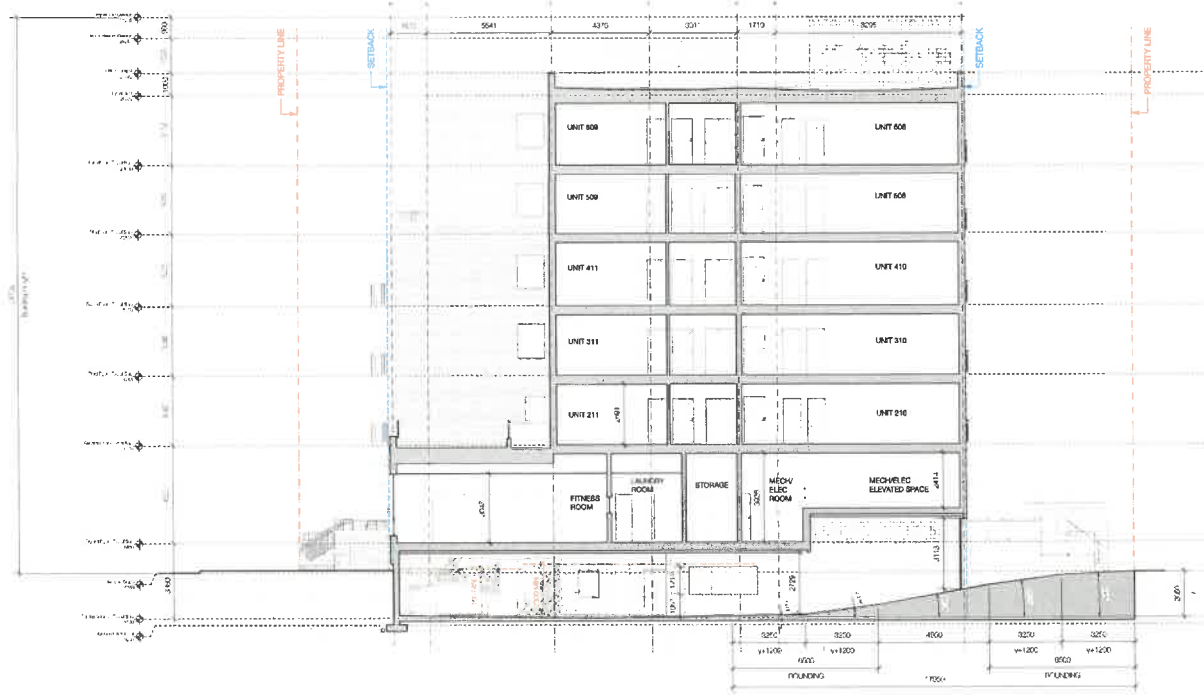
PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
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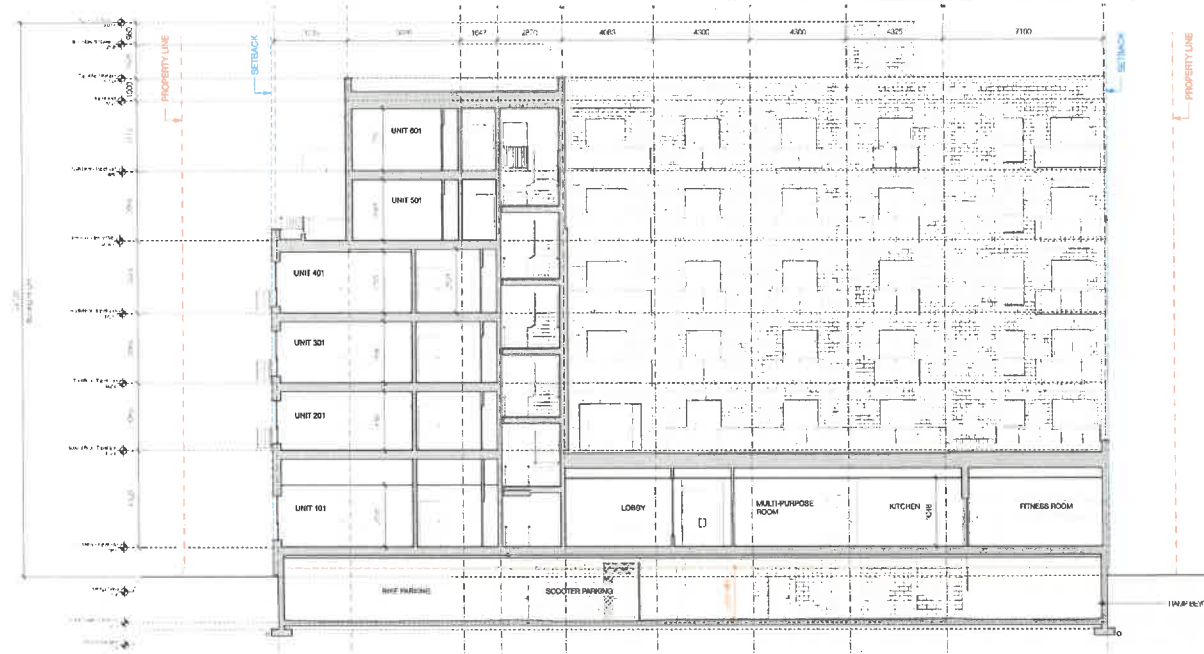
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1:100

DRAWN BY:
GC



1 N-S SECTION A
Scale: 1:100



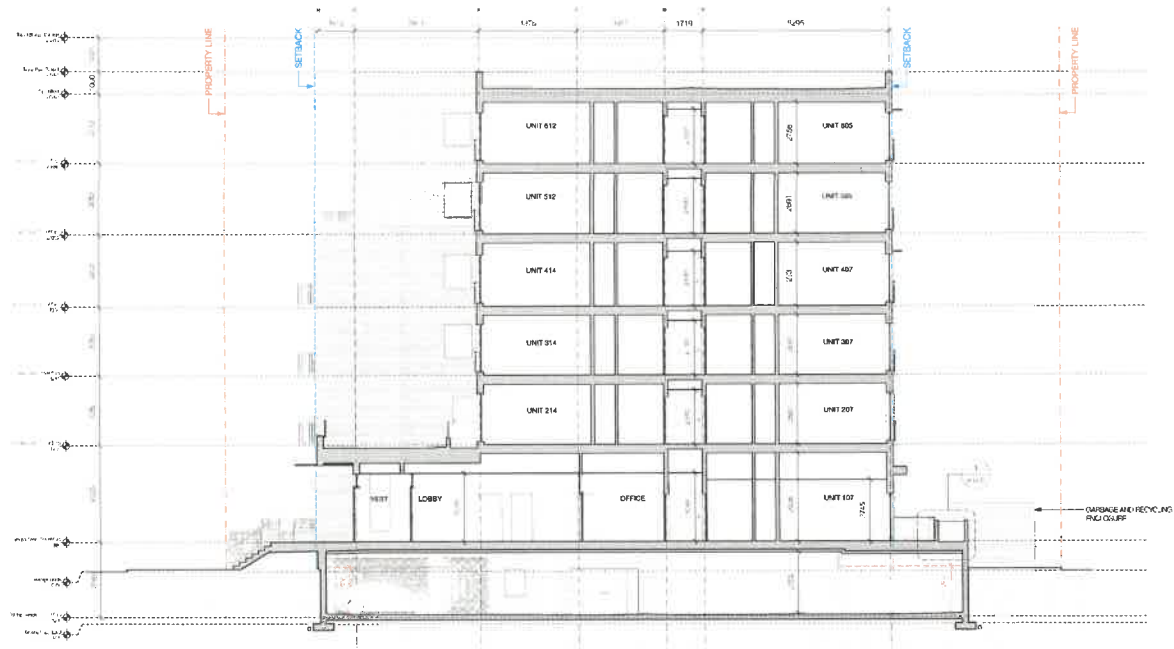
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Scale: 1:100

D000597 (15)

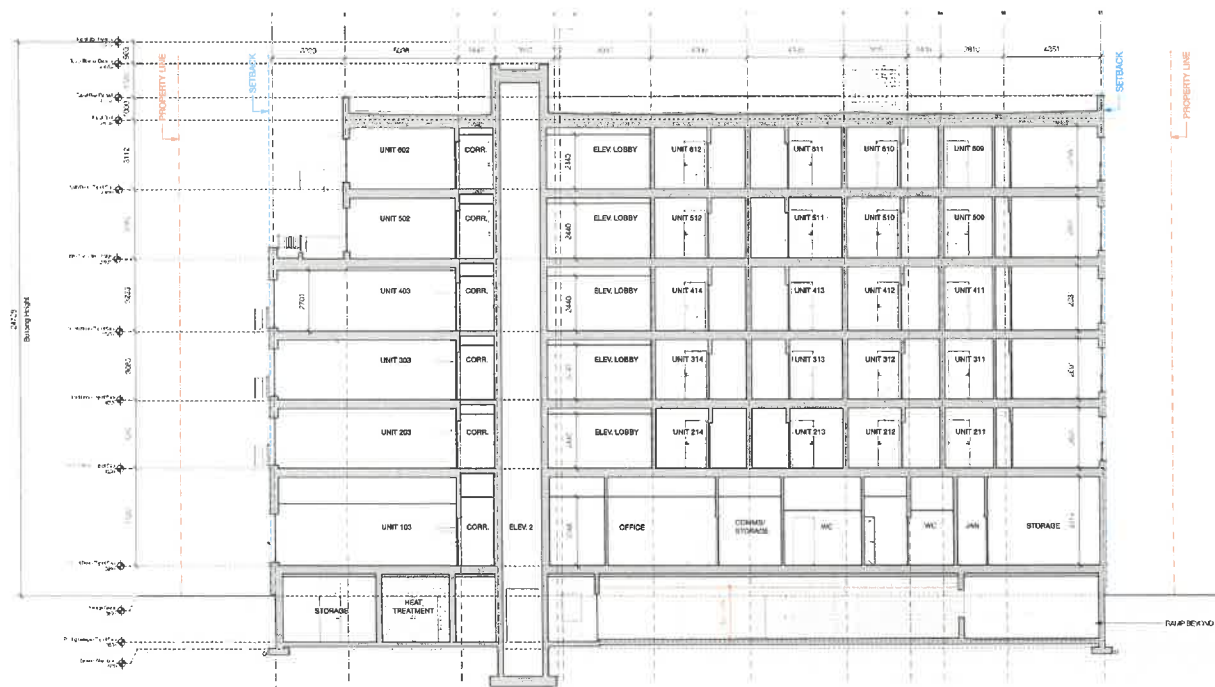


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1 N-S SECTION B
Scale: 1:100



2 E-W SECTION B
Scale: 1:100

REVISIONS

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13 2024-11-27 Issued for 50%
CD Review
14 2024-12-12 Issued for DP
Prior To
15 2025-01-10 Issued for DP
Prior To Rev.1

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PROJECT NAME:
New View Society 2371 Kelly
Ave.

DRAWING TITLE:
SECTIONS

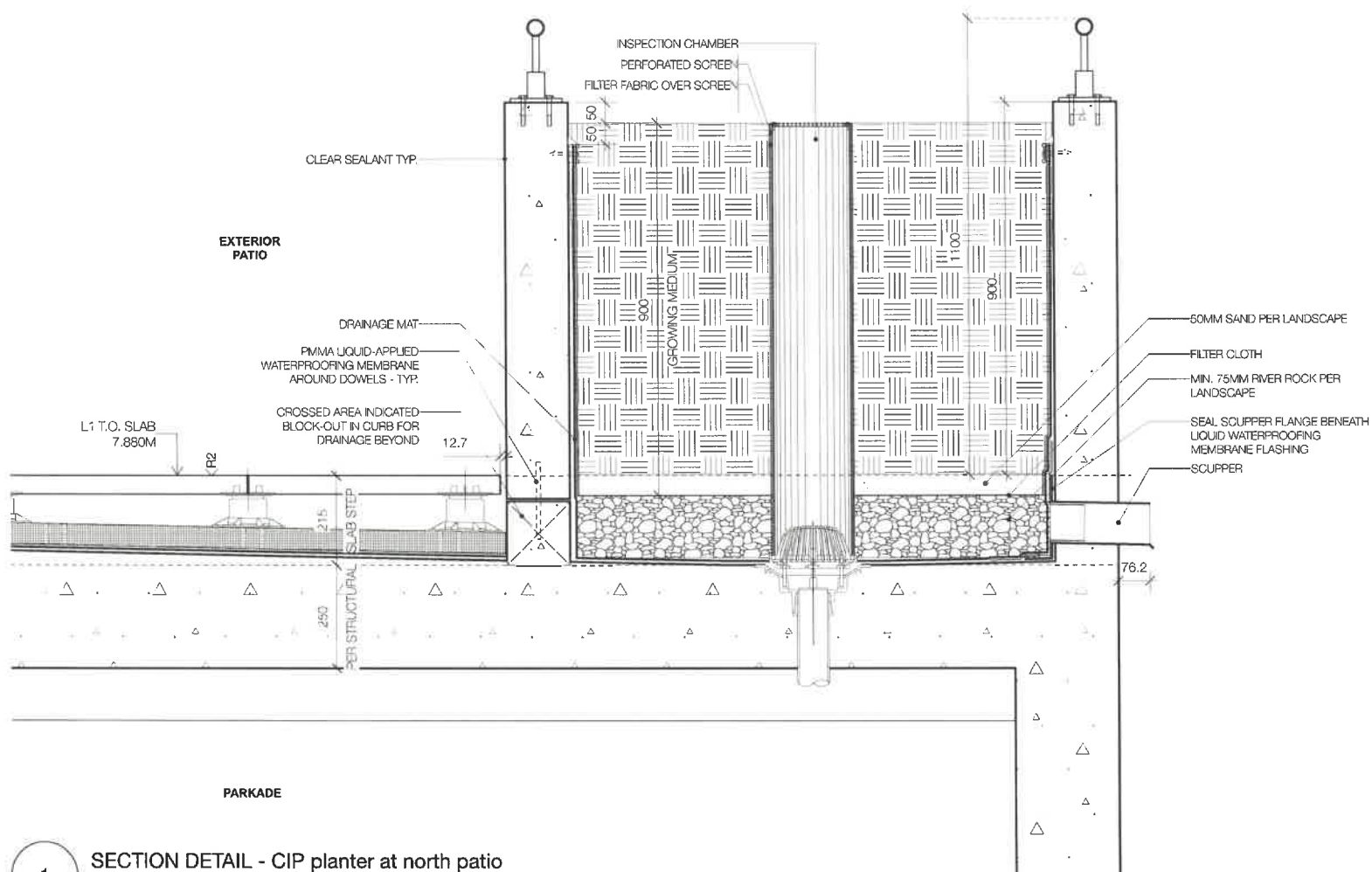
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A 401

SCALE: 1:100 DRAWN BY: GC

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PROJECT No: START DATE:

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Port Coquitlam BC V3C 1Y3

PROJECT NAME:
New View Society 2371 Kelly Ave.

DRAWING TITLE:
PLANTER DETAIL

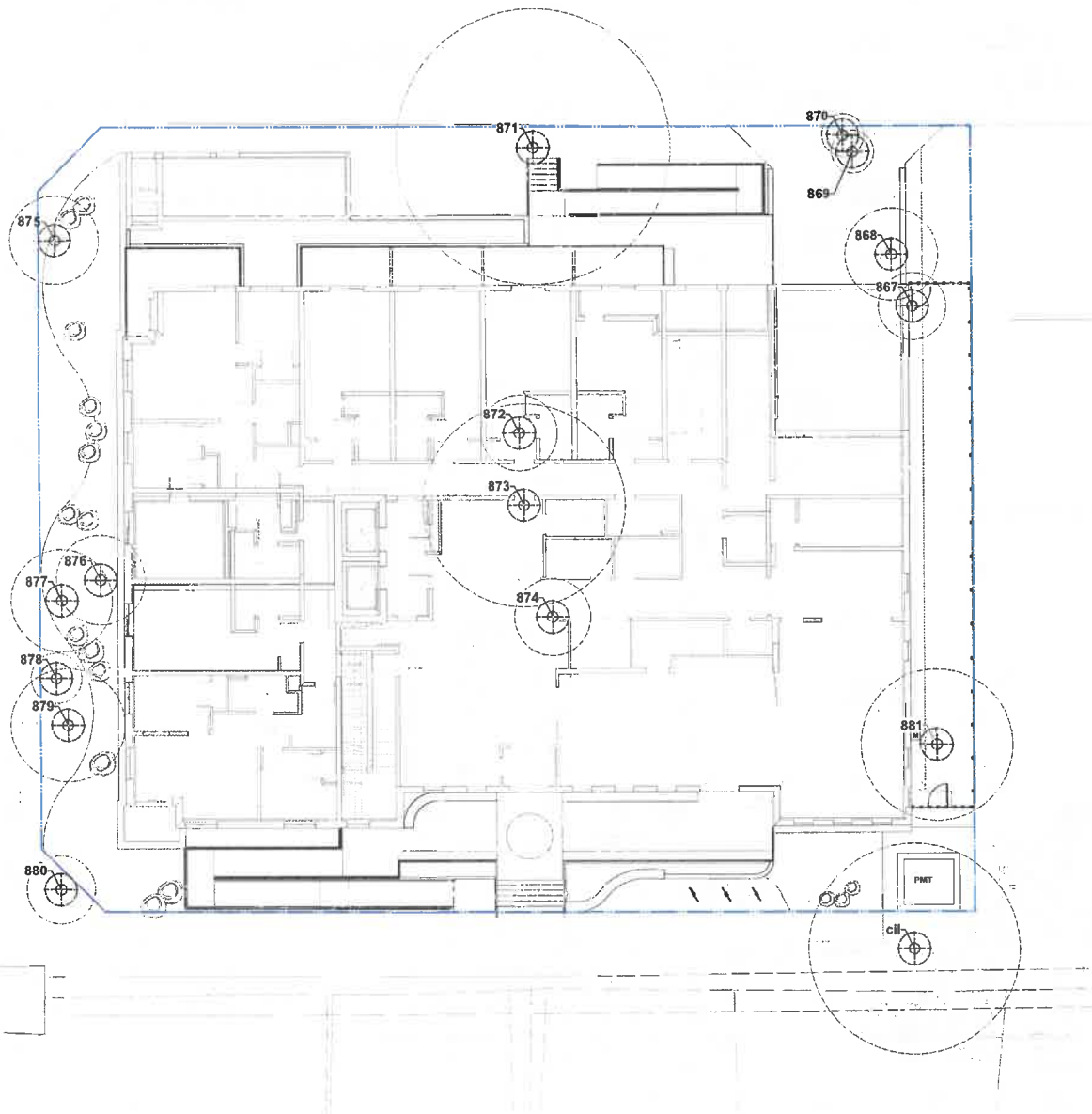
DRAWING NUMBER:

A 600

SCALE: 1:10 DRAWN BY: ND

Dood Sit (17)

SECTION DETAIL - CIP planter at north patio
Scale: 1:10



LANDSCAPE TREE NOTES

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
2. Install temporary tree protection fencing as per arborist report or tree protection plan, stabilize the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barriers requires advance coordination and approval by the project arborist.

LEGEND

- Property Line
- Tree protection fence
- Existing Tree TO BE RETAINED
- Existing Tree TO BE REMOVED
Confirm that trees are free of nesting birds prior to removal or wait until the later nesting season is over.

NOTE: The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at least monthly and request a tree barrier inspection at least 48 hours in advance of the building permit.

2024-12-12	Issue for DP Prior To
2024-11-21	Issue for 50%
2024-10-16	Coordination
2024-09-13	Issue for DP
Date	Issue Notes



Prospect & Refuge

LANDSCAPE ARCHITECTS
401-688-1002 info@prospect-and-refuge.ca
Working on over 25 years of history as a family business.

Project Title and Location
New View Society
2371 Kelly Ave Port Coquitlam BC V3C 1Y3

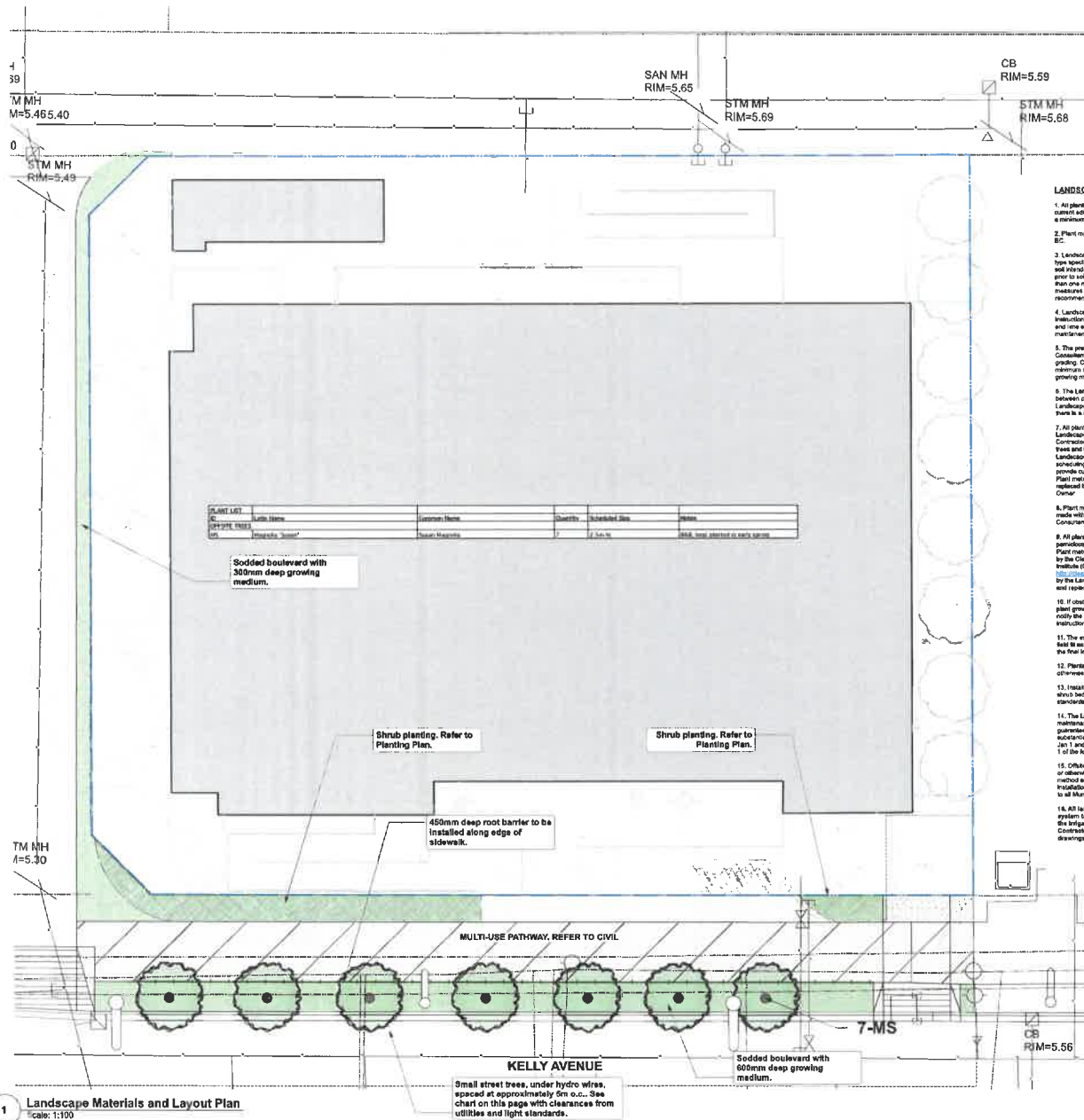
Particulars Survey
traditional, ancestral and unceded territory of the Kwikwaka'nam (Kwakwaka'nam First Nation)

Sheet Title
Tree Management Plan

Project No.	Sheet	as noted
2023-34		
Project Manager	Drawn by	
SHW		
Reviewed by		L1.0
SHW		

1 Tree Management Plan
Scale: 1:100

DPO005 597 (18)



LANDSCAPE PLANTING NOTES

1. All planting materials and execution shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard.
2. Plant material shall be sourced from Washington State and BC.
3. Landscape Contractor shall submit a soil report for each site type specified on site (including all imported soil and existing soil) and the report shall be submitted to the Landscape Consultant prior to soil delivery to site. Soil report shall be dated no more than one month before execution. Soil report shall include CLS measures of soil quality per specified soil type and recommendations for remediation.
4. Landscape Contractor shall submit approval letter per instruction of soil report. Provide documentation of fertilizer and lime applications and rates during the installation and maintenance periods.
5. The prepared sub-grade shall be approved by the Landscape Consultant prior to application of top soil mixture and final grading. Compacted subgrade shall be a minimum depth of 8" (150mm) immediately before placing growing medium.
6. The Landscape Contractor shall report discrepancies between plant quantities in the plant list and plan to the Landscape Consultant prior to delivery of plant material. Where there is a discrepancy the plan shall supersede the list.
7. All plant material, soil and seeds shall be approved by the Landscape Consultant prior to delivery on site. The Landscape Contractor shall provide photographs with scale reference for trees and installed information for container shrubs to the Landscape Consultant prior to the Landscape Consultant receiving a final inspection. The Landscape Contractor shall provide cuttings or samples of soil and seeds for approval. Plant material, soil and seeds related on site shall be retained by the Landscape Contractor at no cost to the Owner.
8. Plant material, soil and seed substitutions shall not be made without the written approval of the Landscape Consultant.
9. All plant material (including root balls) shall be free of pesticides, weeds, soil, disease, infection and infestation. Plant material shall be supplied by nurseries who are certified by the Clean Plants Program, Canadian Nursery Certification Institute (CNCI), current certification standard (2019/2020). Non-conforming plant material provided by the Landscape Contractor shall be removed, disposed of and replaced at the Landscape Contractor's expense.
10. If obstructions or other conditions detrimental to healthy plant growth are encountered, the Landscape Contractor shall notify the Landscape Consultant and request additional instructions.
11. The exact location of trees shall be determined on site and field as required. The Landscape Consultant shall approve the final location of trees prior to planting.
12. Plants shall not be planted prior to delivery unless otherwise noted by the Landscape Consultant.
13. Install composted organic mulch to CLS standard on all shrub beds after planting and tree mounds. Follow CLS standards for depth and maintenance.
14. The Landscape Contractor shall provide level 1 maintenance per CLS standard for landscape type and a guarantee for all plant material for 1 year after the date of installation. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until June 1 of the following year.
15. Offsite planting shall have landscape approval (municipal or otherwise) prior to installation. Size, species, installation method and location require landscape approval at the time of installation. Offsite plant material and installation shall conform to all Municipal requirements.
16. All landscaping shall have a high efficiency irrigation system to RABC standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.

PROPOSED STREET TREES

- Street tree criteria:
- o Correct species
 - o 2.5 metres height or greater
 - o free of pest and disease
 - o free of injury, or other defects
 - o free of pruning roots
 - o straight upright planting
 - o of good health and vigor
 - o stem base free of twine or binding
 - o plastic tree trunk guards (grass boulevard only)
 - o mulch (grass boulevard only)
 - o one year after planting, any installed tree stakes must be removed
- If a planting does not meet these criteria the plant must be corrected or replaced. Plantings are to be maintained in good health and vigor for one year following planting.

Please ensure the Landscape Contractor is aware of the following:

- Planting in a grass boulevard:
- o A wide hole is dug (2-3 times the width of the root ball whenever possible) with sides gradually sloping down to the root ball depth.
 - o The sides of the hole pit are scarified.
 - o Native soil is used for backfilling (unless specified otherwise).
 - o Install trunk guards in place for protection from string trimmers and landscape maintenance.
 - o Wood chips or mulch be applied immediately around the tree.
 - o Mulch and soil must not be in contact with the tree stem.
 - o Remove the top 1/3 of the wire basket, tarp, and all nylon and binding material. Cut the basket or tarp. Do not fold into hole.
 - o Root barriers must be installed along edge of hardscape
 - o Water tree immediately after planting.

9.3.3.3 CLEARANCES

Table 9-3 lists the preferred minimum clearance (measured from outer edge of infrastructure) of trees from:

Infrastructure	Minimum Clearance
Landscape Standards	1.5m - 4.5m
Electrical / Communications / Trolley Poles	1.5m
Driveways / Crossings	1.8m
Signalized Intersection from stop bar	6.0m
Or from traffic signal pole	1.5m
Fire Hydrants	2.0m
Water Meters	2.0m
Service Connections	2.0m
Catchbasins / Valve Boxes	1.5m
Corner Clearances (From Extended Property Line)	3m
Stop Signs	6m
Parking Meters	Clear of Tree Pit / Surround
Buildings (Overhanging Trees)	3m
Buildings (Columnar Trees)	2m

- Trees shall not be planted in the following locations:
- o Over building encroachments under the sidewalk (areaways).
 - o Under canopies or overhead signs.

2024-10-12	Issue for DP Prior To
2024-11-21	Issue for 50%
2024-10-16	Coordination
2024-09-13	Issue for 10%
2024-06-07	Initial Concept for Review
Date	Issue Notes



Prospect & Refuge
LANDSCAPE ARCHITECTS
100-1000 1st Avenue West, Suite 100
Vancouver, BC V6P 1M1
604-683-1002 info@prospectandrefuge.ca
Building on over 25 years of history in Vancouver, British Columbia

Project Name: New View Society
2371 Kelly Ave Port Coquitlam BC V3C 1Y3

Project History: traditional, ancestral and unceded territory of the ɪm-wíxwíam (Duwamish First Nation)

Client Name: Landscape Offsite Plan

Project No:	2023-24	Date:	as noted
Project Manager:	SHW	Drawn by:	SHW
Checked by:	SHW		

L1.1

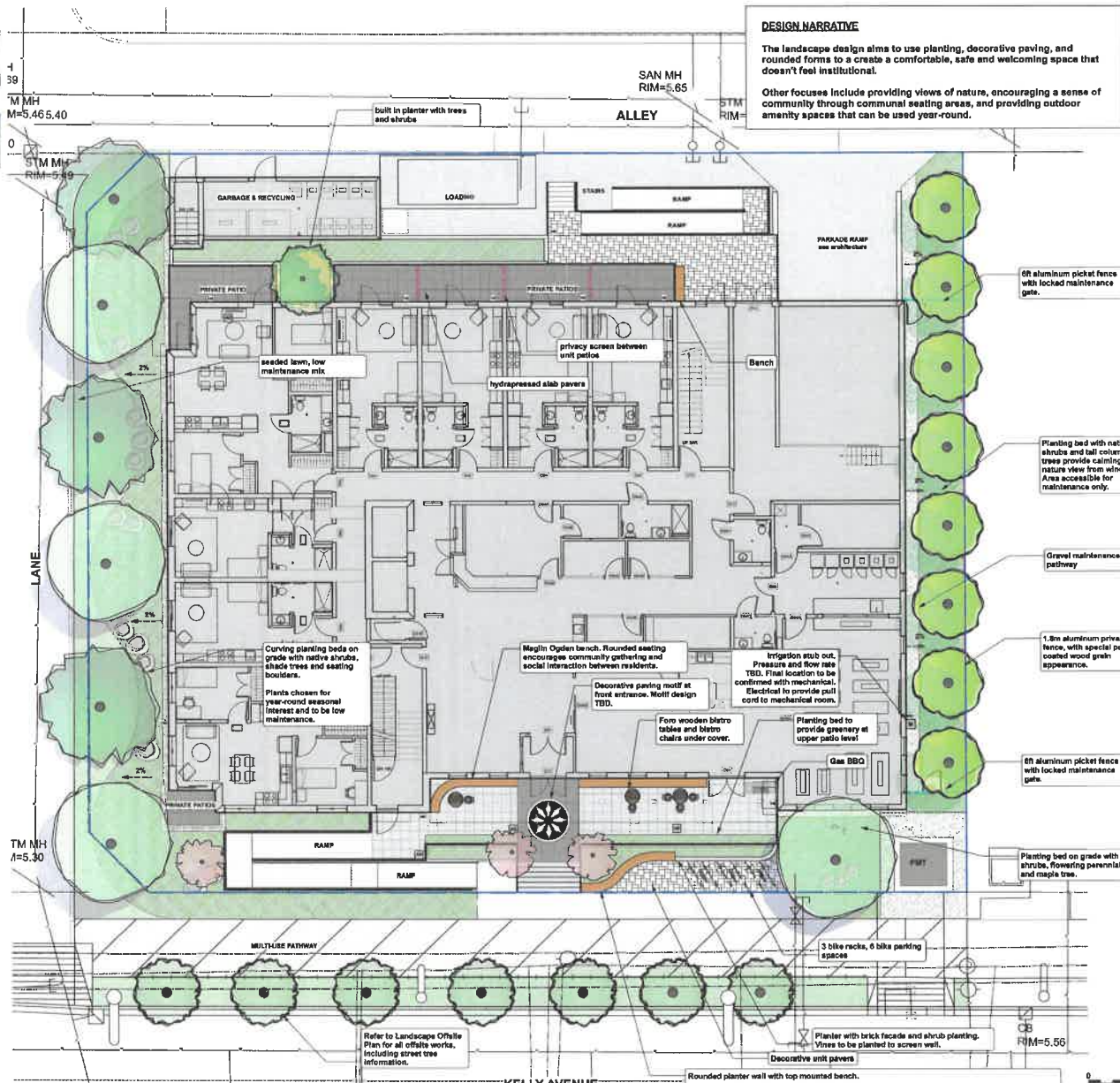
Df000597 (19)



Low maintenance sideyard planting



Planting beds with rounded edges



1 Landscape Materials and Layout Plan
Scale: 1:100



Round bench

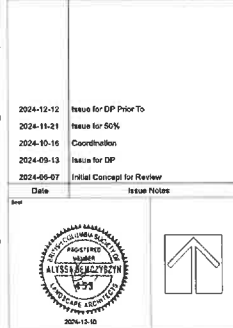


Example of decorative paving motif



Paving motif to include imagery of an Iris flower

DATE	ISSUE	DESCRIPTION
2024-12-12	Issue for DP Prior To	Issue for 50%
2024-11-21	Coordination	Issue for DP
2024-10-16	Initial Concept for Review	
2024-09-13	Issue Notes	



Prospect & Refuge

LANDSCAPE ARCHITECTS

180-1800-744-7444 (toll-free)
180-1800-744-7444 (toll-free)
Bellingham, BC V2C 1Y3

Project No.	2023-24	Scale	as noted
Project Name	SHW	Project Location	L2.0
Project Manager	SHW	Project Location	

D800597 (20)



Metal Planter and Green Roof



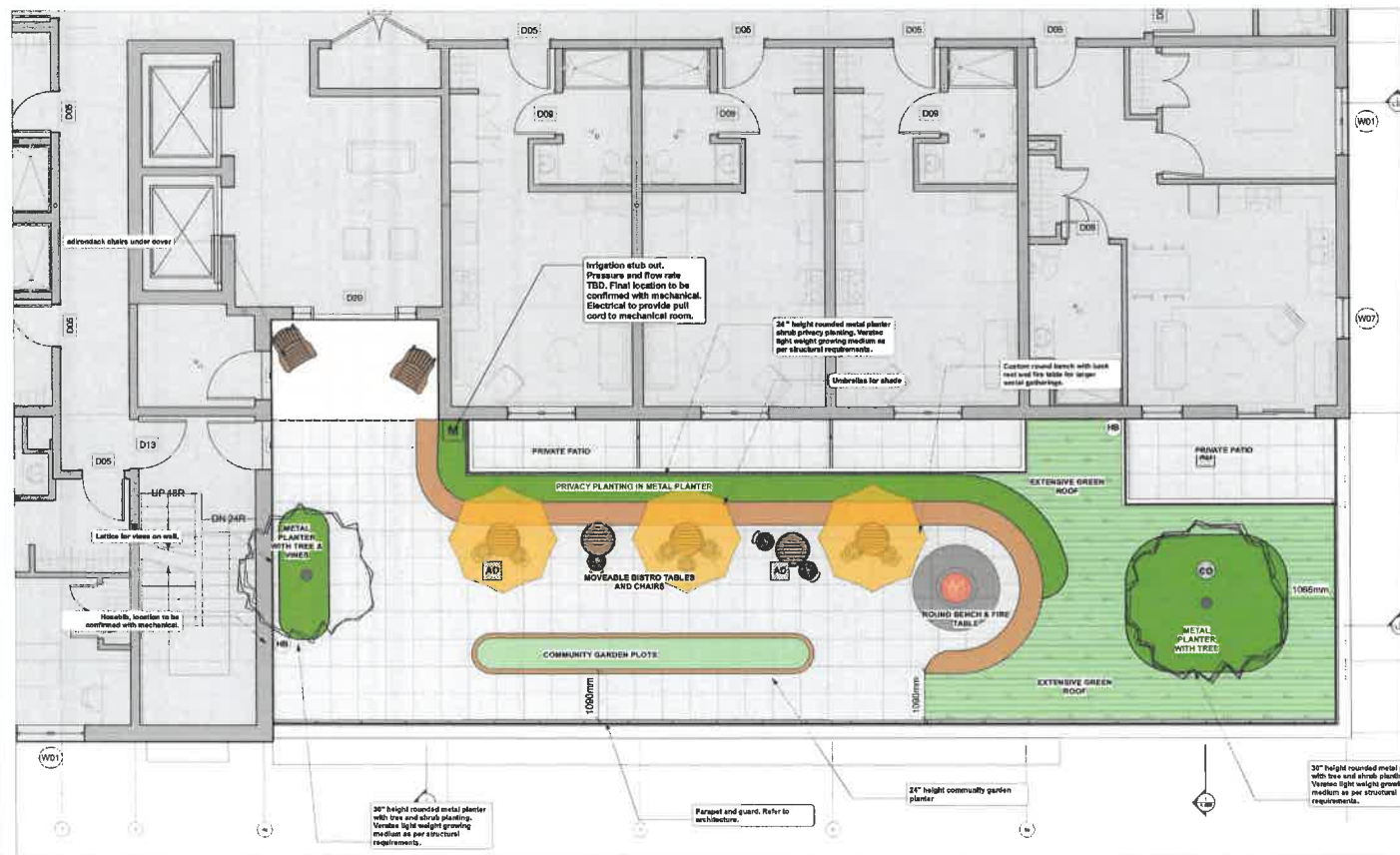
Privacy planting at private patio



Round Bench with fire table



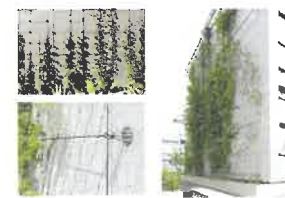
Rounded planter shapes



1 Landscape Materials Plan - Level 2
Scale: 1:50

0 3 5 8 M

LEGEND		DETAIL
	Property Line	
HARDSCAPE MATERIALS:		
	Hydropressed Blab Pavers	
	Hydropressed Blab Pavers	
SOFTSCAPE MATERIALS:		
	Extensive Green Roof	
	Metal Planter	
LINES & SYMBOLS		
	Building roof overhang	
	Bench	
	Adirondack Chair	
	Community Garden Plaster	
	Maglin Foro Wooden Bistro Table and Bistro Chairs	
	Irrigation Stub Out	
	Hardscape	



Metal lattice system for vines to grow up building face



Maglin Foro round wood top bistro tables

LANDSCAPE GENERAL NOTES

1. All Landscape material and execution shall conform to the Canadian Landscape Standards: All applicable and related codes, bylaws and specifications, and the following recommendations.
2. Do not construct from these drawings unless marked "Issued For Construction".
3. The Landscape Contractor shall submit all questions, requests, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from these plans. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Landscape Contractor shall conduct a site visit and confirm to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Consultant shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
6. The Landscape Contractor shall verify all noted and omitted dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or inconsistencies to the Landscape Consultant.
7. Provide positive grades away from buildings and lower than drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to SABS standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Consultant. The Irrigation Consultant shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall report any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of O&M level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 2' or taller, all plants, all concrete footings and all other shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.

2024-12-12	Issue for DP Prior To
2024-11-21	Issue for 80%
2024-10-16	Coordination
2024-09-13	Issue for DP
2024-08-07	Initial Concept for Review
Date	Issue Notes



Prospect & Refuge

LANDSCAPE ARCHITECTS
2371 Kelly Ave Port Coquitlam BC V3C 1Y3
604-699-1003
prospectandrefuge.ca

Project Title and Address
New View Society
2371 Kelly Ave Port Coquitlam BC V3C 1Y3

Project Name, location and unceded territory of the Indigenous (Musqueam First Nation)

Project Title
Landscape Materials Plan - Level 2

Project No.	2023-34	Issue	As noted
Project Manager	SHW	Drawn By	
Reviewed By	SHW		

L2.1

Drawn by (21)



Extensive Green Roof

guardrail to separate patios from greenroof

Locked maintenance gate

Irrigation stub out, pressure and flow rate TBD. Final location to be confirmed with mechanical. Electrical to provide pull cord to mechanical room.

Feasible, location to be confirmed with mechanical

Low maintenance extensive greenroof is visually attractive for units next to and above it while also providing bird/insect habitat and storm water capture.

1 Landscape Materials Plan - Level 5
Scale: 1/8"

0 10 15 20 FT

LEGEND

Property Line

HARDSCAPE MATERIALS:

Hydropressed Blab Pavers

SOFTSCAPE MATERIALS:

Extensive Green Roof

LINE & SYMBOLS

Irrigation Stub Out

Household

Building envelope

DETAIL

1 L&T

1 L&T

LANDSCAPE GENERAL NOTES

1. All Landscape material and execution shall conform to the Canadian Landscape Standards; all applicable and noted codes, bylaws and specifications; and the safety requirements.
2. Do not construct from these drawings unless marked "Revised For Construction".
3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Contractor shall report any discrepancies between the proposed and existing work, to the Landscape Architect prior to construction.
6. The Landscape Contractor shall verify all noted and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or inconsistencies to the Landscape Architect prior to construction.
7. Provide positive grades away from buildings and toward lawn areas and match levels. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to SBC standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall repair any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of OLS level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 7' or taller, all gates, all concrete footings and all new shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.

2024-12-12	Issue for DP Prelim To
2024-11-21	Issue for 50%
2024-10-16	Coordination
2024-09-13	Issue for DP
2024-05-07	Initial Concept for Review
Date	Issue Notes



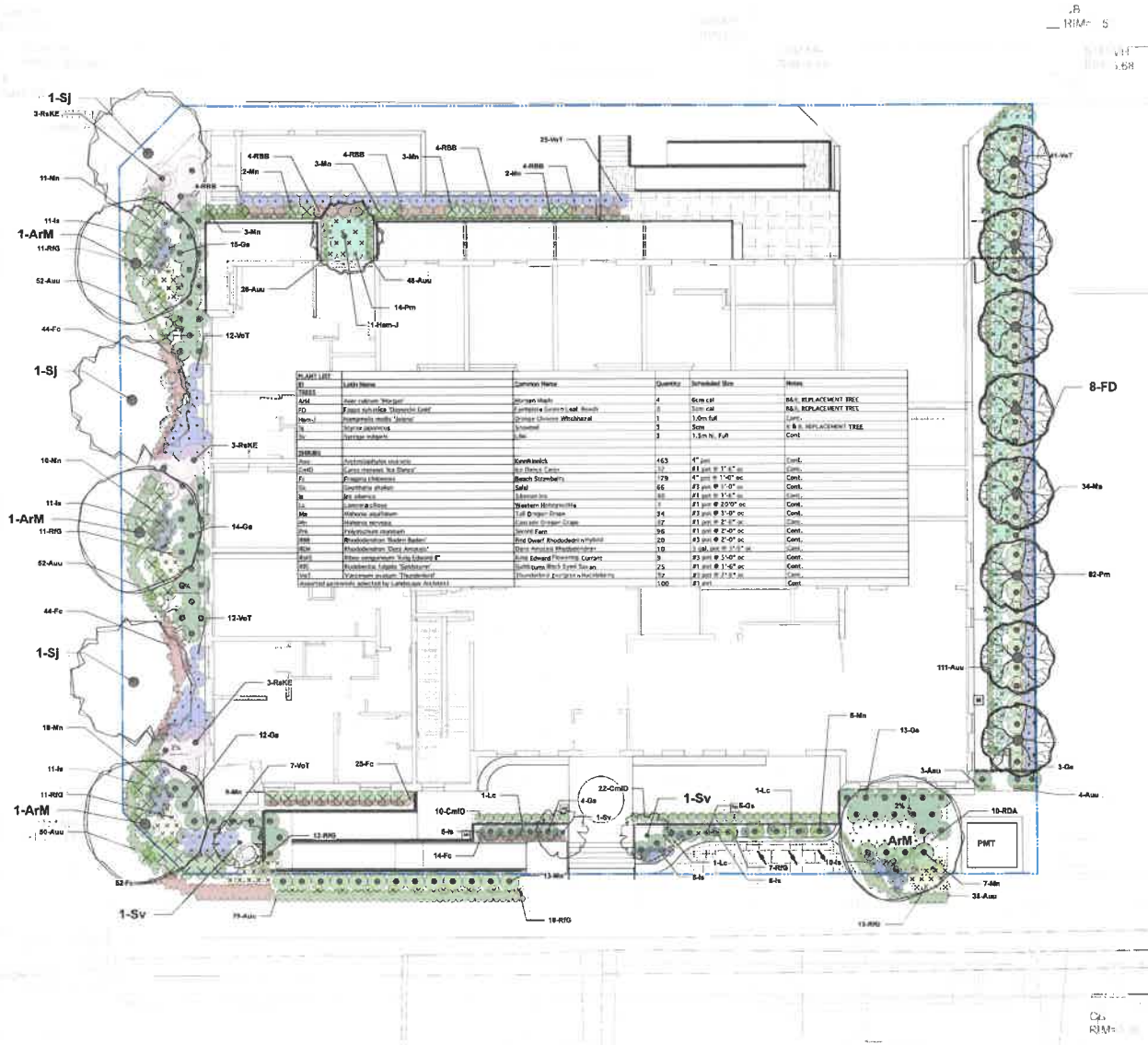
Prospect & Refuge
LANDSCAPE ARCHITECTS
110-1100 1st Ave. West, Suite 100
V6C 1A5
Phone: 604-683-1000
Email: info@prospectandrefuge.ca
Working over 20 years of history in British Columbia

Project Name:
New View Society
2371 Kelly Ave. Port Coquitlam BC V3C 1Y3

Project Location:
Traditional, ancestral and unceded territory of the Kwikwaka'wakw (Kwakwaka'wakw First Nation)

Landscape Materials Plan - Level 5	
Project No.	2023-34
Sheet No.	as noted
Project Manager	SHW
Drawn By	SHW
Reviewed By	SHW
L2.2	

DR000597(22)



- LANDSCAPE PLANTING NOTES**
- All planting materials and quantities shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard.
 - Plant material shall be sourced from Washington State and BC.
 - Landscape Contractor shall submit a soil report for each site type specified on site (including all imported soil and existing soil) prior to installation. The report shall include CLS measures of soil quality per specified soil type and recommendations for amendment.
 - Landscape Contractor shall amend imported soils per instruction of soil report. Provide documentation of fertilizer and lime applications and rates during the installation and maintenance periods.
 - The prepared sub-grade shall be approved by the Consultant prior to application of top soil and seeding and grading. Compacted subgrade shall be certified to a minimum depth of 150mm immediately before planting growing medium.
 - The Landscape Contractor shall report discrepancies between plant quantities in the plant list and plan to the Landscape Consultant prior to installing plant material. Where there is a discrepancy the plan shall expedite the list.
 - All plant material, soil and seeds shall be approved by the Landscape Consultant prior to delivery on site. The Landscape Contractor shall provide photographs with scale reference for trees and location information for container stock to the Landscape Consultant prior to the Landscape Consultant scheduling a field inspection. The Landscape Contractor shall provide nurseries or samples of soil and seeds for approval. Plant material size and seeds specified on any shall be replaced by the Landscape Contractor at no cost to the Owner.
 - Plant material, soil and seed substitutions shall not be made without the written approval of the Landscape Consultant.
 - All plant material (including root balls) shall be free of pest/disease, weeds, soil, disease, infestation and infection. Plant material shall be supplied by nurseries who are certified by the Clean Plants Program, Canadian Nursery Certification Institute (CNCCI), current certification standard.
 - Non-conforming plant material provided by the Landscape Contractor shall be removed, disposed of and replaced at the Landscape Contractor's expense.
 - If observations or other conditions detrimental to healthy plant growth are encountered, the Landscape Contractor shall notify the Landscape Consultant and request additional instructions.
 - The exact location of trees shall be determined on site and field notes required. The Landscape Consultant shall approve the final location of trees prior to planting.
 - There shall not be planted prior to delivery unless otherwise noted by the Landscape Consultant.
 - Install composted organic mulch in CLS standard on all shrub beds after planting and new smooth. Follow CLS standards for depth and installation.
 - The Landscape Contractor shall provide level 1 maintenance per CLS standard for landscape type and a guarantee for all plant material, for 1 year after the date of substantial completion. Plants installed prior to July (between Jan 1 and June 1) shall be under automatic warranty until June 1 of the following year.
 - Off-site planting shall have landscape approval (provided or otherwise) prior to installation. Site, species, installation method and location requires landscape approval at the time of installation. Off-site plant material and installation shall conform to all Municipal requirements.
 - All landscaping shall have a high efficiency irrigation system to IASBC standards, unless otherwise specified. The irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.

2024-12-12
2024-11-21
2024-10-15
2024-09-13
2024-08-07

Issue for DP Prior To
Issue for 50%
Continuation
Issue for DP
Initial Concept for Review

Date
Issue Notes

Prospect & Refuge

LANDSCAPE ARCHITECTS

2371 Kelly Ave. Port Coquitlam BC V3C 1Y3

Phone: 604-940-1802 | Fax: 604-940-1803 | Email: info@prospectandrefuge.ca

Operating for over 20 years in business as a member of the CLS.

Project Title and Address
New View Society
2371 Kelly Ave. Port Coquitlam BC V3C 1Y3

Project Name
Planting Plan - Level 1

Project No.
2023-34

Project Manager
SRW

Project Designer
SRW

Project Date
2023-34

Project Status
as noted

Project Scale
L3.0

DR000597(23)

PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
19	<i>Stewartia sinensis</i>	Japanese Stewartia	2	5m cal.	0 & 1. REPLACEMENT TREES
SHRUBS					
Azu	<i>Ardisia ciliata</i> var. <i>minor</i>	Kawakami	85	4" pot.	Cont.
FC	<i>Ficus religiosa</i>	Fig	15	15.1m @ 1.5" pot.	Cont.
FC	<i>Ficus religiosa</i>	Fig	21	4" pot @ 1.5" pot.	Cont.
NGS	<i>Nerium oleander</i>	Sea Hollyhock	25	12 pot.	Cont.
NGS	<i>Nerium oleander</i>	Sea Hollyhock	2	12 pot @ 1.5" pot.	Cont.
rf	<i>Rhododendron fortunei</i>	Black Gleditsia	19	11.1m @ 1.5" pot.	Cont.
Van	<i>Vaccinium vitis-idaea</i>	Blackberry	4	12 pot.	Cont.
Van	<i>Vaccinium vitis-idaea</i>	Blackberry	100	12 pot.	Cont.

LANDSCAPE PLANTING NOTES

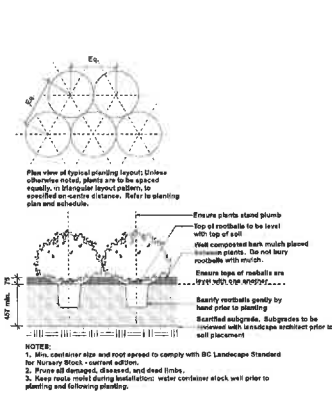
- All planting materials and specimens shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard.
- Plant material shall be sourced from Washington State and BC.
- Landscape Contractor shall submit a soil report for each site type specified on site (including all proposed and existing soil) and/or for the site, to a Landscape Consultant for approval prior to soil delivery on site. Soil report shall include CLS measures of soil quality per specified site type and recommendations for amendments.
- Landscape Contractor shall amend approved soils per verification of soil report. Provide documentation of fertiliser and lime applications and retest during the installation and maintenance periods.
- The proposed sub-grade shall be approved by the Consultant prior to application of top soil subgrade and finish grading. Compaction diagrams shall be submitted to a minimum depth of 6" (150mm) immediately before placing growing medium.
- The Landscape Contractor shall report discrepancies between plant quantities in the plan file and plan in the Landscape Consultant prior to ordering plant material. Where there is a discrepancy, the plan shall supersede the list.
- All plant material, soil and seeds shall be approved by Landscape Consultant prior to delivery on site. The Landscape Contractor shall provide photographs with scale reference for trees and bushes information for container stock to the Landscape Consultant prior to the Landscape Consultant's acceptance. A field inspection. The Landscape Contractor shall provide evidence or samples of soil and seeds for approval. Plant material, soil and seeds rejected on site shall be replaced by the Landscape Contractor at no cost to the Owner.
- Plant material, soil and seed substitutions shall not be made without the written approval of the Landscape Consultant.
- All plant material (including root balls) shall be free of persistent weeds, soil, disease, infestation and infection. Plant material shall be supplied by nurseries who are certified by the Canadian Nursery Inspection, Canadian Nursery Certification Institute (CNCI), current certification standard (see <https://www.cnici.ca/>). Non-certified plant material provided by the Landscape Contractor shall be removed, disposed of and replaced at the Landscape Contractor's expense.
- If obstructions or other conditions detrimental to healthy plant growth are encountered, the Landscape Contractor shall notify the Landscape Consultant and request additional instructions.
- The exact location of trees shall be determined on site and field IR as required. The Landscape Consultant shall approve the final location of trees prior to planting.
- Plants shall not be pruned prior to delivery unless otherwise noted by the Landscape Consultant.
- Install commercial organic mulch to CLS standard on all shrubs beds after planting and rain season. Follow CLS standards for depth and installation.
- The Landscape Contractor shall provide level 1 maintenance per CLS standard for landscape type and a guarantee for all plant material for 1 year after the date of substantial completion. Plants installed prior to June (between Jan 1 and June 1) shall be under certified warranty until June 1 of the following year.
- On-site planting shall have landscape approval (municipal or otherwise) prior to installation. Size, species, installation method and location requires landscape approval at the time of installation. Official plant material and installation shall conform to all Municipal requirements.
- All landscaping shall have a high efficiency irrigation system in place. The irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide a site plan drawing for Landscape Consultant approval.



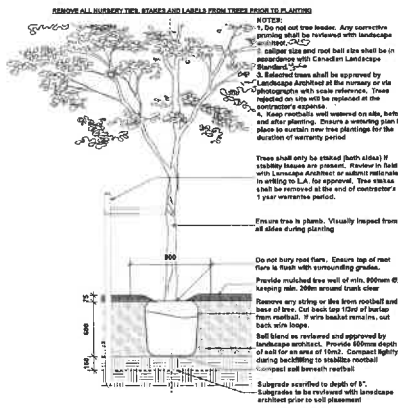
1 Planting Level 2
Scale: 1:50

2024-12-12	Issue for DP Prior To
2024-11-21	Issue for 50%
2024-10-16	Coordination
2024-09-13	Issue for DP
2024-05-07	Initial Concept for Review
Date	Issue Name
Prospect & Refuge LANDSCAPE ARCHITECTS 2371 Kelly Ave. Pen Coquitlam BC V3C 1Y3 604-668-1053 info@prospectandrefuge.ca Designing over 25 years of history in Southern Lower BC	
Project Name and Address: New View Society 2371 Kelly Ave. Pen Coquitlam BC V3C 1Y3	
Project Nature: Traditional, ancestral and unceded territory of the Kwikwaka'wakw (Kwakwaka'wakw First Nation)	
Drawing Title: Planting Plan - Level 2	
Project No:	2023-24
Project Designer:	SHW
Project Checker:	SHW
Project Manager:	SHW
Scale:	as noted
Revision:	L3.1

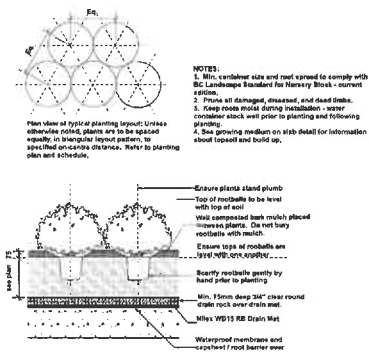
DR000597 (24)



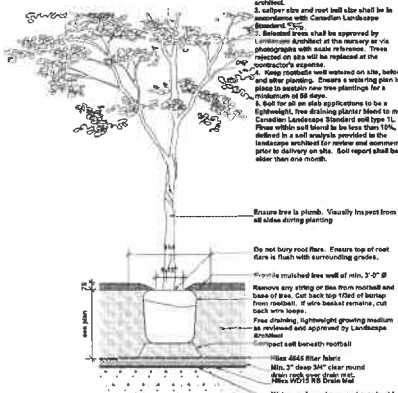
1 Shrub and Perennial Planting on Grade
Scale: 1:25



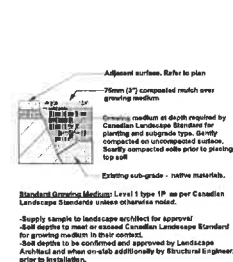
2 Tree Planting on Grade
Scale: 1:25



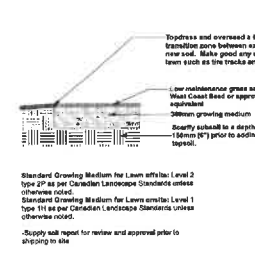
3 Shrub and Perennial Planting on Slab
Scale: 1:25



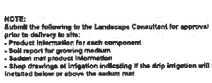
4 Tree Planting on Slab
Scale: 1:25



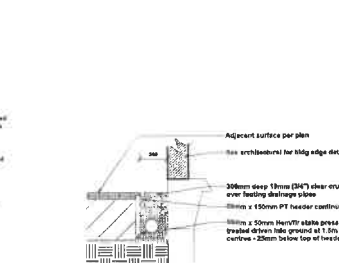
5 Top Soil
Scale: 1:25



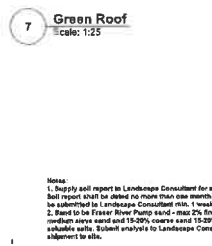
6 Sodded Lawn
Scale: 1:25



7 Green Roof
Scale: 1:25



8 Gravel Strip
Scale: 1:25

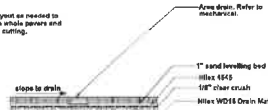


9 Growing Medium on Slab
Scale: 1:25

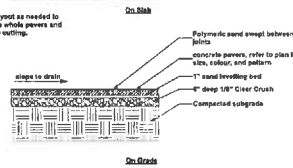
2024-12-12	Issue for DP Prior To
2024-11-21	Issue for 60%
2024-10-16	Coordination
2024-09-13	Issue for DP
Date	Issue Notes
	
Prospect & Refuge LANDSCAPE ARCHITECTS 2371 Kelly Ave Port Coquitlam BC V3C 1Y3 (604) 666-1100	
Project Title and Address New View Society 2371 Kelly Ave Port Coquitlam BC V3C 1Y3	
Project Location Traditional, ancestral and unceded territory of the Kwikwaka'wakw (Cowichan First Nation)	
Project Title Landscape Details - Planting	
Project No.	2923-34
Revision	as noted
Prepared by	SRW
Reviewed by	SRW
L4.0	

DR000597 (25)

NOTES:
Adjust layout as needed to maximize whole pavers and minimize cutting.



NOTES:
Adjust layout as needed to maximize whole pavers and minimize cutting.



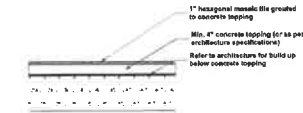
1 Concrete Unit Pavers

Scale: 1:25

2 Hydrapressed Slabs on Upper Floors

Scale: 1:25

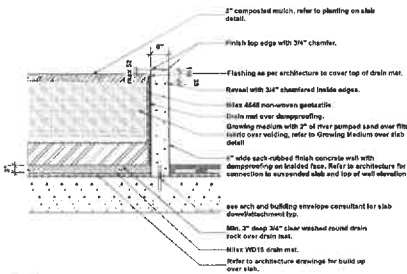
NOTE:
1. Submit product information, tile sample, and colour samples of all colour options to Landscape Consultant for approval prior to ordering.
2. Tile to be rated for exterior commercial use and have an anti-slip rating of R11.
3. Refer to product literature for approximate design. Final colour, pattern and design to be confirmed by Landscape Consultant and Landmark prior to construction.



3 Mosaic Tiles Feature Paving

Scale: 1:25

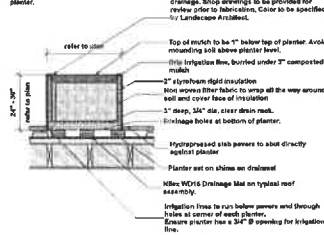
Notes:
Use light weight voiding to fill all sufficient depth.
Note any potential groundwater infiltrability issues to the Landscape Architect.



5 CIP Concrete Planter

Scale: 1:25

Notes:
1. Refer to Gravel Medium area slab detail for more information regarding match and grading medium.
2. Do not assume or create planter. Final top of match level to be approximately level at 1\"/>

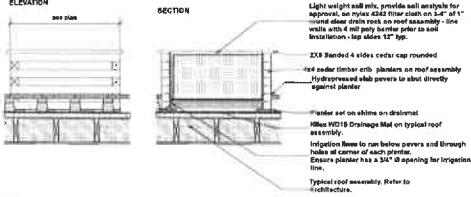


6 Metal Planter

Scale: 1:25

7 Community Garden Plots

Scale: 1:25



2024-12-12	Issue for DP Prior To
2024-11-21	Issue for 50% Coordination
2024-10-16	Issue for DP
2024-09-13	Issue for DP
2024-12-12	Issue Notes
Prospect & Refuge LANDSCAPE ARCHITECTS 2371 Kelly Ave Port Coquitlam BC V3C 1Y3 604-606-1023 info@prospectandrefuge.ca Building on over 25 years of history as prospectandrefuge.ca	
Project File path: Now View Society 2371 Kelly Ave Port Coquitlam BC V3C 1Y3 Project location: Traditional, ancestral and unceded territory of the Kwikwaka'wakw (Kwakwaka'wakw First Nation) About the Landscape Details - Surfaces and Structures	
Project No. 2023-34	Issue as noted
Project Manager SHW	Drawn by SHW
Reviewed by SHW	L4.1

DR000597 (26)

[illegible]

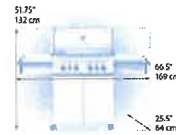
DPO00597(27)

THE PRESTIGE PRO™ SERIES FOR THE ULTIMATE GRILLING EXPERIENCE



SPECIFICATIONS

WARRANTY	Lifetime Bumper to Bumper*
FUEL TYPE	Natural Gas
HEAT OUTPUT	80,000 BTU (25.70 kW)
MAIN COOKING AREA	28 x 17.75 in (71 x 45 cm) 31 burgers
TOTAL COOKING AREA	500 sq. in (5,770 cm²)
ROTISERIE INCLUDES	Yes
SIDE BURNER	Infrared SIZZLE ZONE™ Side Burner
HEIGHT	51.75 in (132 cm) 56.75 in (144 cm) with lid open
WIDTH	66.50 in (169 cm)
DEPTH	25.59 in (64 cm)
PACKAGING HEIGHT	32 in (81.28 cm)
PACKAGING WIDTH	31 in (78.74 cm)
PACKAGING DEPTH	41 in (104.14 cm)
PACKAGING WEIGHT	254 lbs. (115.15 kg)



1 BBQ Scale: NTS



1.8m ht. Aluminum Privacy Fence with wood grain style powder coating
Sleek Fence or approved equivalent
wood grain colour TBD
w: sleekfence.com

3 Aluminum Privacy Fence Scale: NTS



Dreamcast Aura 36 Fire Table
Finish/Colour TBD
w: dreamcastdesign.com
c: 604 332 4930

4 Fire Table Scale: NTS

loll designs

4 slat adirondack

2 Adirondack Chairs Scale: NTS

tierraLITE Lightweight Growing Media

Product Description

tierraLITE is a lightweight growing media designed for use in containers, raised beds, and vertical gardens. It is made from a combination of recycled materials and is designed to provide excellent drainage and aeration for plants. The media is available in various sizes and quantities to suit different needs.

Product Features

- Lightweight and easy to handle
- Provides excellent drainage and aeration for plants
- Made from recycled materials, environmentally friendly
- Available in various sizes and quantities
- Suitable for use in containers, raised beds, and vertical gardens

Product Guidelines

- Use in containers, raised beds, and vertical gardens
- Avoid use in lawns or areas where it may be tracked
- Follow local regulations regarding disposal of organic materials

Installation Tips and Recommendations

- Mix with soil to improve drainage and aeration
- Use in containers, raised beds, and vertical gardens
- Follow local regulations regarding disposal of organic materials

Light Weight Growing Medium

tierraLITE is a lightweight growing media designed for use in containers, raised beds, and vertical gardens. It is made from a combination of recycled materials and is designed to provide excellent drainage and aeration for plants. The media is available in various sizes and quantities to suit different needs.

5 Light Weight Growing Medium Scale: NTS

2024-12-12 Issue for DP Prior To

2024-11-21 Issue for 50%

2024-10-16 Coordination

2024-09-13 Issue for DP

Date

Issue Notes

Prospect & Refuge

LANDSCAPE ARCHITECTS

2371 Kelly Ave, Port Coquitlam BC V3C 1Y3

Project Title and Location

New View Society

2371 Kelly Ave, Port Coquitlam BC V3C 1Y3

Project Number

2023-04

Scale

AS NOTED

Project Designer

SHW

Project Manager

SHW

Project Number

2023-04

Scale

AS NOTED

Project Designer

SHW

Project Manager

SHW

DR000597(28)

Schedule A

Energy Conservation:

Conservation Measure	Verification Method
Energy Star rated appliances to be used	BP stage; written confirmation by Architect along with staff review of BP submission
Step 4 of the Energy Step Code	DP and BP stage; staff review of BP submission
Window placement to provide opportunities for natural light and ventilation	DP and BP stage; staff review of building plans
High Efficiency (COP) mechanical systems with heat recovery	DP and BP stage; staff review of BP submission

Water conservation:

Conservation Measure	Verification Method
High efficiency landscape irrigation system with rain sensors is to be installed	DP and BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arborist
Installation of a stormwater detention tank to slow stormwater flows	BP stage; staff review of building plans
Use of efficient/low-flow plumbing fixtures	DP and BP stage; written confirmation by Architect along with staff review of BP submission
Drought-tolerant and indigenous tree, shrub and plant species.	DP and BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arborist

GHG Reduction:

Conservation Measure	Verification Method
Provision of bicycle racks and secure bike storage to promote alternative transportation	DP and BP stage; staff review of building plans
All parking spaces are to have access to roughed-in for EV charging	DP and BP stage; written confirmation by developer
Provision of space for recycling facilities to promote waste diversion	DP and BP stage; staff review of building plans

per OCP Sec. 9.11 Environmental Conservation DPA designation

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