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PRINCE GEORGE, BRIT

CONSULTANT



18 JUL 2019

3	11/11/2011	ISSUED FOR REASONING/DP
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1 11NOV2016 ISSUED FOR REZONING

NO	DATE	REMARKS
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Townhouse Development

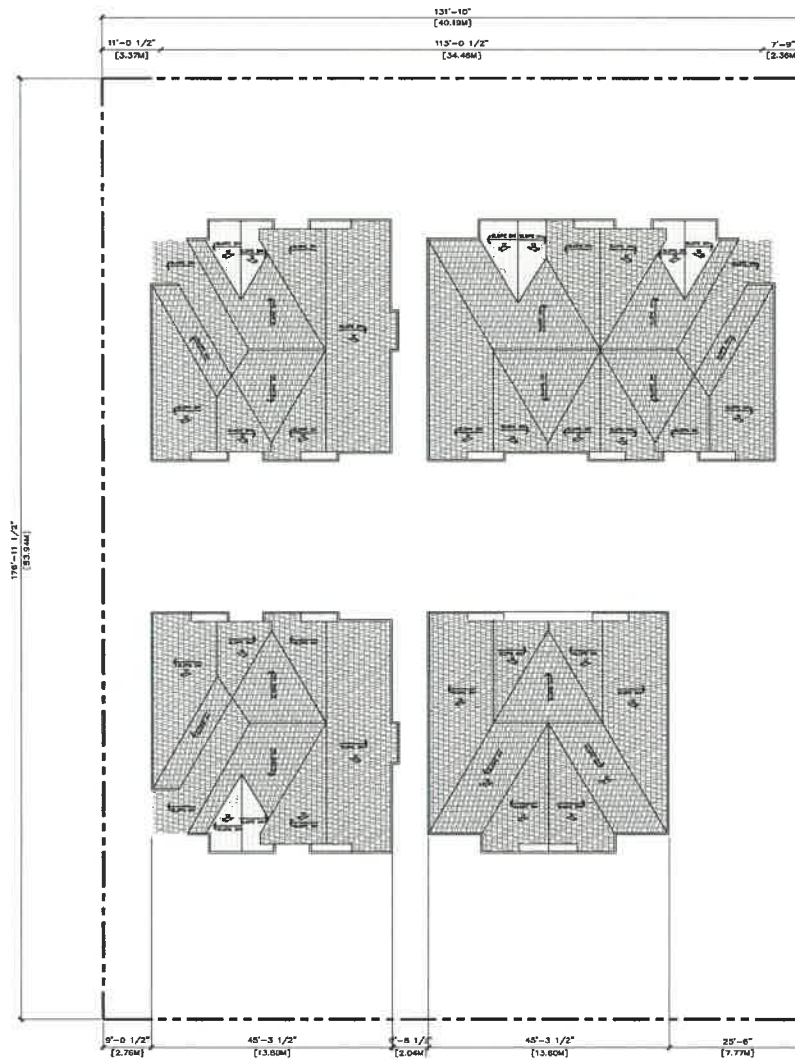
1752 & 1758 Salisbury Ave.
PoCo, British Columbia

GROUND FLOOR PLAN

REZONING/DP

A221

SCALE: 3/32" = 1'-0"	PROJECT NO: 1630
DRAWN BY: VE	DATE: NOV2016
CHECKED BY: JK	



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architect inc

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PRIME CONSULTANT

CONSULTANT



NO. 11002819

3 11/02/2019 RE-ISSUED FOR REZONING/DP
 2 11/02/2019 RE-ISSUED FOR REZONING/DP
 1 11/02/2019 RE-ISSUED FOR REZONING/DP

NO. DATE REMARKS



Townhouse Development

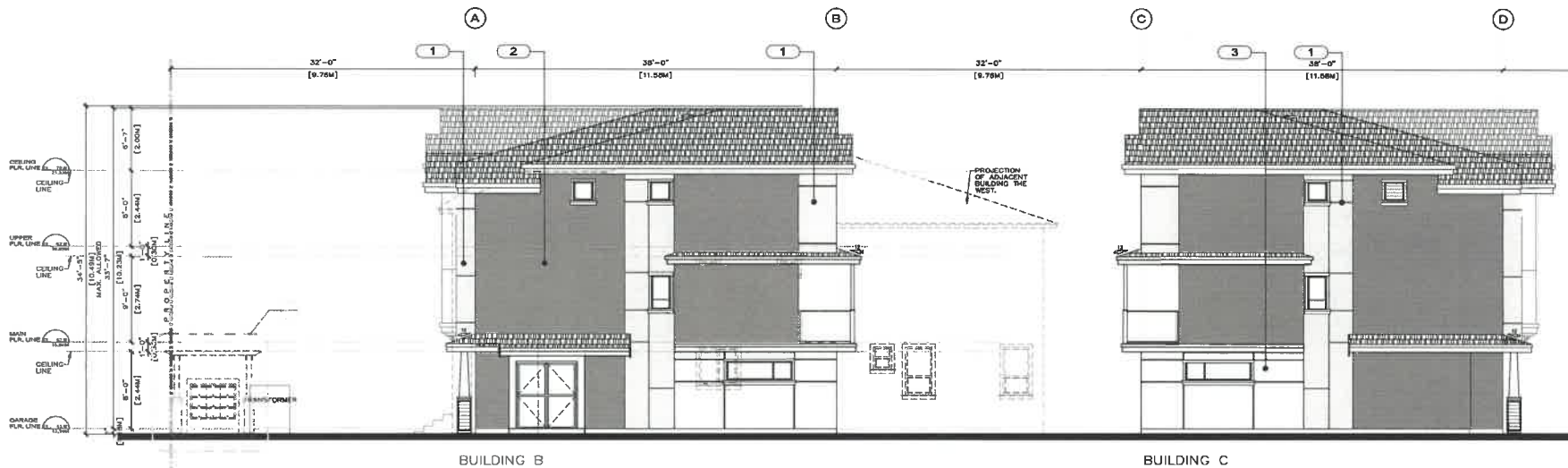
1752 & 1758 Salisbury Ave.
 PoCo, British Columbia

ROOF PLAN

REZONING/DP

A251

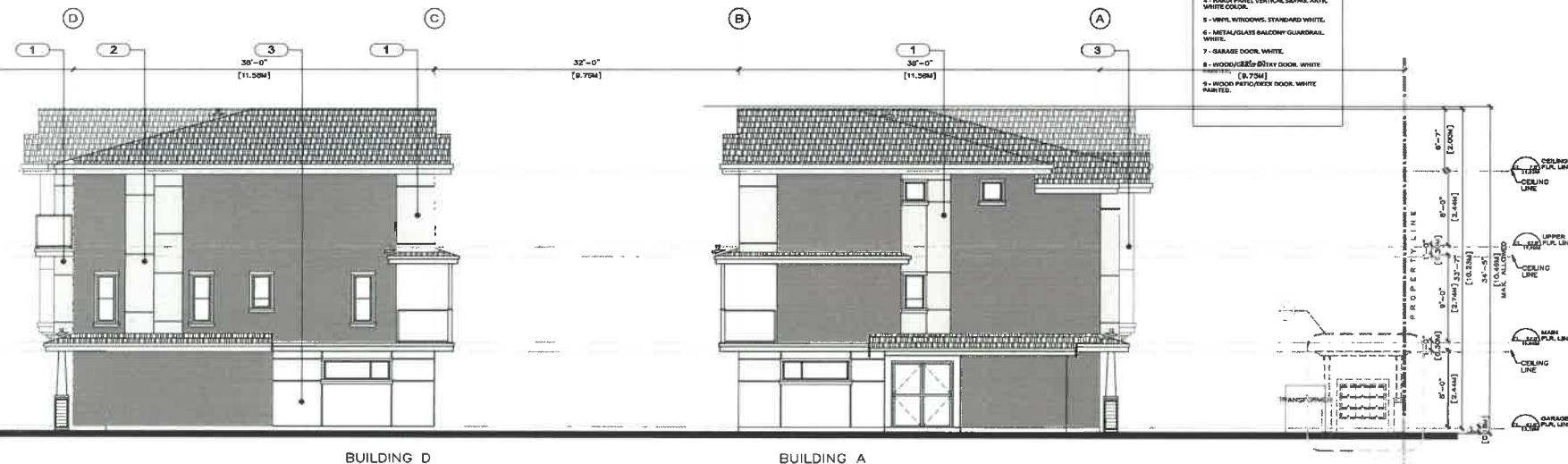
SCALE: 3/32" = 1'-0"
 DRAWN BY: VE
 CHECKED BY: JK
 PROJECT NO: 1630
 DATE: NOV2016



**BUILDING B & C
WEST ELEVATION**
SCALE: 3/16" = 1'-0"

GUIDELINE 9.5.3.a.ii- LOWER ROOF HEIGHT
TO NEIGHBORING PROPERTIES
(OCP FORM & CHARACTER)

- MATERIAL FINISHES:**
- 1 - HARDY PANEL WEARY TRIM REVEALS, LIGHT GRAY COLOR.
 - 2 - HARDY PANEL LAP SIDING, GRAY SLATE COLOR.
 - 3 - HARDY PANEL WEARY TRIM REVEALS, ARTIC WHITE COLOR.
 - 4 - HARDY PANEL VERTICAL SIDING, ARTIC WHITE COLOR.
 - 5 - VINYL WINDOWS, STONEMAN WHITE.
 - 6 - METAL/GLASS BALCONY GUARDRAIL, WHITE.
 - 7 - GARAGE DOOR, WHITE.
 - 8 - WOOD/GLOSS ENTRY DOOR, WHITE.
 - 9 - WOOD PATIO/DECK DOOR, WHITE PAINTED.



**BUILDING A & D
EAST ELEVATION**
SCALE: 3/16" = 1'-0"

ALL DIMENSIONS ARE IN FEET & INCHES UNLESS OTHERWISE SPECIFIED. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE. DIMENSIONS TO OUTLINE UNLESS NOTED OTHERWISE. DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE. DIMENSIONS TO OUTLINE UNLESS NOTED OTHERWISE. DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE. DIMENSIONS TO OUTLINE UNLESS NOTED OTHERWISE.

Jordan Kutev
architect inc

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SEAL 110127919

3 11/02/2018 RE-ISSUED FOR REZONING/DP
2 11/02/2018 RE-ISSUED FOR REZONING/DP
1 11/02/2018 RE-ISSUED FOR REZONING/DP

DATE REMARKS



Townhouse
Development

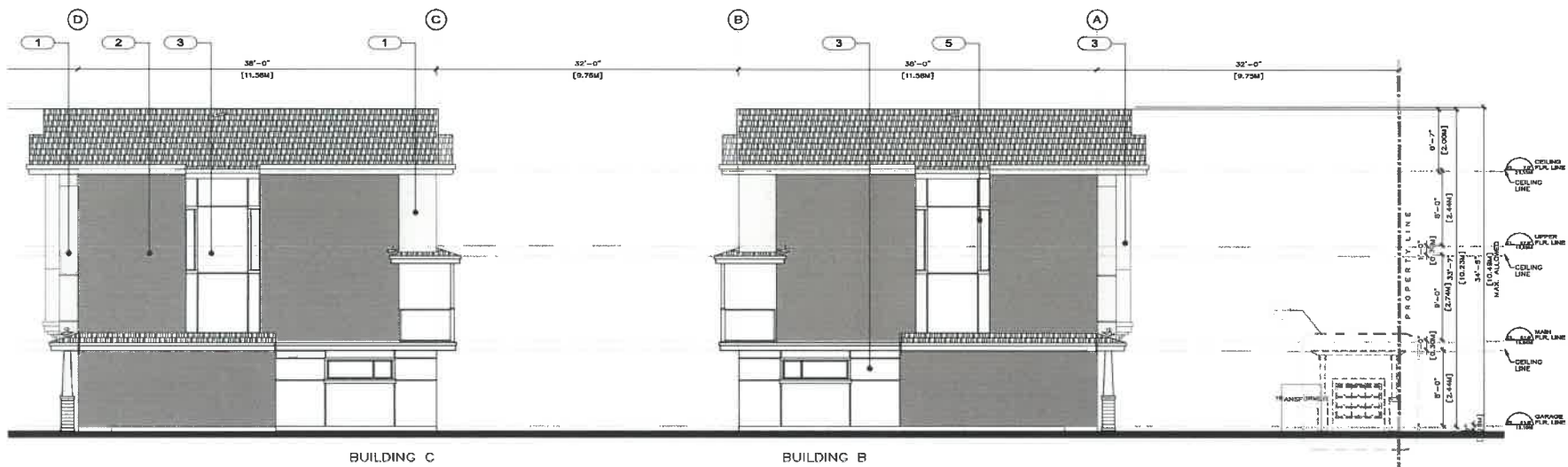
1752 & 1758 Salisbury Ave.
PoCo, British Columbia

BUILDING B & C
WEST ELEVATION
BUILDING A & D
EAST ELEVATION

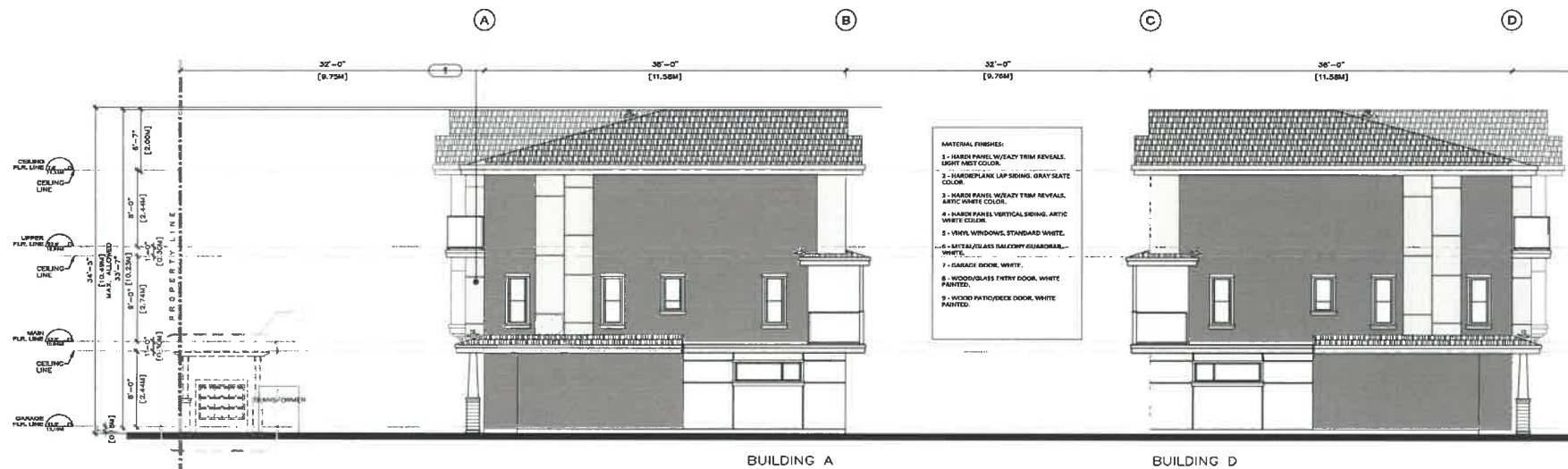
REZONING/DP

A402

SCALE: 1/4" = 1'-0" PROJECT NO: 1630
DRAWN BY: VE DATE:
CHECKED BY: JK NOV2016



**BUILDING C & B
EAST ELEVATION**
SCALE: 3/16" = 1' - 0"



**BUILDING A & D
WEST ELEVATION**
SCALE: 3/16" = 1' - 0"

- MATERIAL FINISHES:**
- 1 - HARDY PANEL W/ EASY TRIM REVEALS, LIGHT MIST COLOR.
 - 2 - FIBRECEMENT LAP SIDING, GRAY SEAT COLOR.
 - 3 - HARDY PANEL W/ EASY TRIM REVEALS, ARTIC WHITE COLOR.
 - 4 - HARDY PANEL VERTICAL SIDING, ARTIC WHITE COLOR.
 - 5 - VINYL WINDOWS, STANDARD WHITE.
 - 6 - METAL/SLATE SATELLITE GUARDRAIL, WHITE.
 - 7 - GARAGE DOOR, WHITE.
 - 8 - WOOD/GLOSS ENTRY DOOR, WHITE PAINTED.
 - 9 - WOOD PATIO/DECK DOOR, WHITE PAINTED.

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**Jordan Kutev
architect inc**

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1 - 604 271 5554
1 - 604 271 5555
18 - 2220 LEANING ROAD
VANCOUVER, BC V6M 1Y6
WWW.JKA.CO

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REAL 110C12018

3	10/07/2016	REISSUED FOR REZONING/DP
2	10/07/2016	ISSUED FOR REZONING/DP
1	28/07/2016	ISSUED FOR REZONING/DP

DATE

REMARKS



**Townhouse
Development**

1752 & 1758 Salisbury Ave.
PoCo, British Columbia

**BUILDING C & B
EAST ELEVATION
BUILDING A & D
WEST ELEVATION**

REZONING/DP

A404

SCALE: 1/4" = 1' - 0"	PROJECT NO: 1630
DRAWN BY: VE	DATE: NOV2016
CHECKED BY: JK	



BUILDING B
ROOF PROJECTION
SCALE: N.T.S.

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CONSULTANT

SEAL 11OCT2018

3	10 OCT 2011	RE-ISSUED FOR REZONING/DP
2	18 JUL 2011	ISSUED FOR REZONING/DP
1	3 NOV 2010	ISSUED FOR REZONING

NO	DATE	REMARKS
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Townhouse Development

1752 & 1758 Salisbury Ave.
PoCo, British Columbia

**BUILDING B
ROOF PROJECTION**

REZONING/DP

A405

SCALE: 1/4" = 1'-0"	PROJECT NO: 1630
DRAWN BY: VE	DATE: NOV2016
CHECKED BY: JK	



BUILDING A



BUILDING D

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jordan kutev
architect inc

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DEAL 110072019

3	110072019	RE-ISSUED FOR REZONING/DP
2	15A08.2019	ISSUED FOR REZONING/DP
1	11NOV2016	ISSUED FOR REZONING

ID	DATE	REMARKS

ARC
Development Group

Townhouse
Development

1752 & 1758 Salisbury Ave.
PoCo, British Columbia

SCHEMATIC
RENDERINGS

REZONING/DP

A461

SCALE:	PROJECT NO:
NTS	1630
DRAWN BY:	DATE:
VE	NOV2016
CHECKED BY:	
JK	

WIRE BOX	TOTAL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING
2		<i>Acacia nebotensis</i>	Arctostigma Maple (eduntan)	7cm Cal. WB	
2		<i>Anderscheria sylvatica</i>	Saintsberry	2.5m tall, WB mid-elm	
0		<i>Coccoloba rotundifolia</i>	Shiner Pink Dogwood	6cm Cal. WB	
3		<i>Carapichea inornata</i>	Kakum Tree	7cm Cal. WB	
4		<i>Mangifera indica</i>	Golden Mango	7cm Cal. WB	
1		<i>Platanus sp.</i>	Douglas Fir	3.5m tall, WB	
15		<i>Platanus sp.</i>	Emerald Green Cedar	4 x 6m x 6m tall 2.5m tall	800 cu. ft.

NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the plan shall prevail.
- 2) All planting shall be in accordance with HCL/LAB/CLHA Landscape Standard, latest edition.
- 3) All planting beds: match with 75mm of decomposed granite bark.
- 4) All plantha beds and lawn areas: 450mm depth growing medium (absorbent landscape)

2. All work to satisfaction of the Owner.
3. All work in compliance with City of Port Coquitlam municipal standards.
4. Removal of all excavated materials, including dirt, rocks, recycle where feasible.
5. Contractor to confirm location of any subsurface services before proceeding.
6. Contractor to confirm actual site conditions and layout before proceeding.
7. All dimensions are in millimeters, unless noted otherwise.
8. Contractor to coordinate with City of Port Coquitlam with work of other disciplines, including civil, electrical, and architectural, as directed by the Owner.
9. Contractor to make good all damage to satisfaction of the Owner, at no additional cost.
10. Worker to be cleared from site immediately if any work creates an unsafe or hazardous condition, unless minor repairs are required.
11. Siteowner and crew to be kept clear of all times and cleared to the satisfaction of the City.
12. All work to be completed within the time, materials, and specifications.
13. Ensure positive circulation for all landscape areas.

Tree locations to be adjusted in the field as determined by location of underground services. Confirm locations before digging.



PROJECT NUMBER	1705
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