

1835 McLean Avenue - Development Permit Application

RECOMMENDATION:

That Committee of Council approve Development Permit DP000423 to regulate an industrial development at 1835 McLean Avenue.

PREVIOUS COUNCIL/COMMITTEE ACTION

None.

REPORT SUMMARY

This report describes an application for a development permit to regulate a new industrial development and façade improvements to an existing accessory structure, mid-block, along McLean Avenue. The two-storey building proposal and site landscaping are designed to comply with the site's M1 General Industrial zoning and development permit designation. The development permit is recommended for approval.

BACKGROUND

Proposal: Sunwell Holdings Inc. has proposed the development of a two-storey industrial building with on-site parking and landscaping at 1835 McLean Avenue.

Context: The site is located between Pitt River Road and Kingsway Avenue, along McLean Avenue. The small 1869 m² (20,117 ft²) site is comprised of an older existing industrial building with outdoor storage. Surrounding land uses are largely industrial with the exception of residential along Taylor Street and commercial directly south of the site (Cat & Fiddle Pub). A statutory right-of-way runs along the west side of the site for sanitary sewer purposes.



Location map

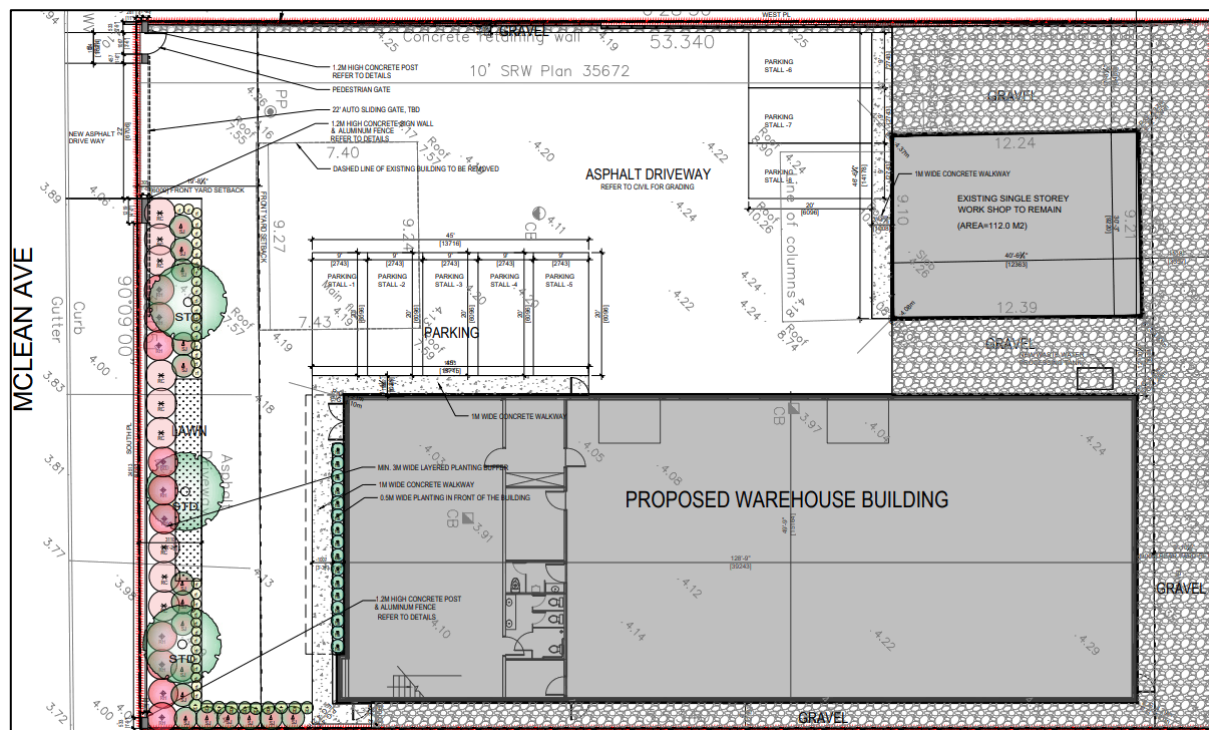
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Policy and Regulations: The land use designation in the Official Community Plan for the site is General Industrial; policies of the Plan promote economic development and job creation within this designation. The property is zoned M1 – General Industrial.

The objectives and guidelines of the site's industrial development permit area designation are intended to guide the form and character of industrial developments, promote orderly development, and control the interface between industrial and other land uses. The environmental conservation development permit area designation encourages sustainable development and building design, efficient use of energy, water and other resources, and the reduction of waste and pollution.

Project Description: The new 658m² (7,082 ft²) building will replace the existing industrial building. However, a small section of the existing building will remain as an accessory structure at the rear of the property and will be used for the storage of materials. The new building will be for the existing stone cutting business.

As shown in the site plan below, the new building is oriented towards McLean Avenue with the majority of parking and loading spaces against the west side of the building, screened from the street. Access to the site will be provided at the south west corner of the property.



Site plan at 1835 McLean Ave

The building design provides subtle articulation achieved through varied roof height, significant glazing, and horizontal architectural elements through the use of a glass canopy to break up the front of the building. The façade of the existing accessory building will be upgraded and co-

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ordinated with the new building to create a uniform and quality of character, using aluminum panel and micro-rib metal wall cladding and a varying colour palette of light and dark grays.



Rendering of the new building with the existing accessory structure

The landscape plan calls for a mixture of trees, shrubs, groundcovers and perennials. Three new Japanese Stewartia trees will be planted along the frontage of the site. A landscaped strip has also been proposed at the front of the building to enhance the entrance. A new 1.2 m automatic sliding gate is proposed for the front of the property, with a pedestrian entrance and new aluminum fencing. A significant amount of gravel is to be used at the rear of the property to increase the permeability of the site. There are no trees proposed to be removed from the site.

Project Profile

	Bylaw Regulations ¹	Proposed ²
Site Area	1,200 m ²	1,869 m ² (0.46 of an acre)
Total Building Area	n/a	775 m ² (8,343 ft ²)
Building Lot Coverage	n/a	38%
Setbacks:		
Front Setback (McLean)	6 m	9.74 m
Rear Setback	3 m	3.92 m
Interior Side Setback (West)	0 m	5.41 m
Interior Side Setback (East)	0 m	1.2 m
Building Height	n/a	9 m
Impervious surface	80%	78%
Parking (total)	8	8
Loading bays	2 minimum	2

Measures to comply with the environmental conservation objectives and guidelines include building practices and products to reduce energy and water consumption, promote stormwater

¹ Refer to Zoning Bylaw No. 3630 and Parking and Development Management Bylaw No. 4078 for specific regulations.

² Information provided by applicant.

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management, and reduce greenhouse gas emissions. Gravel has been proposed for the rear of the property to increase site permeability. Other elements include high efficiency windows, energy star rated equipment, selection of native and drought tolerant plant species, a high-efficiency irrigation system in the front planting area, and adequate storage for garbage, recycling and organic materials. A complete list of conservation measures is included in Schedule A of the development permit.

Offsite Infrastructure and Services

Offsite requirements would include road and service upgrades as necessary in accordance with the Subdivision Servicing Bylaw and installation of a new letdown. These requirements would be confirmed at the time of building permit application.

DISCUSSION

The design of the proposed industrial building and landscaping meets the intent of the industrial design guidelines and environmental conservation designation guidelines. The proposal complies with applicable zoning and parking regulations and provides a quality of character consistent with other light industrial development along McLean Ave. The improved fencing and landscaping enhance the streetscape and the development is attractive and consistent with the expected high quality of character of the industrial area.

Staff recommend approval.


PUBLIC CONSULTATION

A sign providing notification of the application is posted on site. To date, no comments have been received.

FINANCIAL IMPLICATIONS

None.

OPTIONS (✓ = Staff Recommendation)

	#	Description
	1	Approve Development Permit DP000423.
	2	Request additional information or amendments if Committee is of the opinion that such information or amendment would assist in its evaluation of how the design complies with the development permit area designation or regulations.
	3	Refuse the application if the Committee is of the opinion the application does not conform to the design guidelines or regulations.

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ATTACHMENT

Attachment 1: Draft Development Permit DP000423

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