

THE CORPORATION OF THE CITY OF PORT COQUITLAM

“DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849”

DEVELOPMENT PERMIT

NO. DP000396

Issued to: Patrik Kutak, Kutak (Shaughnessy01) Limited Partnership

Address: #2007-1177 West Hastings St
Vancouver, BC
V6E 2K3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied by this Permit.
2. This Development Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

Address: 2446 Shaughnessy Street

Legal Description: Lot 86 District Lot 289 Group 1 NWD Plan NWP15939
Lot 87 District Lot 289 Group 1 NWD Plan NWP15939

P.I.D.: 010-141-332
000-599-506

3. The above property has been designated as a Development Permit Area under Section 9.0 – Development Permit Area in the “Official Community Plan Bylaw, 2013, No. 3838”.
4. “Port Coquitlam Zoning Bylaw, 2008, No. 3630” and “Parking and Development Management Bylaw, 2005, No.3525” are varied, supplemented or both in accordance with the following:
 - a. The form and character of the building, including the siting, height and general design, shall be as shown on drawings numbered DP000396(1) to DP000396(20) which are attached hereto and form part of this permit.
 - b. The form and character of on-site landscaping shall be as shown on drawings numbered DP000396(21) to DP000396(28) and the following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto.
 - (ii) All planting materials shall be able to survive for a period of one year from the date of the site landscape approval by the Municipality.
 - c. The building and landscaping shall provide the energy conservation, water conservation and GHG emission reduction elements as shown on Schedule A to the drawings which are attached hereto and form part of this permit.

5. **Landscape Security**

- (a) As a condition of the issuance of this permit, the security set out below will be held by the Municipality prior to the issuance of a building permit to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clause 4 above. There is filed accordingly an irrevocable Letter of Credit or cash security in the amount **\$156,400** for the purpose of landscaping.
- (b) Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. A condition of the posting of the security is that should the Permittee fail to carry out the works or services as hereinabove stated, according to the terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by its servants, agents or contractors, and any surplus shall be paid over to the Permittee.
- (c) The Permittee shall complete the landscaping works required by this permit within six months of the final inspection for the final phase of the development. Within the six month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within the six month period, the Municipality has the option of continuing to hold the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping, and recoup additional costs from the Permittee if necessary. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

- (d) Should the Permittee carry out the works and services permitted by this permit within the time set out above, the security shall be returned to the Permittee.
- 6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit, which shall form a part hereof.
 - 7. This permit shall lapse if the Permittee does not substantially commence the construction permitted by this permit within two years of the (issuance) date of this permit.
 - 8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
 - 9. This permit is not a building permit.

APPROVED BY THE COMMITTEE OF COUNCIL THE ____TH DAY OF JANUARY, 2020.

SIGNED THIS ____ DAY OF _____, 2020.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND
CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or
Representative of Applicant)

PORT COQUITLAM, BRITISH COLUMBIA

05 April 2019

ARCHITECTURAL

PROJECT DIRECTORY

EXISTING GRADE




ABBREVIATIONS

[illegible]

PROJECT DIRECTORY

TRAFFIC CONSULTANT:
DUNT & ASSOCIATES
1550 - 1050 West Pender Street
Vancouver, BC V6E 3S7
Ph: 604 688 8427
Contact: Simon Dunt

LEGEND

 CITY BUILDING GRADE
 PROPOSED GRADE
 EXISTING GRADE




ABBREVIATIONS

[illegible]

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LEGEND

 CITY BUILDING GRADE
 PROPOSED GRADE
 EXISTING GRADE



ONE SHAUGHNESSY
KUTAK DEVELOPMENT SERVICES LTD
2446 SHAUGHNESSY STREET
PORT COQUITLAM, BRITISH COLUMBIA

Dp000396(1)

ingham + hill
+ h i l l + o i l +

[illegible]

Product Data:
COVER SHEET

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

A. #	1807	EXERCISES: NUMBER 1
E		A1.01
NAME		
DATE		
SCORE		

PROJECT INFO

CIVIC ADDRESS 2448 SHAUGHNESSY STREET, PORT COQUITLAM
 LEGAL DESCRIPTION Lot 68 + 370L 289 Group 1 N.W.D. plan 15039
 CURRENT ZONING R42
 EXISTING USE 2 single family dwellings
 PERMITTED CONDITIONAL USE To meet O.C.P.
 PROPOSED USE RESIDENTIAL
 FLOOD ELEVATION 7.37m (24.2')

FLOOR AREA SUMMARY

	Allowable	Proposed
TOTAL (max. 2.5 FSR)	32,903.0 sq ft 3,047.5 m ²	27,456.5 sq ft 2,550.8 m ²

SITE INFO

PROPERTY AREA 19,121.2 sq ft
 1,219.0 m²

LOT COVERAGE 6,896.0 sq ft
 640.85 m²

BUILDING HEIGHT ALLOWED 35.40 ft 28,992 m
 PROPOSED 70.00 ft 21.3 m (FROM AVERAGE SITE ELEVATION TO TOP OF ROOF DECK)

NO. OF STORES 8

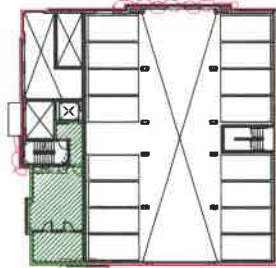
SETBACKS

	ALLOWED/REQUIRED	PROPOSED
	FEET METERS	FEET METERS
FRONT SIDE	13.10 ft 4.0 m	13.1 ft 4.0 m
INTERIOR SIDE	9.80 ft 3.0 m	9.80 ft 3.0 m
EXT. SIDE	13.10 ft 4.0 m	13.10 ft 4.0 m
REAR SIDE	24.80 ft 7.5 m	24.80 ft 7.5 m

WASTE CONTAINERS REQUIRED (BETHRITE)

WASTE	CONTAINER CHOICE	# OF UNITS	RATE (L/UNIT/WEEK)	C-ABS VOLUME GENERATED (L/WEEK)	D CONTAINER CAPACITY (L)	E-OD # OF CONTAINERS REQ'D PER WEEK
GARBAGE	4 CU. YD. BIN	33	95.0	3135.0	3068.4	1
RECYCLING - NEWSPRINTS	360L CART	33	8.5	280.5	360.0	1
RECYCLING - MIXED PAPERS W/ CARDBOARD	4 CU. YD. BIN	33	40	1320.0	3068.4	1
RECYCLING - MIXED CONTAINERS	360L CART	33	9.0	297.0	360.0	1
COMPOSTABLES	360L CART	33	14.0	462.0	360.0	2
TOTAL			186.5	5494.5		

* NUMBER OF CONTAINERS SHOWN FOR GARBAGE IS REDUCED TO REFLECT THE VOLUME OF COMPOSTABLES DIVERTED.



AREA INSIDE RED LINE = "BUILDING AREA" CODE

AREA = 887.7m (7,879 sq ft)

AREA WITH GREEN HATCH = MEZZANINE (CODE 10% MAX ALLOWED)

AREA = 65.7m (577 sq ft)

MEZZANINE PERCENTAGE = 10% OF TOTAL BUILDING AREA

MEZZANINE CODE COMPLIANCE

AREA SUMMARY

	a	b	c	d	e	gross	net
	RESIDENTIAL (sq.ft.)	COMMON (sq.ft.)	SERVICE (sq.ft.)	AMENITY INDOOR (sq.ft.)	AMENITY OUTDOOR (sq.ft.)	GROSS AREA (BUILDABLE) (sq.ft.)	TOTAL F.S.R. AREA (sq.ft.)
LEVEL 1	0	602.16	0	257.61	0	859.77	0
MEZZANINE	0	100.17	0	402.7	0	502.87	0
LEVEL 2	5711.79	693.76	0	0	0	6405.55	5711.79
LEVEL 3	5711.79	693.77	0	0	0	6405.56	5711.79
LEVEL 4	5711.79	693.77	0	0	0	6405.56	5711.79
LEVEL 5	4635.35	688.28	0	0	0	5323.63	4635.35
LEVEL 6	4600.32	688.32	0	0	0	5288.64	4600.32
ROOF	0	688.32	0	0	0	688.3 sq ft	0 sq ft
TOTAL (sq ft)	27,456.48 sq ft	4,891.2 sq ft	300.1 sq ft	660.2 sq ft	0 sq ft	33,008.0 sq ft	27,456.5 sq ft
TOTAL (m ²)	2,550.79 m ²	426.64 m ²	33.45 m ²	61.34 m ²	0 m ²	3,072.12 m ²	2,550.79 m ²
% OF GROSS AREA	83.0%	13.9%	1.1%	2.0%	0.0%	100.0%	83.0%
% OF F.S.R. AREA	188.8%	18.7%	1.8%	3.4%	0.0%	188.4%	188.8%
EFFICIENCY							83.8%

SUITE SUMMARY

FLOOR LEVEL	# OF STOREYS	FLOOR TO FLOOR	STUDIO	1 BED	1 BED + DEN	2 BED	2 BED + DEN	3 BED	3 BED + DEN	TOTAL
LEVEL 1	1	16. ft	0	0	0	0	0	0	0	0
MEZZANINE	0	0	0	0	0	0	0	0	0	0
LEVEL 2	1	10. ft	2	1	1	1	1	1	0	7
LEVEL 3	1	10. ft	2	1	1	1	1	1	0	7
LEVEL 4	1	10. ft	2	1	1	1	1	1	0	7
LEVEL 5	1	10. ft	2	1	1	1	1	1	0	7
LEVEL 6	1	10. ft	1	0	1	2	1	0	0	5
ROOF LEVEL	0	0								
TOTAL	8		9	4	5	6	5	4	0	33
%			27%	12%	15%	18%	15%	12%	0%	100%

ADAPTABLE HOUSING REQUIRED

PERCENTAGE OF ADAPTABLE UNITS REQUIRED 30%

TOTAL NUMBER OF UNITS IN BUILDING 33

NUMBER OF ADAPTABLE UNITS REQUIRED 10

PARKING REQUIRED

On-Street Parking:

	Required	Proposed
Stalls:	1.0 spaces per Studio 1.3 spaces per 1 BED 1.5 spaces per 2 BED +	9 12 23
	Subtotal:	44
Visitor:	1.0 space per 5 units	7
	TOTAL:	51
Small Car Allowance:	Max. 25% of total parking spaces	11
HVC Spaces:	1.0 space per 100 spaces	1

BICYCLE PARKING

Long Term Storage:	1.0 space/unit (50% horiz & 40% vert. (max))	33
Short Term Storage:	Min. 6 spaces	6
		34

AMENITY AREAS

	REQUIRED	PROPOSED
	m ² sq. ft.	m ² sq. ft.
INDOOR AMENITY AREA	2 m ² per dwelling unit	2 m ² x 33
	66.0	710.4
OUTDOOR AMENITY AREA	3.5 m ² per dwelling unit	3.5 m ² x 33
	115.5	1,243.2
		198.6
		2,106.0

D000396(2)



ONE SHAUGHNESSY
 KUTAK DEVELOPMENT SERVICES LTD
 2446 SHAUGHNESSY STREET
 PORT COQUITLAM, BRITISH COLUMBIA

6	DP SUBMISSION 5	JAN 20 2018
4	DP SUBMISSION 4	NOV 20 2017
3	DP SUBMISSION 3	OCT 2 2017
2	DP SUBMISSION 2	SEP 6 2017
1	ISSUED FOR DP	APR 18 2017



Project J01
 PROJECT DATA

PROJ. #	1807	DRAWING NUMBER
SCALE		
DRAWN		
CHECKED		

A1.02

DESIGN RATIONALE
2446 SHAUGHNESSY – PORT COQUITLAM
D.P. 000396

- Shaughnessy 1 is a proposed residential development in the Port Coquitlam City Centre area providing a contemporary resolution to a site development which adds character and scale within the areas existing development fabric. The transition from single family to multi-family in the area over the last 15 years has been dominated by 3 to 4 storey linear developments responding to parking requirements.
- This proposal consolidates two existing residential lots facing Shaughnessy Street and Atkins Avenue with a lane for vehicle/service access. There are no significant trees within the site except at the north property line which will be retained. Adjacent buildings include 3 and 4 storey apartment buildings with occasional single-family undeveloped lots.
- Site size and soil conditions impact foundation design and limit parkade construction in this area. This condition is not unique to developing urban areas, however development of new parking technology is mitigating this problem with methods of moving cars mechanically within structures, saving on the footprint otherwise needed for car maneuvering. Shaughnessy 1 incorporates this technology which enables development to take place and effectively use the available footprint and height for the residential development.
- The stacking parking system is perhaps the precursor to how we will be adapting to the new vision of the individual vehicle use within our current planning model. It presents new and sustainable options to land use and the built form.
- Building Code changes enable higher wood frame construction (up to 6 storeys) which minimizes the building footprint and allows for more efficient use of a local, sustainable building material. Adaptable housing requirements and step code energy savings make for a sustainable base building consistent with the intent of the O.C.P.
- The project, as a result of this approach, incorporates 3 of the objectives of Growth Management in the O.C.P.
 - "Incorporate sustainable development and 'smart growth' principles of practices into community planning."
 - "Ensure that development is carried out in a systematic and orderly manner and is accompanied by adequate services and facilities."
 - "attain moderate and community wide energy reductions"The O.C.P. 7.2. Housing & Neighbourhoods "the objectives.....choice, tenure price housing form" are also met.
- The strong architectural character of this building provides a landmark on Shaughnessy Street without disturbing the rhythm of the existing architectural development. The use of brick and windows with a vertical character provides a useful interruption to the more linear streetscape governed by the guidelines.
- An intensive residential development with the use of high-quality materials will enhance the individual character of the building and the streetscape as a whole. Although not consistent with the guidelines, it contrasts with the existing in a positive way adding character.
- Recreation and outdoor amenity are provided at the roof of level 6 in excess of requirements, serviced by elevator. Level 6 residents have direct access to private gardens from their suites via stair providing a unique opportunity to use the roof in this area.
- The main entrance is from Shaughnessy Street and responds to the pedestrian scale, while the top floor steps back from the main building face. The building corners are highlighted with large balconies. The masonry construction and large punctuated windows provide a contemporary character with the use of low maintenance durable materials. Vehicle access is from the lane together with Visitor parking and a public electric car charging station.

Building character is maintained along Atkins Avenue with a landscaped base, balconies, and a top floor stepped back from the main building envelope consistent with that on Shaughnessy Street.

The guidelines suggest a 3rd storey setback. However, this building site presents unique challenges which can be compensated for by a strong design response and stepping back Level 6. The guidelines within the area the building is located suggests that setting back the building form at the 3rd storey is an appropriate urban design characteristic. In this case, as time moves on, we can see that perhaps this idea is not appropriate for all cases and buildings with smaller footprints may have to respond in a different way. This project provides a strong contrast, which in its own way strengthens its neighbours by bringing diversity within the area.

The east elevation is similarly modelled with all habitable room windows facing either the lane or Atkins Avenue to mitigate overview of potential adjacent developments.

- Relaxations:
 - The parkade intrudes into the required setback on Atkins Avenue by 2'-0" for a limited area midway for 22'-0" to facilitate vehicle turning in the parkade and steps back to the required setback at the residential level and is not readily apparent within the building form.
 - The shortfall in required Amenity space (7.3m²) is offset by the provision of an excess of outdoor amenity space at roof level mitigating the need for the indoor amenity space requirement.
- Landscaping at grade enhances the pedestrian experience along both Shaughnessy and Atkins with seating and stepped landscaping modulating the street wall, while at the corner a low bench/seat provides a soft resolution to what could have been a "hard" corner. Lane access is a nominally landscaped urban response of organized visitor parking and a public electric vehicle charging station.
- Green garden plots are located at the roof level providing an excess of outdoor amenity by 69%.
- An electric vehicle charging station is provided accessed from the lane while pre-wiring within the vehicle stacking is provided for individual vehicles.
- Dwelling units are family oriented and provide a mixture of unit types consistent with the intent of the O.C.P. including:
 - 30% adaptable units
 - 12% 3 bedroom units
 - 33% 2 bedroom units
- In conclusion, the development of this site represents a unique approach to "small" scale redevelopment, and although not meeting the strict requirements laid out in the design guidelines, it does carry forward the intent of requiring a high standard of design while meeting the intent of the O.C.P.

THE CORPORATION OF THE
CITY OF PORT COQUITLAM

MEMORANDUM

DATE: July 3, 2019
TO: Chris Laing
Planner
FROM: Stephen Chee
Building Inspector

SUBJECT: Development Permit Application Per 2444 - 2448 Shaughnessy Street
Request For Comments Dp000396

The Building Division has the following comments for this application:
(Drawings were incomplete and insufficient for a plan review.) A Building Code review will be done at the time of building permit application. The items below are to be addressed:

- Building is located in the flood plain area of the City. Habitable floor space is not permitted below the flood plain elevation including residential storage rooms.
 - Residential storage and ground floor amenity has been removed from below flood plain.
 - Utility spaces remain.
- Submit details of mezzanine compliance or revise approach to building code compliance for an additional storey in building height.
 - Mezzanine has been adjusted to be not more than 10% of building area - calculation indicated on D.P. drawings. Refer to A1.02 Project Data.
- Indicate building height measured from first storey.
 - Building height indicated on elevations from average grade to top floor, less than 18m.
- Bicycle storage room is not permitted to open directly into a lobby exit.
 - Exit has been rearranged to eliminate "Exit Lobby" requirements.
- Minimum exit stair run 280 mm.
- Maximum exit stair rise 180 mm. All stairs will comply with new code requirements BCBC 2018
- Minimum dwelling unit stair run 255 mm.
- Confirm access to vehicles in storage garage in lift parking in the event of electrical power loss and fire.
 - See separate letter from Kutak Developments.
- Indicate if visitor parking is part of lift system.
 - Visitor parking is not part of the lift system.
- Confirm compliance to construction requirements of 3.2.2.50.1(b). The uppermost floor level serves a rooftop enclosure for elevator machinery, or a stairway.
 - "Building Area" is 650m². The roof level is not considered as a storey.
- Provide floor space on both sides of adaptable doors to conform to BC Building code.
 - This will be provided, or automatic door openers will be installed. Currently indicated as D.O. on the drawings.
- Indicate occupant load. Roof?
 - Occupant load will be no more than 60. Signage will be provided to indicated same on roof level.
- Indicate who will be using roof deck and proposed occupant load on roof.
 - Roof deck is for the use of the residents and their guests as outdoor amenity.
- Provide washroom facilities to occupied roof deck.
 - It is not intended to provide washroom facilities at roof deck as it would create a 7th floor.

Note:

- Lot consolidation required. - In process
- Demolition permits required. - In process
- Fire sprinkler calculations and sealed design drawings are required at time of building permit application.
 - Understood, will be provided at B.P. Application
- Building is located in the flood plain area of the City. A restrictive covenant and geotechnical report is required as per the Community Charter Section 56 from a geotechnical engineering confirming the safe use in a flood plain.
 - Understood, will be provided at B.P. Application
- Design to comply to the current BC Building Code edition at time of building permit application.
 - Understood, will be provided at B.P. Application - assume BCBC 2018
- Registered professional to review storm water management.
 - Understood, will be provided at B.P. Application
- Plan review to be done at time of building permit application. Working drawings required.
 - Understood, will be provided at B.P. Application



Stephen Chee



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KUTAK DEVELOPMENT SERVICES LTD
2446 SHAUGHNESSY STREET
PORT COQUITLAM, BRITISH COLUMBIA

5	DP SUBMISSION 5	JAN 20 2020
4	DP SUBMISSION 4	NOV 20 2019
3	DP SUBMISSION 3	OCT 2 2019
2	DP SUBMISSION 2	SEP 16 2019
1	ISSUED FOR DP	SEP 16 2019

by bingham hill architects

DESIGN RATIONALE & RESPONSE TO CITY COMMENTS

ALL UNREMOVED SHALL BE NOTED ON SITE

DESIGN RATIONALE & RESPONSE TO CITY COMMENTS

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D000596(4)

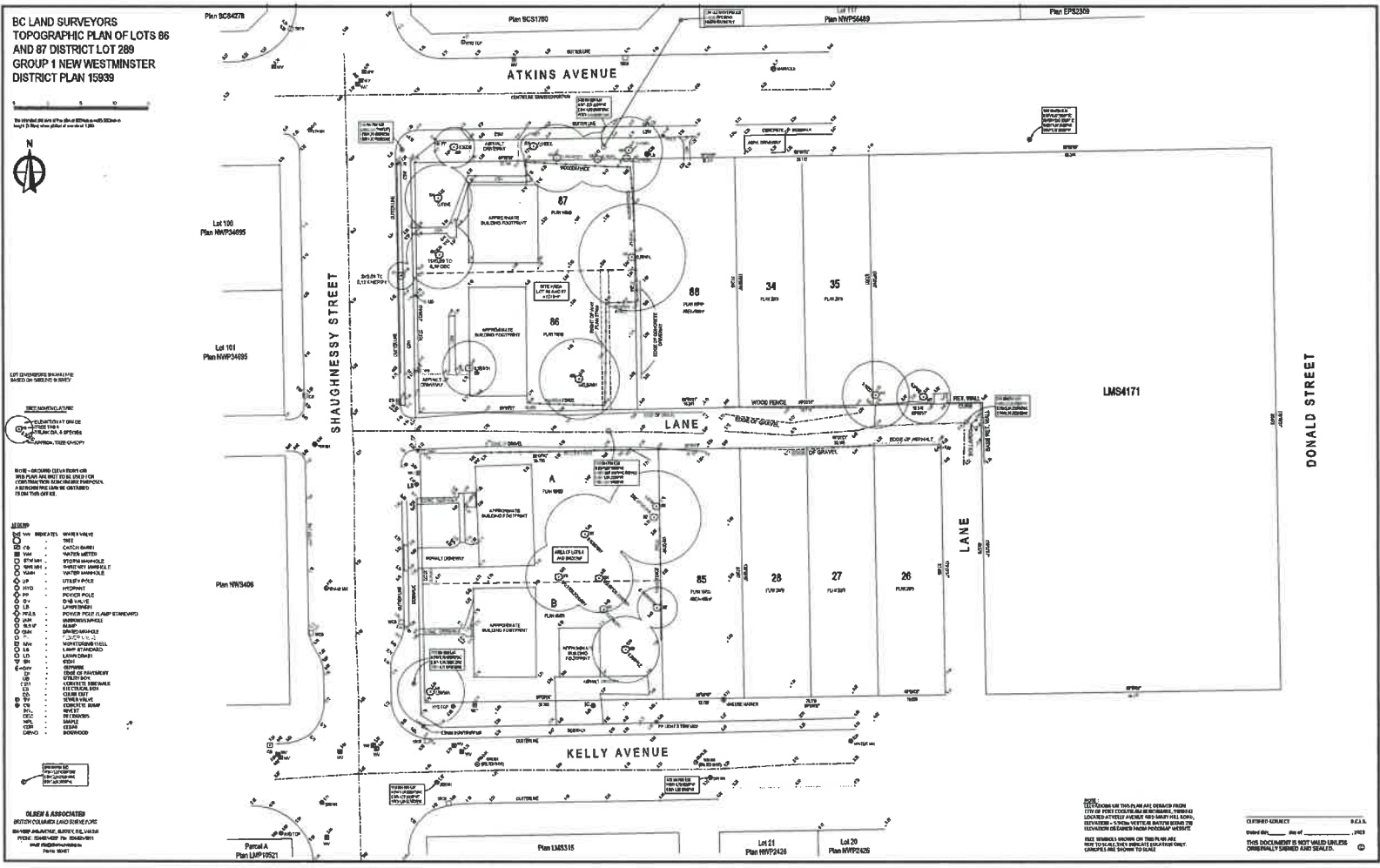
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4	DP SUBMISSION 4:	NOV 20 2012
3	DP SUBMISSION 3:	OCT 2 2012
2	DP SUBMISSION 2:	SEP 18 2012
1	ISSUED FOR DP	SEP 18 2012

bingham-hill
architects



SURVEY PLAN

ALL DIMENSIONS SHOWN ARE APPROXIMATE
PLAN 1: 1807
DRAWN BY: GEORGE
A2.01



BC LAND SURVEYORS
TOPOGRAPHIC PLAN OF LOTS 86
AND 87 DISTRICT LOT 289
GROUP 1 NEW WESTMINSTER
DISTRICT PLAN 15939

Notwithstanding to whom this plan is issued, the landowner warrants that the plan is a true and correct representation of the land as shown on the ground and as surveyed.



LOT DIMENSIONS SHOWN ARE APPROXIMATE
BASED ON MEASUREMENTS
TAKEN IN 1987

NOTES:
1. THE PLAN IS A REPRESENTATION OF THE LAND AS SHOWN ON THE GROUND AND AS SURVEYED.
2. THE PLAN IS NOT A GUARANTEE OF THE ACCURACY OF THE MEASUREMENTS.
3. A SURVEYOR'S REPORT CAN BE OBTAINED FROM THE LAND SURVEYOR.

- LEGEND
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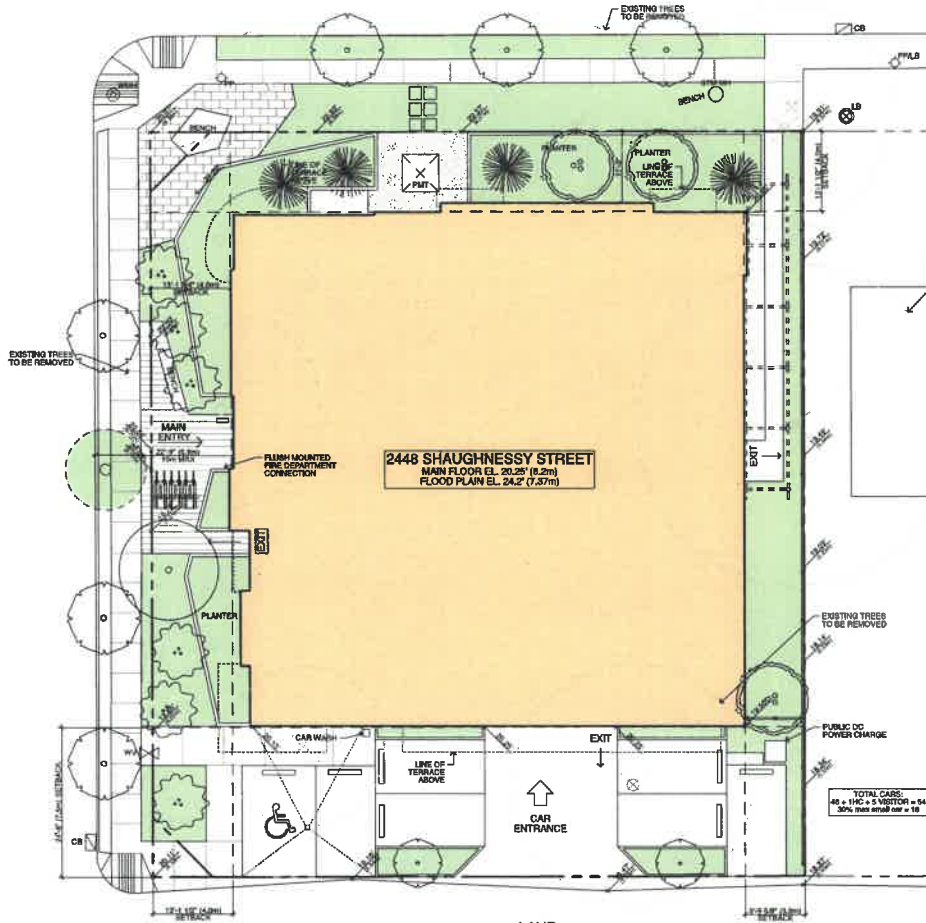
CLARK & ASSOCIATES
REGISTERED LAND SURVEYORS
1000-1000 BROADVIEW AVE. SUITE 100
VICTORIA, BC V8W 2G1
TEL: 250-383-1111
FAX: 250-383-1112

NOTES:
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SHAUGHNESSY STREET

ATKINS AVENUE

LANE



DP000396(5)



ONE SHAUGHNESSY
KUTAK DEVELOPMENT SERVICES LTD
2446 SHAUGHNESSY STREET
PORT COQUITLAM, BRITISH COLUMBIA

5	DP SUBMISSION 5	JAN 20
4	DP SUBMISSION 4	NOV 19
3	DP SUBMISSION 3	OCT 19
2	DP SUBMISSION 2	SEP 19
1	ISSUED FOR DP	AUG 19

DATE: 08/03/2020

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DISPATCH BY: enter
SITE CONTEXT PLAN

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

PHASE 2 1807

SCALE 1/8" = 1'-0"

DRAWN

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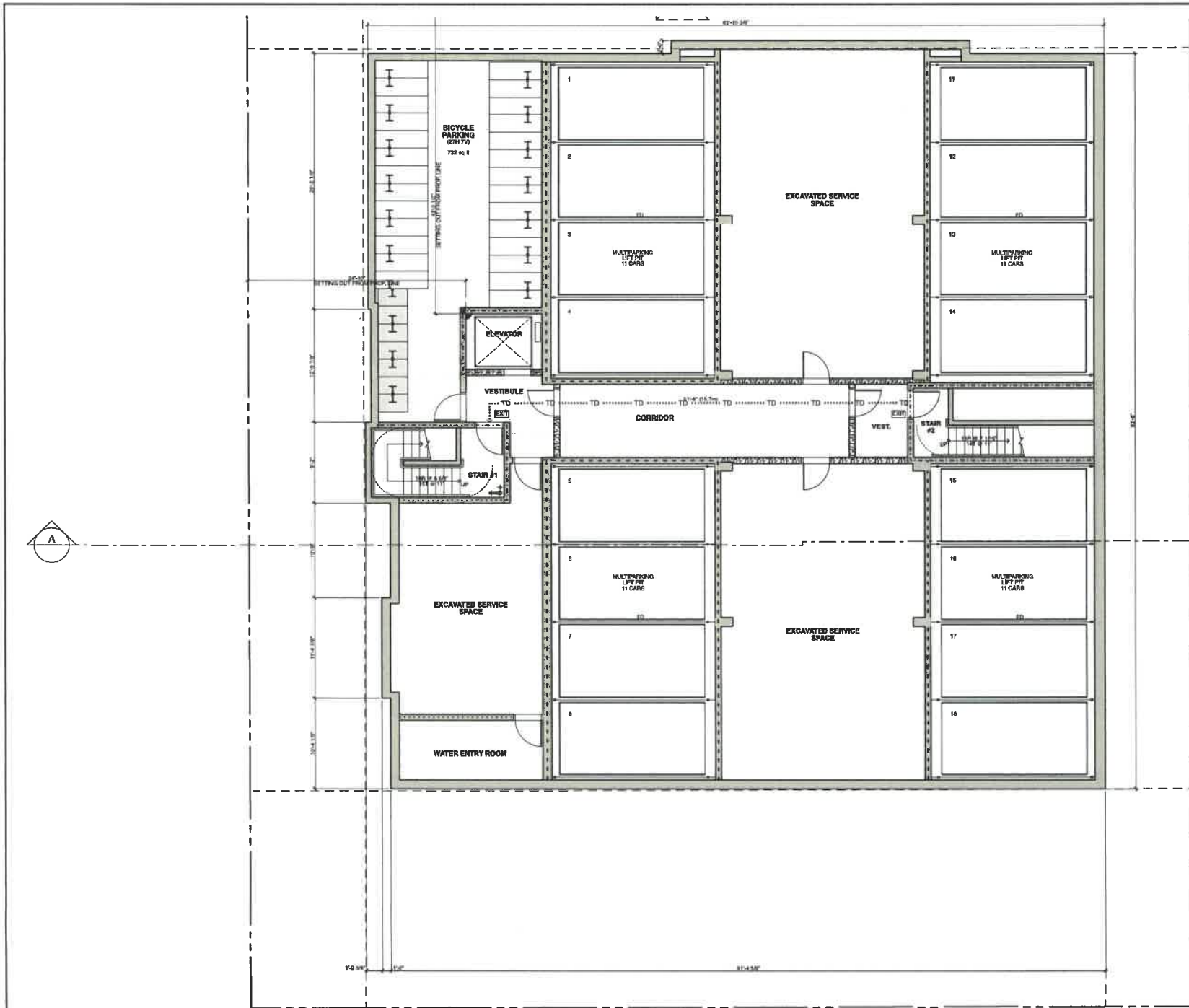


ONE SHAUGHNESSY
KUTAK DEVELOPMENT SERVICES LTD
2446 SHAUGHNESSY STREET
 PORT COQUITLAM, BRITISH COLUMBIA

NO.	REVISION / REVISION	DATE
5	DP SUBMISSION 5	JAN 20 2023
4	DP SUBMISSION 4	SEP 26 2022
3	DP SUBMISSION 3	OCT 2 2021
2	DP SUBMISSION 2	APR 18 2021
1	ISSUED FOR CP	APR 18 2021

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2446 Shaughnessy Street SITE CONTEXT ELEVATION	
ALL DIMENSIONS SHALL BE NOTED ON SET	
PROJ. #	1807
SCALE	
DRAWN	
CHECKED	
	A2.03



DP000 396(7)



ONE SHAUGHNESSY
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NO.	REVISION / REVISION	DATE
6	DP SUBMISSION 6	JAN 10
4	DP SUBMISSION 4	MAY 09
3	DP SUBMISSION 3	OCT 08
2	DP SUBMISSION 2	MAY 08
1	ISSUED FOR DP	JUN 07

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LEVEL P1

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PROJ #	1807	DRAWING NUMBER A3.01
SCALE		
DRAWN		
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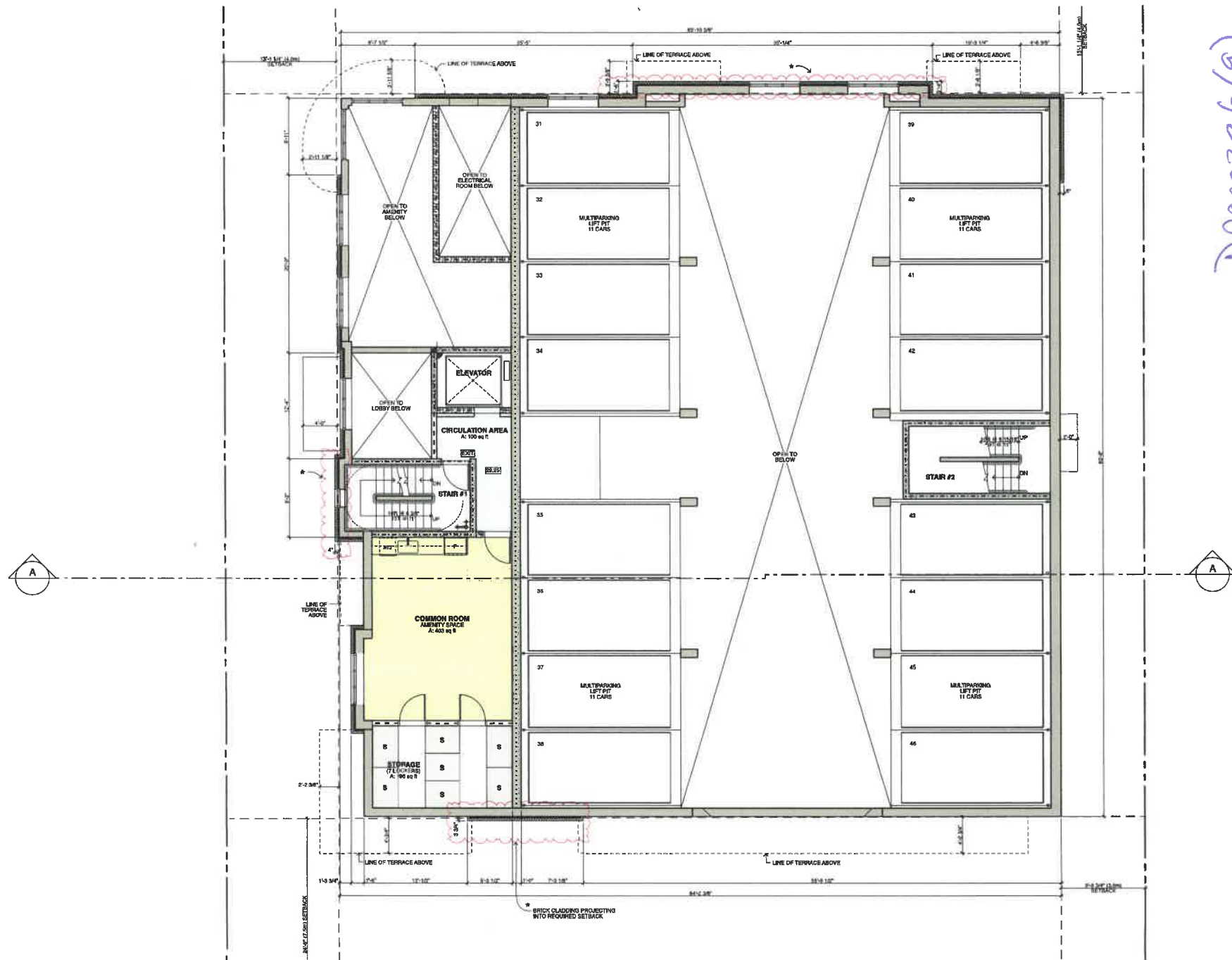
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1	ISSUED FOR DP			AUG 26 2004						
Doc.	INDEX / REVISION			DATE						
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(Empty space for student work)	

MEZZANINE LEVEL

100

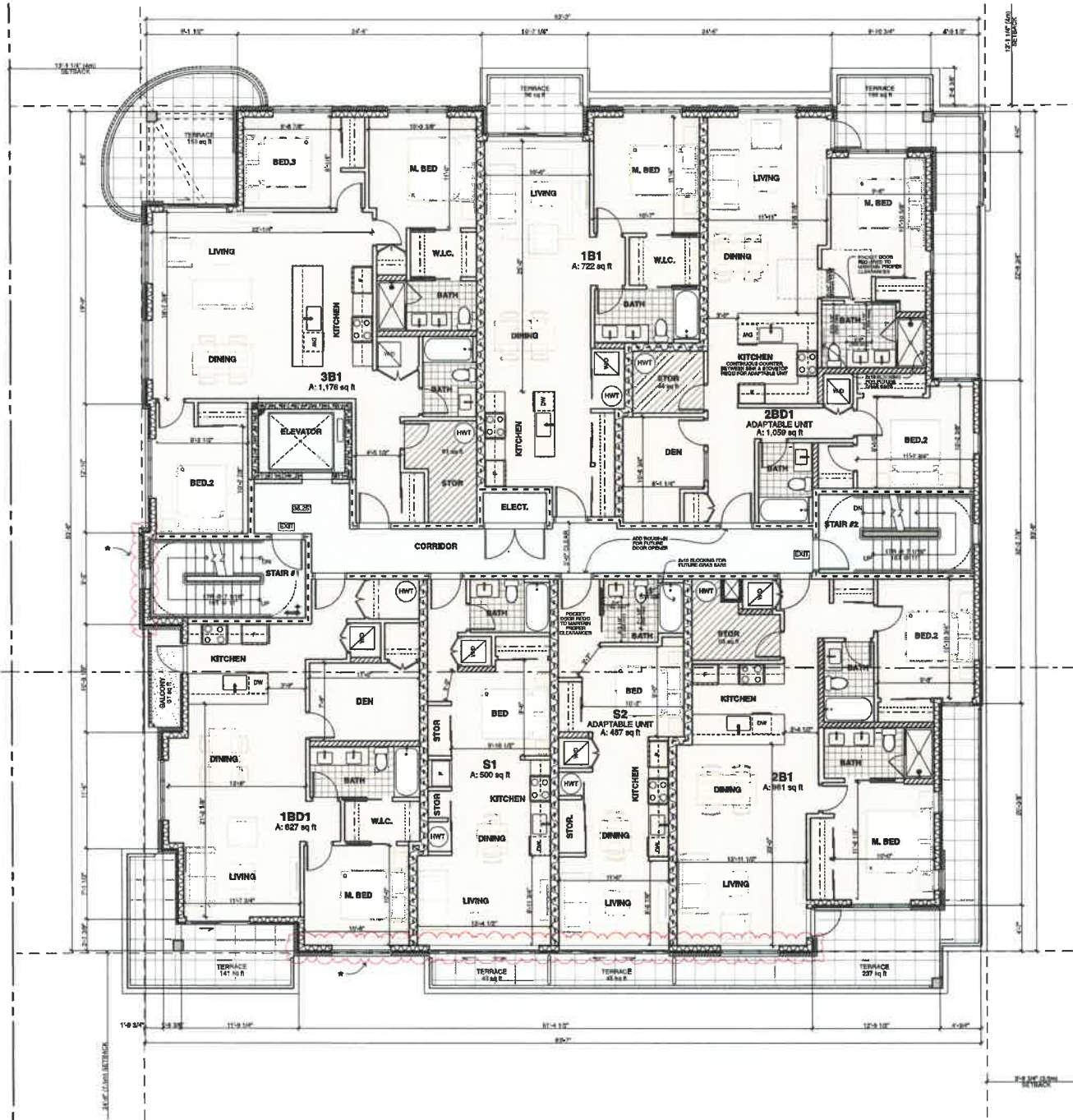
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SCALE		
DATE		
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ONE SHAUGHNESSY
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PORT COQUITLAM, BRITISH COLUMBIA

DP000396(10)



5	DP SUBMISSION 5	JAN 20
4	DP SUBMISSION 4	NOV 19
3	DP SUBMISSION 3	OCT 19
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1	ISSUED FOR DP	APR 18

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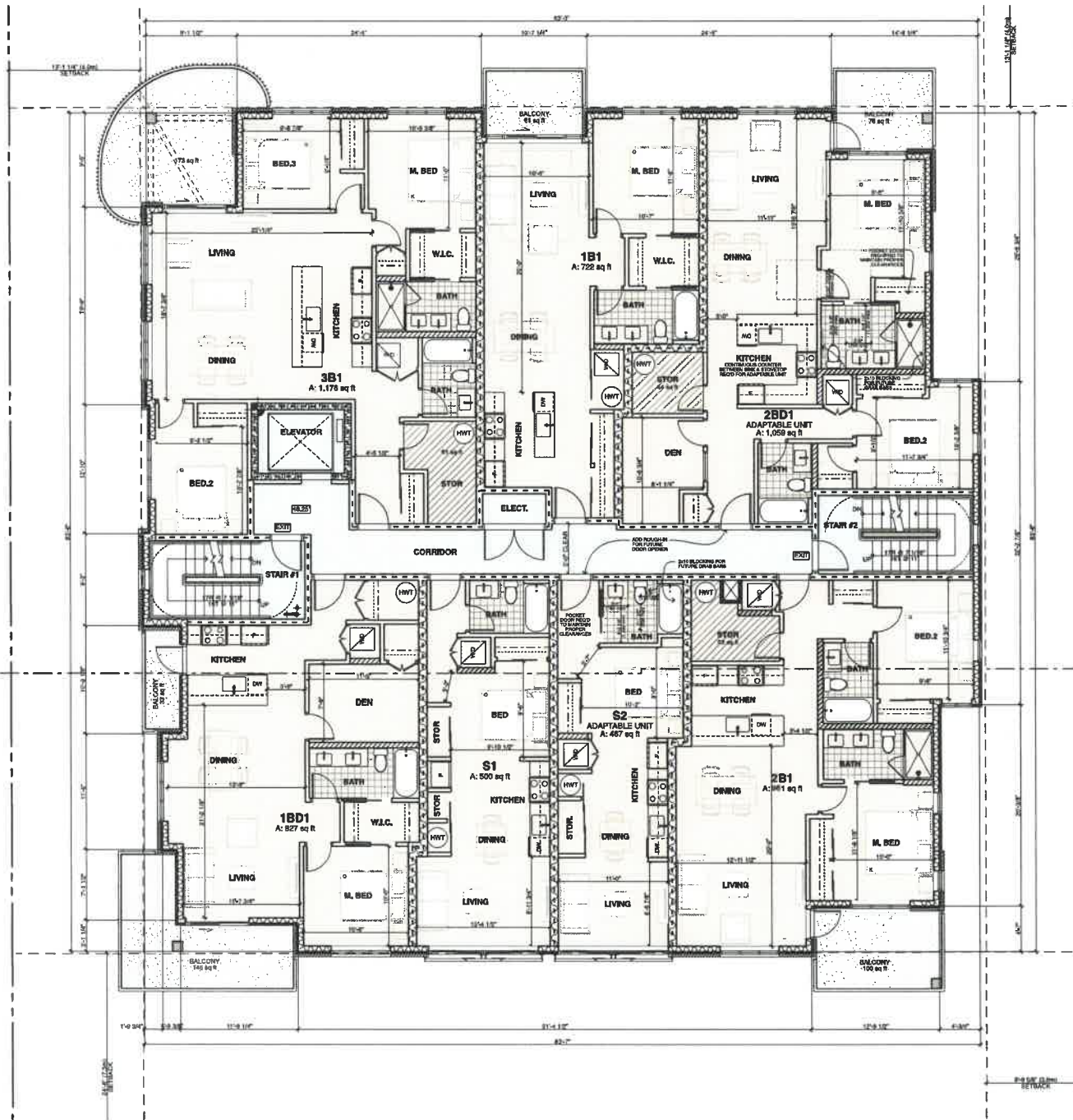
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A3.04



ONE SHAUGHNESSY
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PORT COQUITLAM, BRITISH COLUMBIA

DP00396(11)



NO.	REVISION / REVISION	DATE
5	DP SUBMISSION 5	2023-05-10
4	DP SUBMISSION 4	2023-05-10
3	DP SUBMISSION 3	2023-05-10
2	DP SUBMISSION 2	2023-05-10
1	ISSUED FOR DP	2023-05-10

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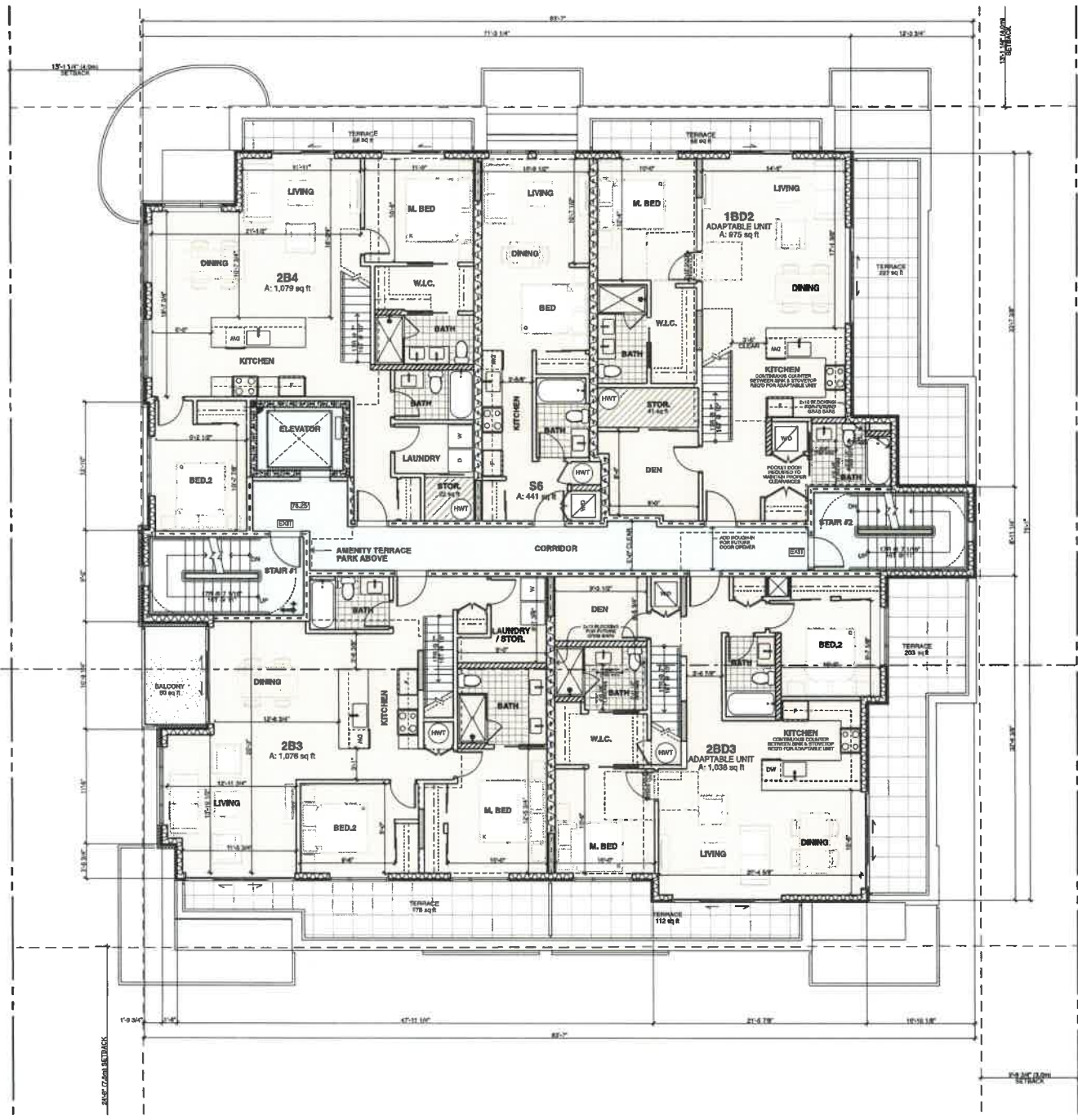
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DRAWN: [signature]	
CHECKED: [signature]	

DP00396 (12)



ONE SHAUGHNESSY
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PORT COQUITLAM, BRITISH COLUMBIA



5	DP SUBMISSION 5	JAN 20 2019
4	DP SUBMISSION 4	NOV 15 2018
3	DP SUBMISSION 3	OCT 12 2018
2	DP SUBMISSION 2	SEP 19 2018
1	ISSUED FOR DP	APR 09 2018

DESIGNED BY	SHAUGHNESSY
DRAWN BY	SHAUGHNESSY
CHECKED BY	SHAUGHNESSY
DATE	2018

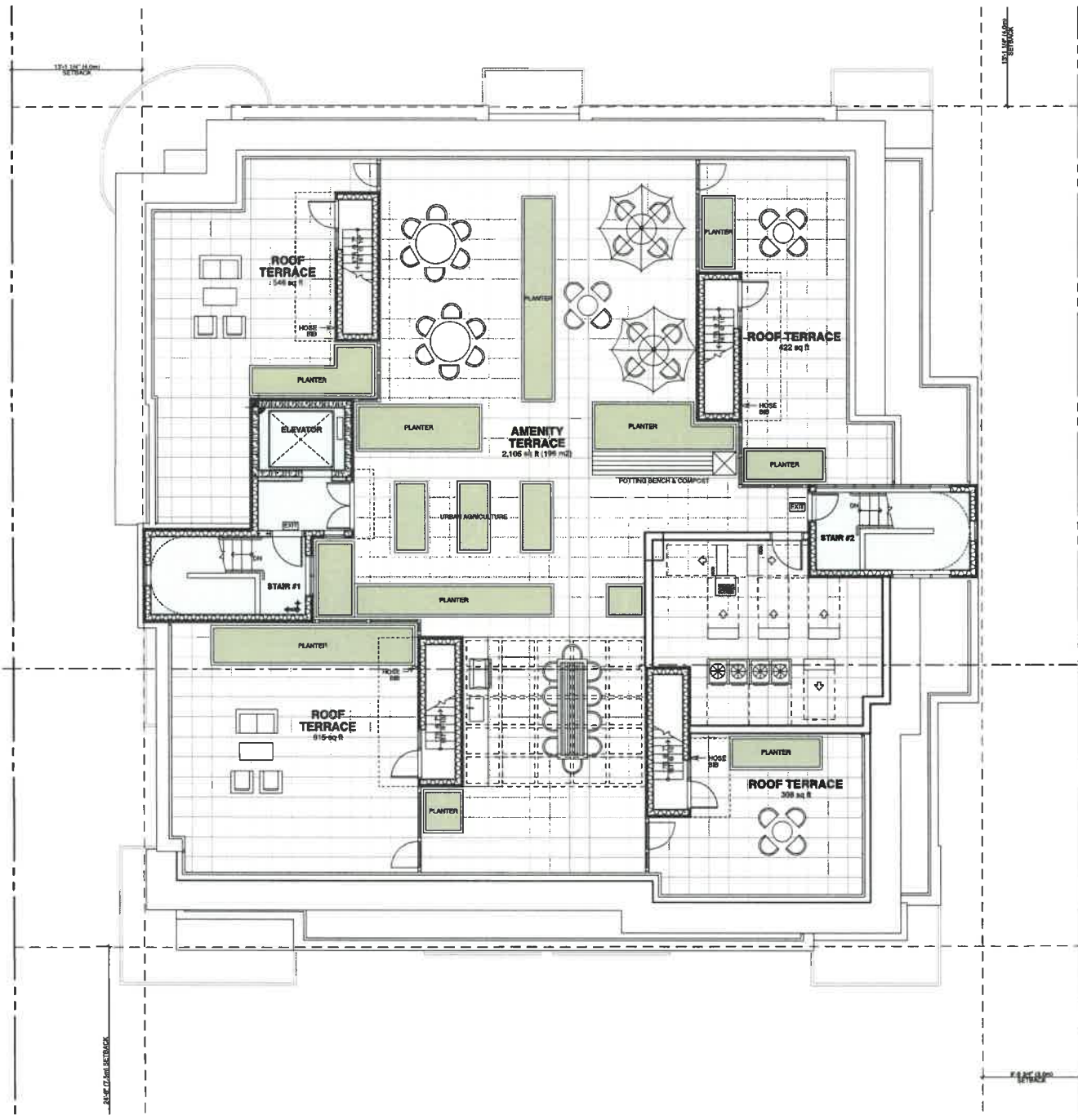
PROJECT NAME	ONE SHAUGHNESSY
PROJECT ADDRESS	2446 SHAUGHNESSY STREET, PORT COQUITLAM, BC
CLIENT	KUTAK DEVELOPMENT SERVICES LTD
DATE	2018

LEVEL	06
SCALE	1/8" = 1'-0"
DATE	2018
BY	SHAUGHNESSY
CHECKED	SHAUGHNESSY



ONE SHAUGHNESSY
KUTAK DEVELOPMENT SERVICES LTD
2446 SHAUGHNESSY STREET
PORT COQUITLAM, BRITISH COLUMBIA

DP00396(13)



5	DP SUBMISSION 5	JAN 20 2018
4	DP SUBMISSION 4	NOV 20 2017
3	DP SUBMISSION 3	OCT 1 2017
2	DP SUBMISSION 2	SEPT 4 2017
1	ISSUED FOR DP	AUG 28 2017

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General Floor Plan
ROOF LEVEL

PROJ #	1807	DRAWN NUMBER
SCALE		
DRAWN		
CHECKED		A3.07



WEST ELEVATION - SHAUGHNESSY STREET



SOUTH ELEVATION - LANE

MATERIAL SCHEDULE		
ID	MATERIAL	COLOR
①	BRICK PORTLAND	- DPL ALABAMA B'WOOD - WHITE
②	VINYL WINDOWS INSUL GLASS TRANSLUCENT	- BLACK - WHITE - POLAR WHITE
③	PAINTED CONCRETE	A - BH HC-166 B - BH HC-125
④	CERAMIC TILE FLOOR	A - BH HC-166 B - BH HC-125
⑤	GUARD RAIL	- BLACK
⑥	METAL FLASHING	- BLACK
⑦	GLASS DOOR	- BH CC-64
⑧	ENTRANCE	- NATURAL WOOD

DP000396(14)



ONE SHAUGHNESSY
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PORT COQUITLAM, BRITISH COLUMBIA

NO.	REVISION / REMARKS	DATE
6	DP SUBMISSION 5	APR 26 2023
4	DP SUBMISSION 4	NOV 25 2022
3	DP SUBMISSION 3	OCT 1 2022
2	DP SUBMISSION 2	NOV 1 2021
1	ISSUED FOR DP	2021

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Elevation WEST & SOUTH ELEVATIONS		
PROJ. #	1807	DRAWN BY
SCALE		CHECKED
DATE		
A4.01		



EAST ELEVATION



NORTH ELEVATION - ATKINS AVENUE

MATERIAL SCHEDULE		
ID	MATERIAL	COLOR
1	BRICK PORTLAND - SLATE	- PL. ALABASTER 6" DOOR
2	WALL WINDOW NAIL GLASS TRANSLUCENT	- BLACK - LOUPE - POLAR WHITE
3	PAINTED CONCRETE	A - BR. HC. 64 B - BR. HC. 65
4	CEMENTITIOUS PLASTER	A - BR. HC. 64 B - BR. HC. 65
5	GLAZED RAIL	- BLACK
6	METAL FLASHING	- BLACK
7	O.H. DOOR	- BR. CG-64
8	ENTRANCE	- NATURAL WOOD

DP00396(15)



ONE SHAUGHNESSY
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6	DP SUBMISSION 6	JAN 20 2015
4	DP SUBMISSION 4	NOV 20 2014
3	DP SUBMISSION 3	OCT 2 2014
2	DP SUBMISSION 2	SEP 16 2014
1	ISSUED FOR DP	AUG 26 2014



EAST & NORTH ELEVATIONS

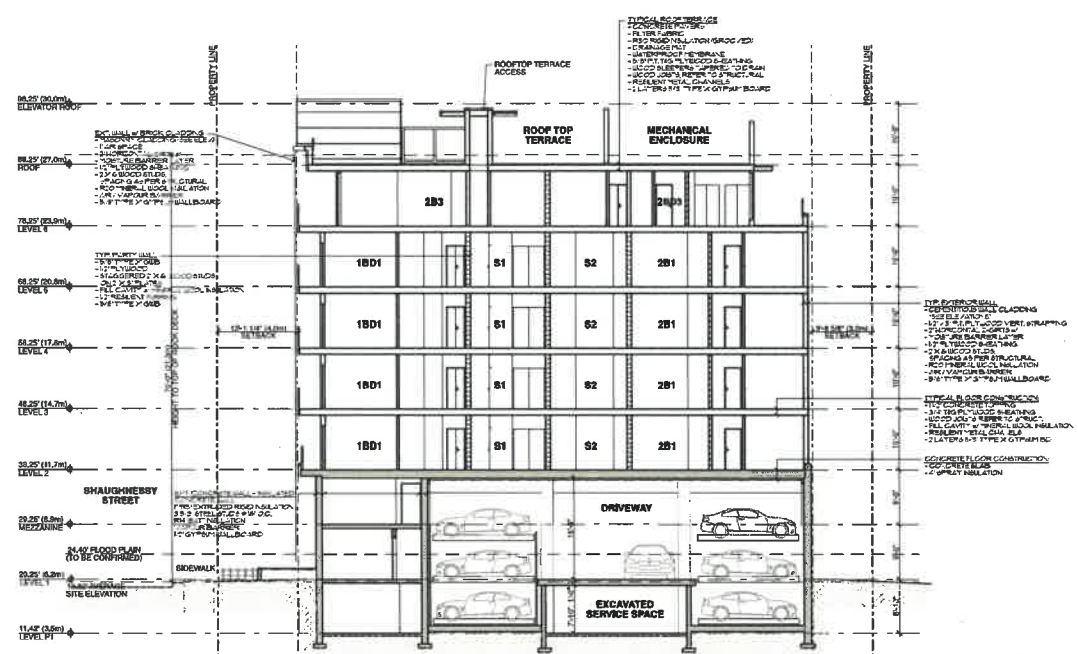
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SCALE		
DRAWN		
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A4.02

DP000 396 (15)



ONE SHAUGHNESSY
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PORT COQUITLAM, BRITISH COLUMBIA



SECTION A

5	DP SUBMISSION 5*	JAN 19 2018
4	DP SUBMISSION 4	NOV 13 2017
3	DP SUBMISSION 3	SEP 1 2017
2	DP SUBMISSION 2	AUG 28 2017
1	ISSUED FOR DP	

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SECTION A

PROJ. #	1007	DESIGNED BY	
SCALE		CHECKED	
DRAWN			
CHECKED			

A5.01

DP000396(197)



View @ West Elevation



ONE SHAUGHNESSY
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 PORT COQUITLAM, BRITISH COLUMBIA

NO.	REVISION / REVISIONS	DATE
5	DP SUBMISSION 5	JAN 20 2020
4	DP SUBMISSION 4	NOV 05 2019
3	DP SUBMISSION 3	OCT 02 2019
2	DP SUBMISSION 2	SEP 04 2019
1	ISSUED FOR DP	APR 09 2019

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VIEW @ WEST
**VIEW @ WEST
 ELEVATION**

PROJ. #	1807	DRAWING NUMBER
SCALE		A6.03
DRAWN		
CHECKED		



View @ South-West Corner

DP00398 (20)



ONE SHAUGHNESSY
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 PORT COQUITLAM, BRITISH COLUMBIA

NO.	REVISION / COMMENTS	DATE
5	DP SUBMISSION 5	JAN 25 2025
4	DP SUBMISSION 4	NOV 25 2024
3	DP SUBMISSION 3	OCT 11 2024
2	DP SUBMISSION 2	SEP 16 2024
1	ISSUED FOR DP	JUN 28 2024

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 CHECKED BY: [Name]
 DATE: [Date]

VIEW:
VIEW @ SOUTH-WEST CORNER

PROJECT	1007	DRAWING NUMBER
SCALE		A6.04
DATE		
CHECKED		

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
ST	6	Street Tree	To be confirmed	7 cm cal. B&B	
AJ	2	Acer japonica	Japanese Maple	5 cm cal. B&B	
MS	6	Magnolia stellata	Star magnolia	4m Ht. Multistem	
PO	4	Picea Omorica	Serbian Spruce	3M height. B&B	
CK	3	Cornus kousa 'Sakomi'	Kousa dogwood	4m Ht multi-stem. B&B	
PY	1	Prunus yedoensis	Yoshino Cherry	6 cm cal. B&B	Bee Friendly
SHRUBS					
AZ	193	Azalea japonica 'Gumpo White'	Japanese Azalea	#2 pot, 18" o.c.	Bee Friendly
B	65	Blechnum spicant	Deer Fern	#2 pot, 16" o.c.	
Cs	45	Cornus sericea 'Kelsey'	Dwarf red osier dogwood		
GS	105	Gaultheria shallon	Salal	#2 pot, 2' o.c.	
HS	3	Hibiscus syriacus	Rose of Sharon	#3 pot, 4' o.c.	Bee Friendly
Lp	59	Lonicera pileata	Box leaved honeysuckle		
RH	52	Rhododendron 'Blue Baron'	Rhododendron	#5 pot, 30" o.c.	Bee Friendly
Rh	7	Rhododendron 'English Roseum'	Rhododendron	#5 pot, 48" o.c.	Bee Friendly
SH	114	Sarcococca hookeriana Humilis	Sweet box		
Sp	6	Salix x 'Flame'	Flame Willow		
⊗	140	Taxus media x Hicksii	Yew hedge	4' ht, rootball to rootball	Male Plants Only
FERNS, PERENNIALS, GROUNDCOVERS, GRASSES & VINES					
⊕	144	Cotoneaster dammeri	Bearberry	#1 pot, 12" o.c.	
L	158	Liriope muscari 'Big Blue'	Lilyturf	#1 pot, 16" o.c.	
Δ	29	Lonicera japonica 'Halliana'	Japanese Honeysuckle	#1 pot	
P	208	Pachysandra terminalis	Pachysandra	#1 pot, 12" o.c.	
TEMPORARY URBAN AGRICULTURE MIX					
⊗	20	Allium tuberosum	Dwarf Chives	4" pot, 10" o.c.	Bee Friendly
⊗	20	Achillea millefolium 'White Beauty'	White yarrow	4" pot, 10" o.c.	Bee Friendly
⊗	20	Origanum vulgare	Oregano	4" pot, 10" o.c.	Bee Friendly
⊗	20	Salvia officinalis	Sage	4" pot, 10" o.c.	Bee Friendly
⊗	20	Rosmarinus officinalis	Rosmary	4" pot, 10" o.c.	Bee Friendly
⊗	20	Thymus vulgaris	Woolly Thyme	4" pot, 10" o.c.	Bee Friendly

NOTES

Planting Note

1. All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
2. Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the Canadian Nursery Stock (ANSI) Standard.
3. All trees to be staked in accordance with BCNTA Standards.
4. ALL STREET TREES Install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).

Irrigation Notes

1. A High Efficiency Irrigation System to be provided for all 'Soft Landscape Areas' shown on the drawing.
2. Irrigated areas to be installed as a design build irrigation system from the stub outs provided. Provide submittals of design to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
3. The irrigation system design and installation shall be in accordance with the Irrigation Industry of Canada Standards and Guidelines.
4. Irrigation sleeves to be sized accordingly - sleeve diameter to be twice the size of the pipe it carries.
5. Provide a separate line for the planter pots (5) to be operation year round (for planters on rooftop)

LEGEND

Detail	Symbol	Description
SURFACING		
		CIP Concrete BROOM FINISHED PATHWAYS 100mm THICK, SAWCUT AS PER PLAN.
		Linear Concrete Pavers
		Permeable Pavers AquaPave Standard by Abbotsford Concrete Charcoal, Herringbone Paving Pattern
		Concrete Pavers
		Hydrapressed Slabs 18" x 18" Colour: Natural
		Drain Rock
		Sodded Lawn
		Shrub Planting
		Hedge
FURNISHING		
		Custom Bench
		Custom Bench
		Potting Bench
		Compost
		Class B Bike Rack
		Pretabricated Metal Planter
All other furniture are shown for scale reference only.		
MECHANICAL & ELECTRICAL		
		Overhead Light
		Recessed Wall Light
		Irrigation Stub out
		Hose bib
GRADING AND DRAINAGE (in Meters)		
	+BG xx.xx	Building Grade
	+HBG xx.xx	Interpolated Building Grade
	+EG xx.xx	Existing Grade
	+FG xx.xx	Finish Grade
	+FFE xx.xx	Finish Floor Elevation
	+TW xx.xx	Top of Wall Elevation
	+BW xx.xx	Bottom of Wall Elevation
	+TS xx.xx	Top of Stair Elevation
	+BS xx.xx	Bottom of Stair Elevation
	+TC xx.xx	Top of Curb Elevation
	4.5%	Slope Direction & Percentages

04	2019-10-02	Released for DP
03	2019-09-06	Released for DP
02	2019-04-05	Issued for DP
01	2018-12-17	Tree Management Plan
no.:	date:	Item:
Revisions:		

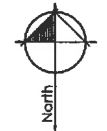


Project:
**Shaughnessy and Aldins
by Kulak,
Peri Coquilham, BC**

Drawn by:	XL
Checked by:	PK
Date:	Oct 02, 2019
Scale:	N/S
Drawing Title:	

Project No.:	18084
Sheet No.:	

DP000796(23)



04	2019-10-02	Released for DP
03	2019-09-12	Soil Depth Diagram
04	2019-09-04	Released for DP
03	2019-08-25	Soil Depth Diagram
02	2019-04-03	Issued for DP
01	2018-12-17	Tree Management Plan
Rev:	date:	item:

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 www.dkbc.ca

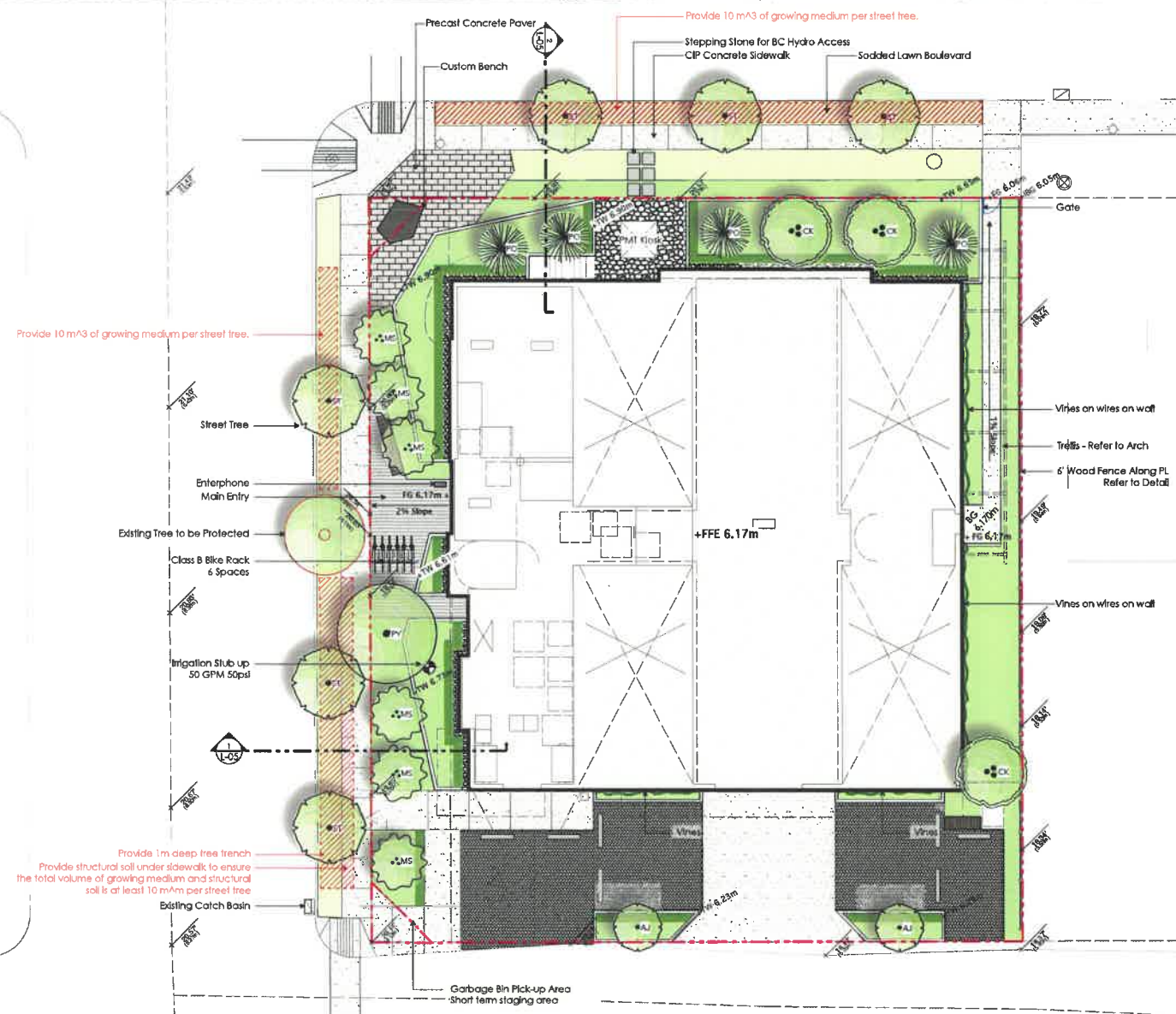
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**Shaughnessy and Aldins
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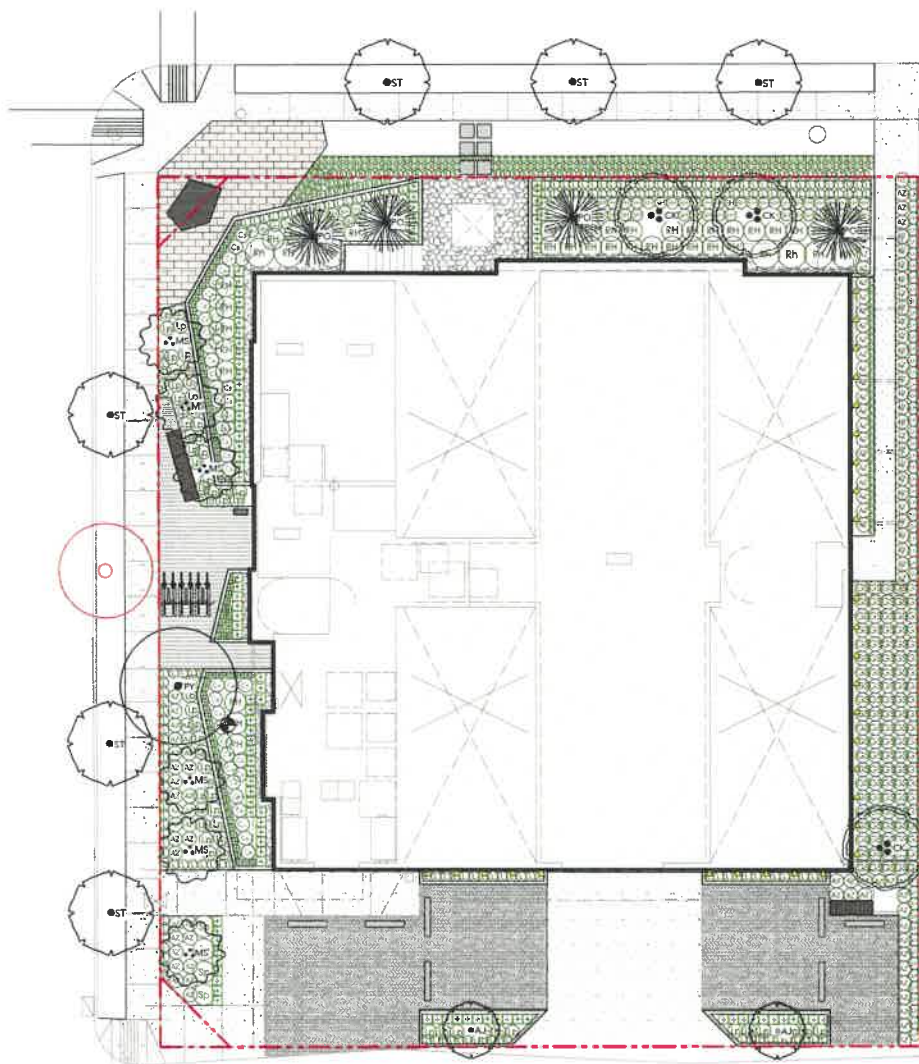
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Date:	2019-10-02
Scale:	1/8" = 1'-0"

Drawing Title:
**Level 1 Material and
 Grading Plan**

Project No.:
18084
 Sheet No.:

L-1.1





REPLACEMENT TREES:

Total Requirement: 11

New On-site Trees:

6 Magnolia Stellata	4m Ht, Multistem
4 Picea Omorica	3m Ht
3 Cornus kousa	4m Ht, Multistem
1 Prunus x yedoensis	6cm cal.
2 Acer japonica	5cm cal.

6 New Street Trees 7cm cal.

Refer to L-1.0 for Full Plant List.



06	2019-10-02	Released for DP
05	2019-09-12	Soil Depth Diagram
04	2019-09-06	Released for DP
03	2019-04-25	Soil Depth Diagram
02	2019-04-05	Issued for DP
01	2018-12-17	Tree Management Plan
no.:	date:	item:
Revisions:		

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**Shaughnessy and Aldins
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Port Coquitlam, BC**

Drawn by: XL
Checked by: PE
Date: 2019-10-02
Scale: 1/8" = 1'-0"
Drawing Title:

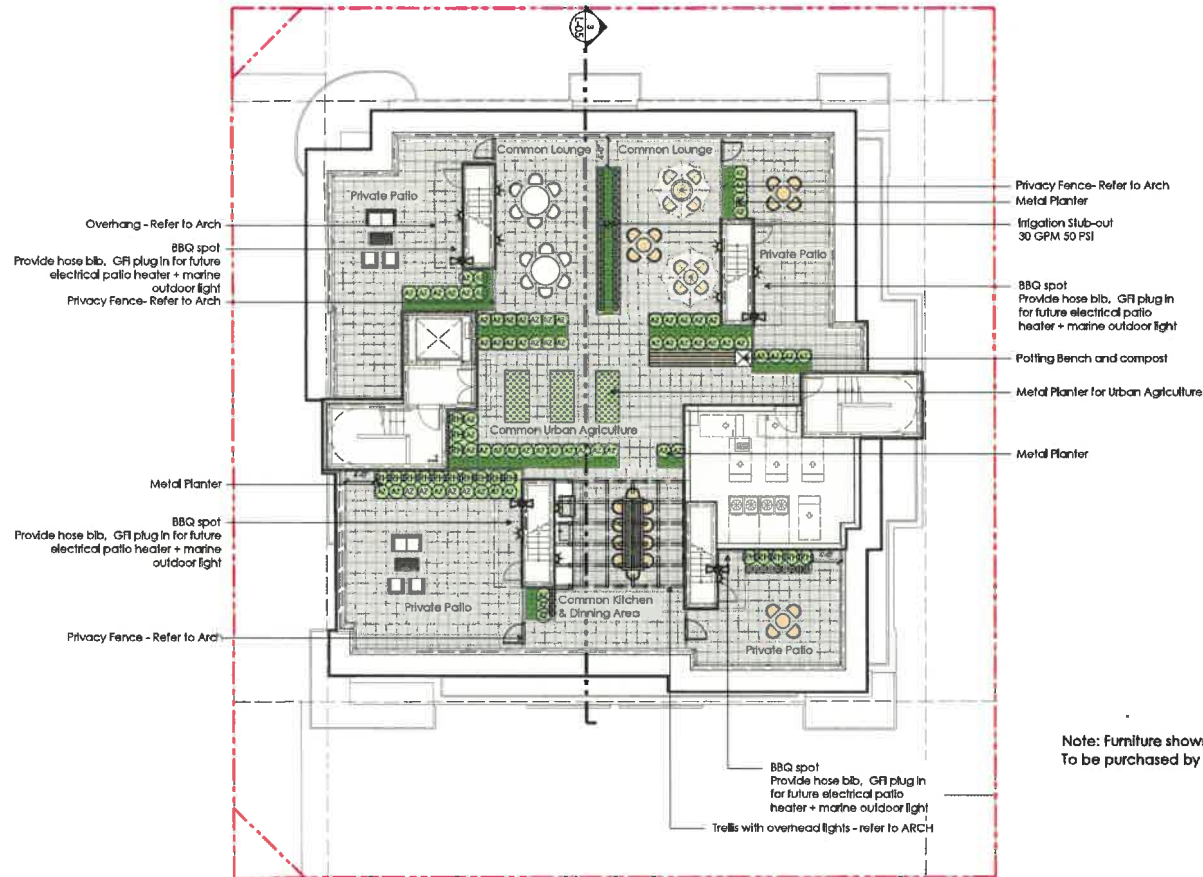
Level 1 Planting Plan

Project No.:
18084

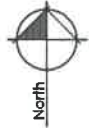
Sheet No.:

L-1.2

DP000396(24)



Note: Furniture shown for scale only.
To be purchased by owner / strata / resident.



DP000396 (25)

06	2019-10-02	Revised for DP
05	2019-09-12	Soil Depth Diagram
04	2019-09-06	Revised for DP
03	2019-04-25	Soil Depth Diagram
02	2019-04-05	Issued for DP
01	2018-12-17	Tree Management Plan
no.	date:	Item:
Revisions:		



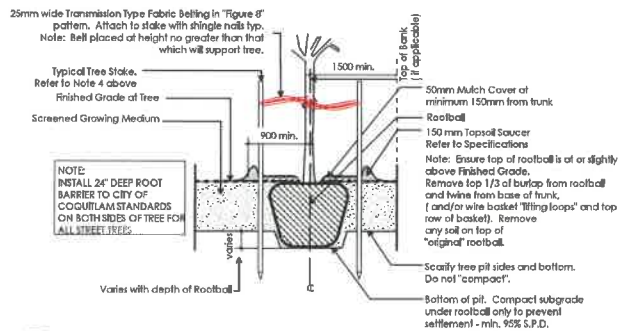
Project:
**Shaughnessy and Alkins
by Kulak,
Port Coquitlam, BC**

Drawn by:	XL
Checked by:	PK
Date:	2019-10-02
Scale:	1/8" = 1'-0"
Drawing Title:	

Roof Landscape Plan

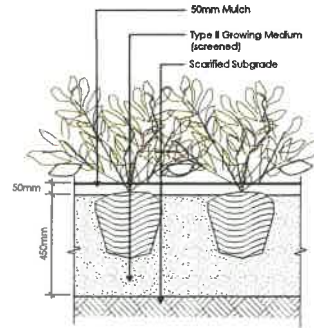
Project No.:	18084
Sheet No.:	

1-1.3



- General Notes:
1. Do not cut Tree Leader.
 2. Protect tree from damage during planting. Ensure rootball protected from Sun, frost or Desiccation.
 3. Ensure tree location does not conflict with Underground Services. "Call before digging".
 4. All street trees to be staked with 2 x 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
 5. Provide min. 5 cubic meters of growing medium per tree.
 6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.

Depth of Growing Medium Total (mm)	Area (M2)	Variation 1 Size of Surface Slab	Variation 2 Size of Surface Slab
450	11.11	3.3 M x 3.3 M	3.80 M Ø
600	8.33	2.9 M x 2.9 M	3.25 M Ø
750	6.67	2.6 M x 2.6 M	2.90 M Ø

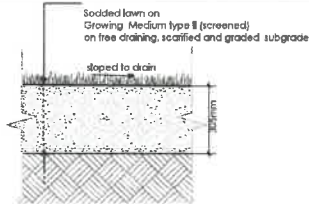


1 Typical Tree Planting on Grade
L-3.1 NTS

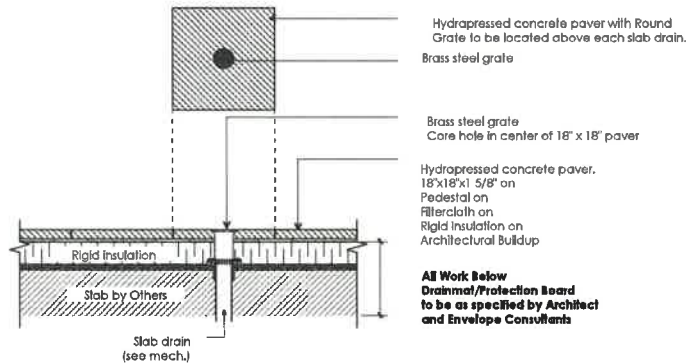
2 Typical Shrub Planting on Grade
L-3.1 Scale 1:10

Hydressed Concrete Slab Note:
01. Cut all Pavers as required to maintain pattern/layout as shown on Plans.
02. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.
03. Min. paver cut to be no less than 1/3 of original size.

- Notes:
- 1) See specifications for all sodded lawn equipments.
 - 2) Refer to landscape plan for lawn area grading and elevation information.
 - 3) Ensure entire lawn area is free of existing debris such as organic material (lumps/rocks/weeds) and rocks etc. Ensure level and consistent scarified sub-grade throughout entire lawn area.

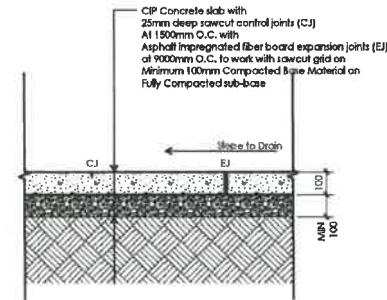


3 Lawn on Grade
L-3.1 Scale 1:10



All Work Below Drainage/Protection Board to be as specified by Architect and Envelope Consultants

4 Hydressed Concrete Pavers on inverted Roof
L-3.1 Scale 1:10



5 CIP Concrete on Grade
L-3.1 Scale 1:10

04	2015-10-02	Released for DP
03	2015-09-06	Released for DP
02	2015-04-05	Issued for DP
01	2015-12-17	Tree Management Plan
	date:	Rev:



Project:
**Shaughnessy and Atkins,
Port Coquitlam, BC**

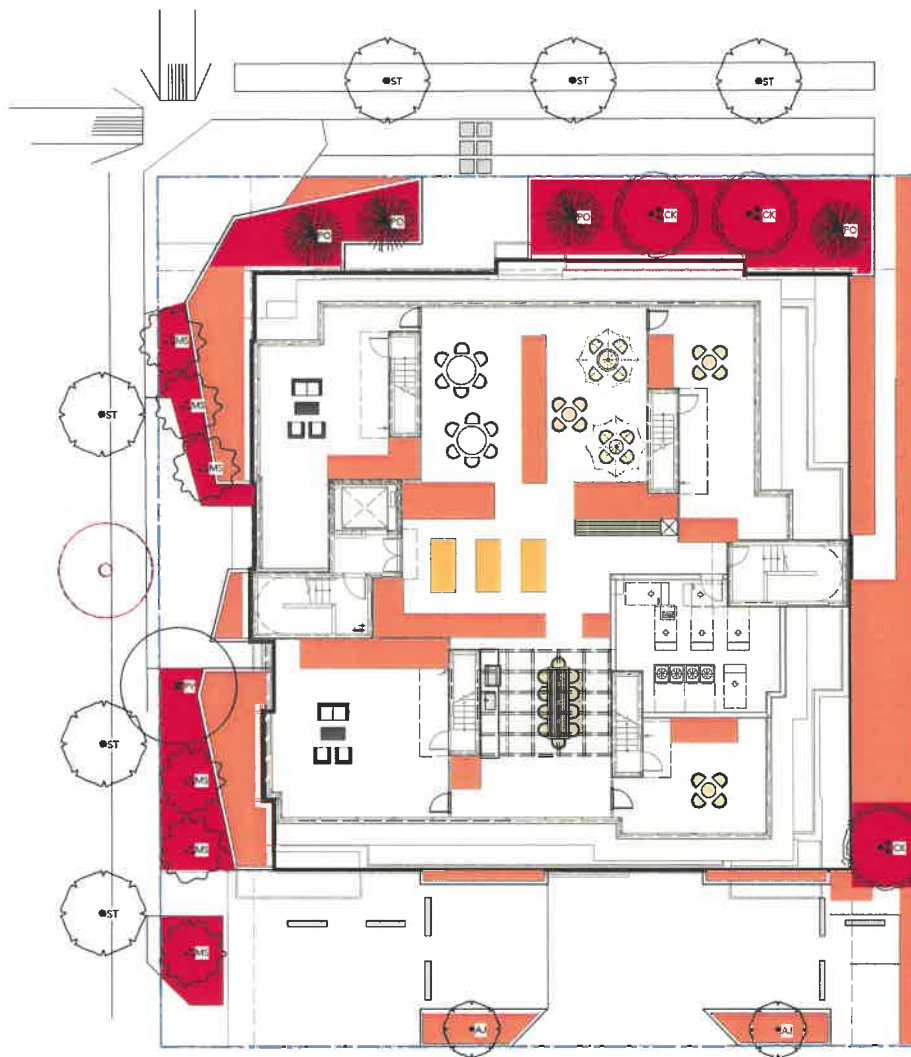
Drawn by:	ML
Checked by:	PE
Date:	Oct 02, 2019
Scale:	As Noted
Drawing Title:	





Landscape Details

Project No.:	18084
Sheet No.:	

L-3.1

1800396(26)



	6" Soil Depth	L1: 10.8 sq.ft.
	18" Soil Depth	Roof: 72.3 sq.ft.
	24" Soil Depth	L1: 1292.1 sq.ft. ROOF: 547.7
	36" Soil Depth	L1: 1297.0 sq.ft.



04	2019-10-02	Revised for DP
03	2019-09-12	Soil Depth Diagram
04	2019-08-06	Revised for DP
03	2019-06-25	Soil Depth Diagram
02	2019-04-03	Issued for DP
01	2018-12-17	Tree Management Plan
no.	date:	Permit

Revisions:

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Project:
**Shaughnessy and Atkins
 by Kulak,
 Port Coquitlam, BC**

Drawn by: XL
 Checked by: PK
 Date: 2019-10-02
 Scale: 1/8" = 1'-0"
 Drawing Title:

Soil Loading Diagram

Project No.:
18084
 Sheet No.:

L-0.1

TP 000396 (20)

Schedule A

Energy Conservation:

Conservation Measure	Verification Method
All roofs are to be cool-roof as per ASHRAE 90.1-2007 5.5.3.1 Exception 'A': 17 psf rock ballast to minimize solar heat gain	BP stage; written confirmation by Architect along with staff review of BP submission
Landscaping throughout the site to provide shelter for pedestrians and to maximize shading of parking space pavement	DP stage; staff review of landscape plan
Window placement to provide opportunities for natural light	DP and BP stage; staff review of building plans
Windows and skylights are to be high efficiency Low-E glazing to reduce solar heat gain and provide natural lighting	BP stage; written confirmation by Architect along with staff review of BP submission
Lighting that is downward casting full cut-off fixtures to reduce glare and spill-over to adjacent areas	BP stage; written confirmation by developer

Water conservation:

Conservation Measure	Verification Method
Native and drought tolerant plant selections are to be used for the majority of the project to reduce water consumption	DP and BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arbourist
High efficiency landscape irrigation system with rain sensors is to be installed	DP and BP stage; staff review of landscape drawing, site inspection by Landscape Architect and City Arbourist
Stormceptors and oil interceptors will be installed to improve stormwater quality	BP stage; staff review of building plans and inspections
Soft landscaping areas provided to reduce stormwater flows	DP stage; staff review of landscape plan

GHG Reduction:

Conservation Measure	Verification Method
Provision of bicycle racks to promote alternative transportation	DP and BP stage; staff review of building plans

per OCP Sec. 9.11 Environmental Conservation DPA designation