

THE CORPORATION OF THE CITY OF PORT COQUITLAM

"DEVELOPMENT PROCEDURES BYLAW, 2013, NO. 3849"

DEVELOPMENT PERMIT

NO. DP000423

Issued to: Sunwell Holdings Inc., Inc.No. BC1071090

Address: 3221 Chartwell Lane
Coquitlam, B.C.
V3E 3N1

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied by this Permit.
2. This Development Permit applies to and only to those lands within the Municipality described below, and any and all buildings, structures and other development thereon:

Address: 1835 McLean Ave

Legal Description: Lot 51 DISTRICT LOT 382 GROUP 1 NEW WESTMINSTER
DISTRICT PLAN 54525

P.I.D.: 005-268-940

3. The above property has been designated as a Development Permit Area under Section 9.0 – Development Permit Area in the "Official Community Plan Bylaw, 2013, No. 3838".
4. "Port Coquitlam Zoning Bylaw, 2008, No. 3630" and "Parking and Development Management Bylaw, 2005, No.3525" are varied, supplemented or both in accordance with the following:
 - a. The form and character of the building, including the siting, height and general design, shall be as shown on drawings numbered DP000423 (1) to DP000423 (12) which are attached hereto and form part of this permit.
 - b. The form and character of on-site landscaping shall be as shown on drawing numbered DP000423 (10) to DP000423 (11) and the following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto.
 - (ii) All planting materials shall be able to survive for a period of one year from the date of the site landscape approval by the Municipality.
 - c. The building and landscaping shall provide the energy conservation, water conservation and GHG emission reduction elements as shown on Schedule A to the drawings which are attached hereto and form part of this permit.

5. **Landscape Security**

- (a) As a condition of the issuance of this permit, the security set out below will be held by the Municipality prior to the issuance of a building permit to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clause 4 above. There is filed accordingly an irrevocable Letter of Credit or cash security in the amount **\$167,637.50** for the purpose of landscaping.
- (b) Should any interest be earned upon the security, it shall accrue to the Permittee and be paid to the Permittee if the security is returned. A condition of the posting of the security is that should the Permittee fail to carry out the works or services as hereinabove stated, according to the terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by its servants, agents or contractors, and any surplus shall be paid over to the Permittee.
- (c) The Permittee shall complete the landscaping works required by this permit within six months of the final inspection for the final phase of the development. Within the six month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within the six month period, the Municipality has the option of continuing to hold the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping, and recoup additional costs from the Permittee if necessary. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

- (d) Should the Permittee carry out the works and services permitted by this permit within the time set out above, the security shall be returned to the Permittee.
6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit, which shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction permitted by this permit within two years of the (issuance) date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

APPROVED BY THE COMMITTEE OF COUNCIL THE _____ DAY OF _____.

SIGNED THIS _____ DAY OF _____.

Mayor

Corporate Officer

I ACKNOWLEDGE THAT I HAVE READ AND UNDERSTAND THE TERMS AND
CONDITIONS UPON WHICH THIS PERMIT IS ISSUED.

Applicant (or Authorized Agent or
Representative of Applicant)

NEW WAREHOUSE DEVELOPMENT

CIVIC ADDRESS: 1835 McLEAN AVE, PORT COQUITLAM BC

ARCHITECT

PACIFIC WEST ARCHITECTURE Inc.
1200 West 73rd Ave (Airport Square)
Suite 1100, Vancouver B.C. V6P 6G5
Tel: (604)-616-7892
Email: info@pwaarchitecture.com

LANDSCAPE ARCHITECT

Royal Pacific Landing Ltd.
916 Sperling Ave, Burnaby, B.C. V1Y 1J7
Tel: (604)-338-5035
Email: www.Royalpl.com

DRAWING INDEX

A0.00	COVER SHEET
A1.00	SITE PLAN AND STATISTICS
A2.01	FLOOR PLANS
A2.02	FLOOR PLANS
A2.03	FLOOR PLANS
A3.01	ELEVATIONS
A3.02	ELEVATIONS AND SECTIONS
A3.03	EXISTING BUILDING ELEVATIONS
A4.01	3D MODELS



2 VIEW FROM SOUTHWEST
Scale: N.T.S.



3 VIEW FROM SOUTH
Scale: N.T.S.



4 VIEW FROM SOUTHEAST
Scale: N.T.S.



1 SITE CONTEXT
Scale: 3/32" = 1'-0"



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ISSUES	DATE
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1	ISSUED FOR DP APPLICATION
	AUG 14, 2020

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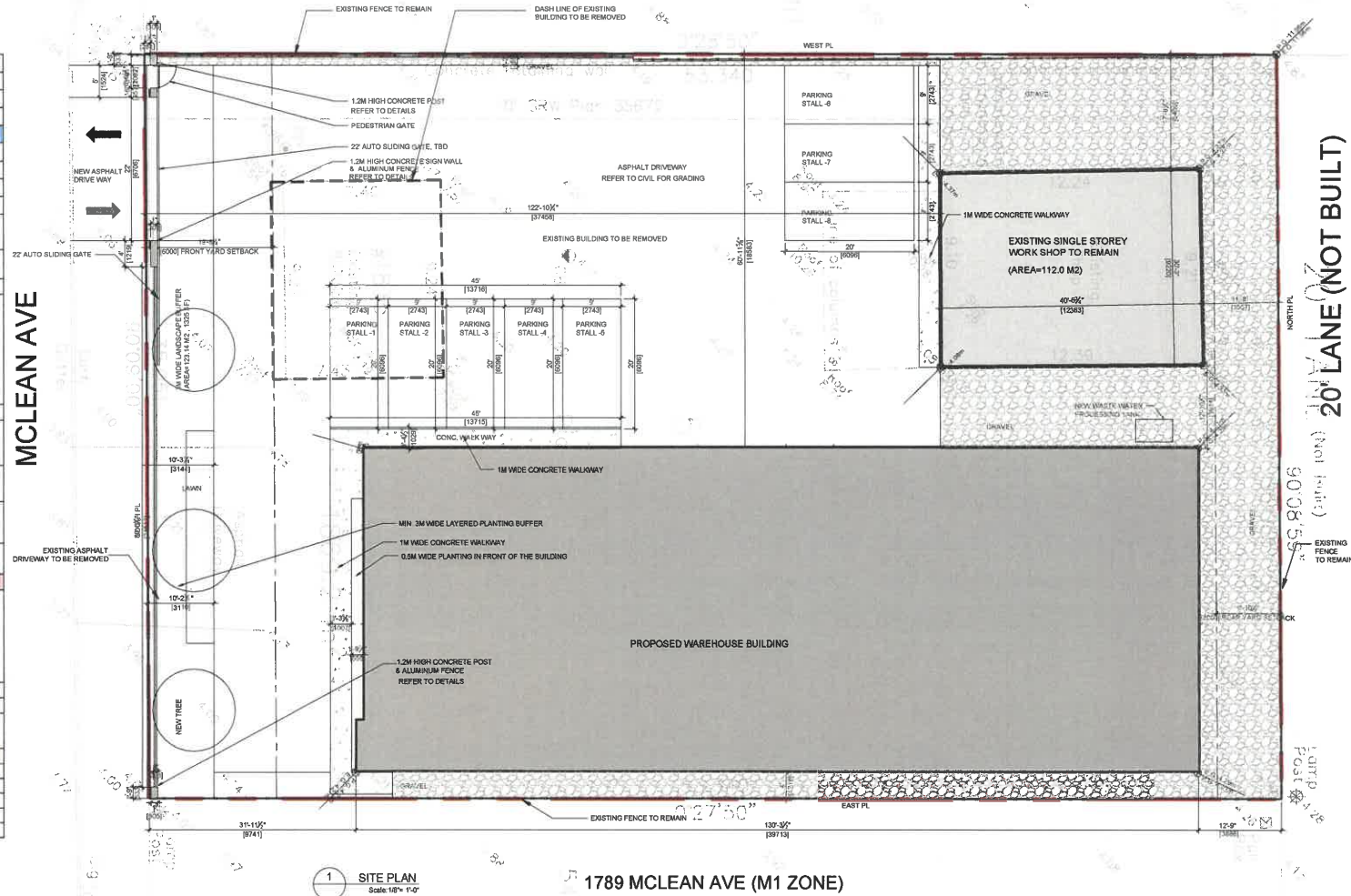
PROJECT	1835 McLEAN AVE PORT COQUITLAM, B.C.
DRAWING TITLE	COVER SHEET

DRAWING No.	A0.00
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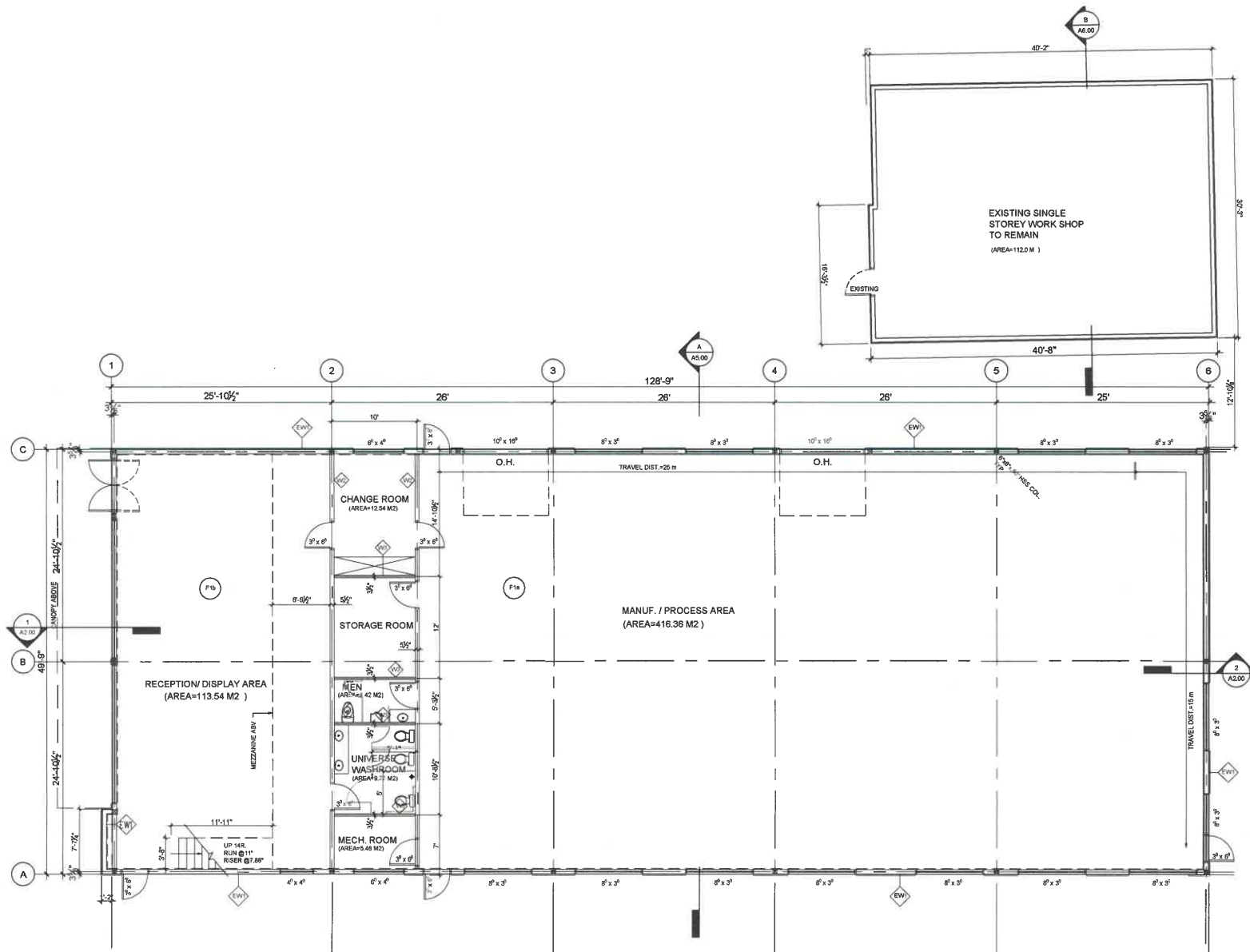
DP000423 (1)

1865 MCLEAN AVE (M1 ZONE)

Zoning Analysis Table		
Civic Address	1835 McLean Ave, Port Coquitlam	
Legal Description	Lot 51 Plan NWP54525 District Lot 382 Land District 36	
CRITERIA	M1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Lot Dimension and Area	600 m ²	53.34m x 35.05m
	15m Minimum Parcel Frontage	1869.2 m ²
Height	No requirement	29'8"
Front Yard	6m (20')	9.74m
Side Yard	0 m, not abutting residential zone	5.41m (west) 1.2m (east)
Rear Yard	3m, not abutting residential zone	3.92m
Site coverage	No requirement	TBD
Impermeable Surface	80%	78% asphalt: 7528 sq.ft concrete: 582 existing building: 1200 sq.ft new building: 6414 sq.ft total: 15724 sq.ft
FAR	No requirement	0.4
Landscape Setback	A landscaped strip with a minimum width of 3 metres that includes a minimum of one tree per 10 lineal metres of all lot lines abutting a street	3m
	A landscaped strip with a minimum width of 1 metre adjacent to a building wall facing a street or park.	TBD
	In the parking area, one landscaped strip or island with a minimum area of 6 m ² for every eight parking stalls and includes a minimum of one tree. minimum 1 m landscape buffer adjacent to residentially-zoned parcels for screening.	TBD
Parking Regulations		
Minimum Parking Requirements	1 per 3 employees, or 1 per 95 m ² of gross floor area, whichever is greater	8 required 8 provided
	775.1 m ² (including existing accessory building) / 95=8	
	1 per 95 m ² gross floor area and/or parcel area used for display rental or retail sales purposes	
Parking Stall Dimension	Standard: 2.7m W x 5.5 m L Small: 2.5m W x 5.0 m L, 25% maximum	2.7m W x 5.5 m L
Minimum Drive Aisle Width	7.5m	7.5m or greater
Building Statistics		
Proposed New Building	Ground Floor	113.54 m ²
	Process Area	482.56 m ²
	Mezzanine (Office)	61.84 m ²
Existing Building		112 m ²
Total Floor Area	775.1 m ² / 8343 SF	



DPO00423(2)



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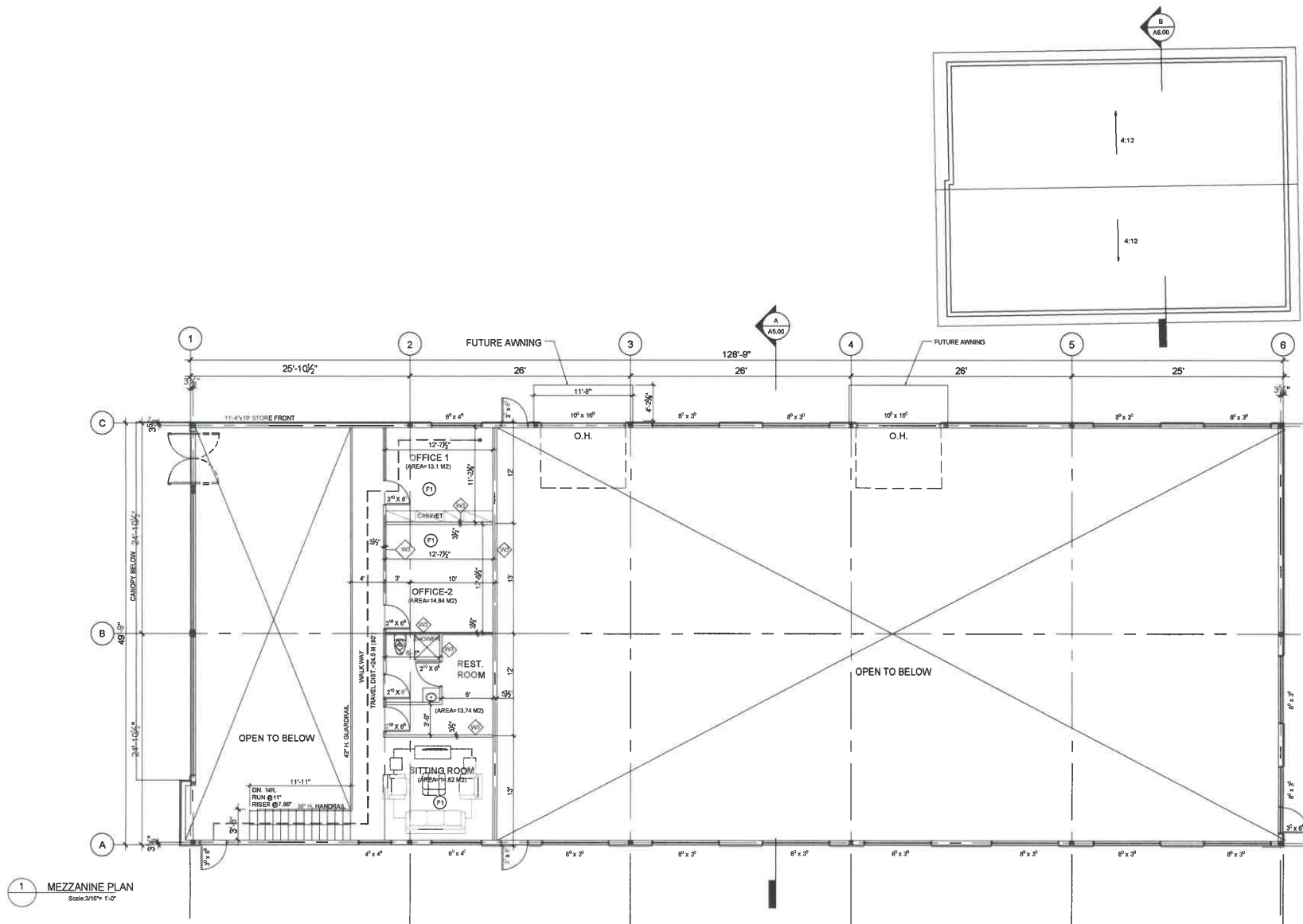
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PROJECT	1835 McLEAN AVE PORT COQUITLAM, B.C.
DRAWING TITLE	GROUND FLOOR PLAN

DRAWING No.	A2.01
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DP0000423(3)



1 MEZZANINE PLAN
Scale 3/16" = 1'-0"



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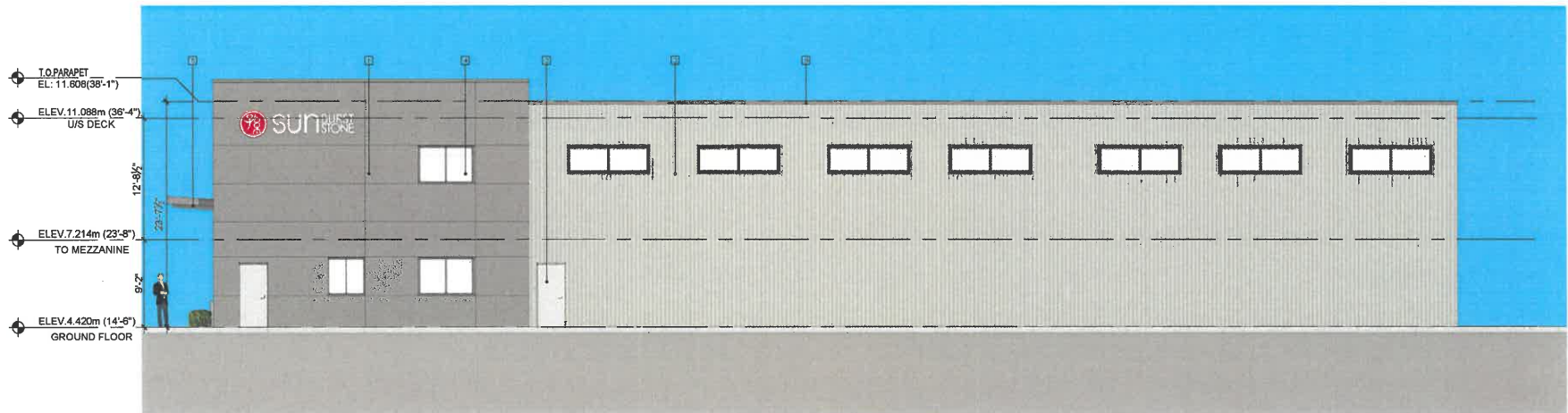
PROJECT	1835 McLEAN AVE PORT COQUITLAM, B.C.
DRAWING TITLE	MEZZANINE PLAN

DRAWING No.	A2.02
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DP0003423(4)



Page 423 (5)



1 EAST ELEVATION
Scale: 3/16" = 1'-0"



2 SOUTH ELEVATION
Scale: 3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 MICRO-RIB METAL WALL CLADDING
COLOR: DARK GREY
- 2 METAL PANEL
COLOR: BENJAMIN MOORE GRAY (#2121-10)
- 3 METAL EXIT DOOR
- 4 DOUBLE GLAZED WINDOW / DOOR WITH METAL TRIM
- 5 GLASS CANOPY
- 6 METAL OVERHEAD DOOR
- 7 DOUBLE GLAZED ENTRY DOOR WITH METAL TRIM
- 8 CONCRETE PLANTER
- 9 PRE FINISHED METAL FLASHING
COLOR: BLACK



pacific
west
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PROJECT
**1835 McLEAN AVE
PORT COQUITLAM, B.C.**

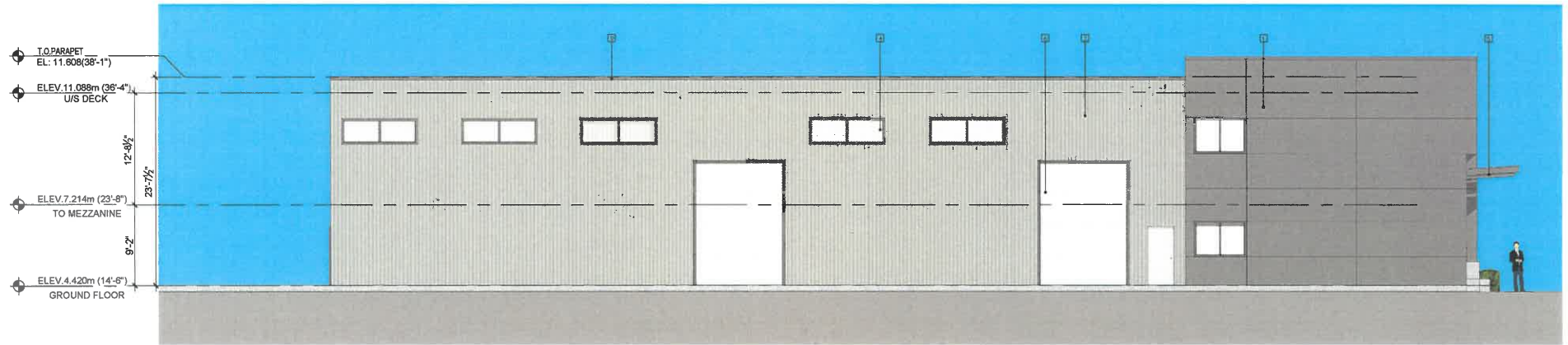
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ELEVATIONS

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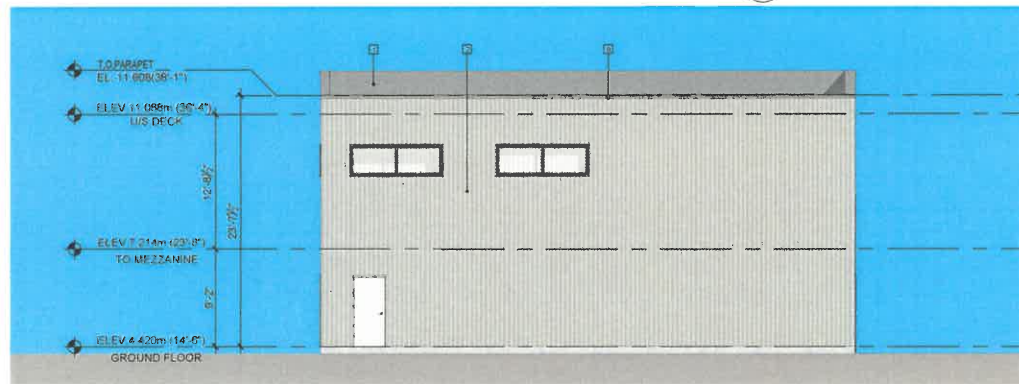
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D8000423 (6)

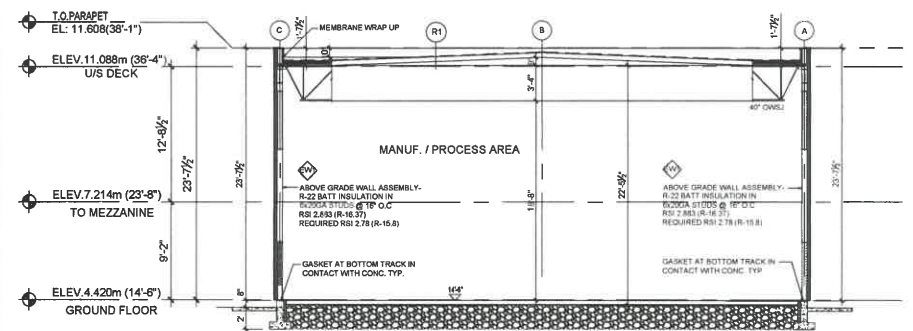
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COLOR: BENJAMIN MOORE GRAY (#2121-10)
- 3 METAL EXT DOOR
- 4 DOUBLE GLAZED WINDOW / DOOR WITH METAL TRIM
- 5 GLASS CANOPY
- 6 METAL OVERHEAD DOOR
- 7 DOUBLE GLAZED ENTRY DOOR WITH METAL TRIM
- 8 CONCRETE PLANTER
- 9 PRE FINISHED METAL FLASHING
COLOR: BLACK



1 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION
Scale: 3/16" = 1'-0"



3 SECTION A
Scale: 3/16" = 1'-0"



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PROJECT
1835 McLEAN AVE
PORT COQUITLAM, B.C.

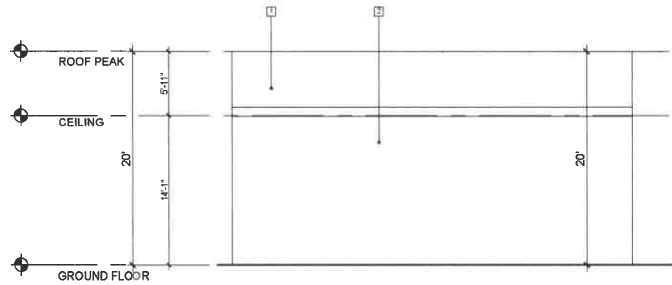
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ELEVATIONS AND SECTION

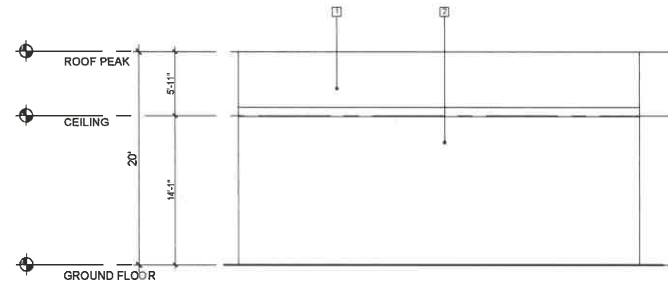
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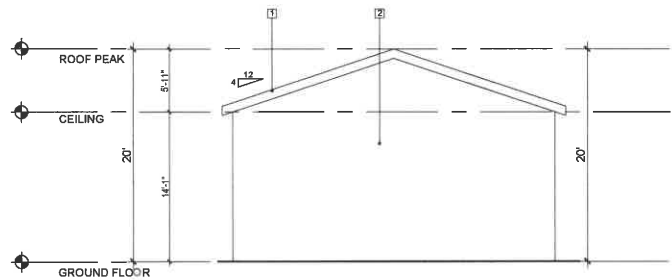


1 WEST ELEVATION
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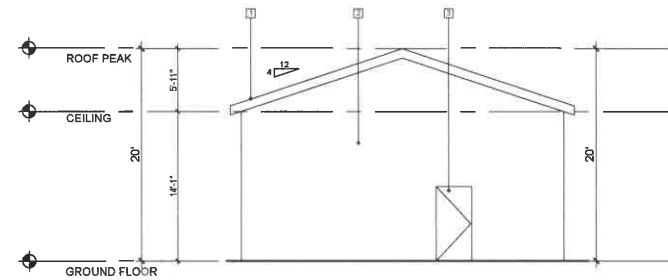


1 EAST ELEVATION
Scale: 3/16" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 METAL ROOF
 - 2 METAL PANEL
COLOR: BENJAMIN MOORE GRAY (A2121-10)
 - 3 METAL DOOR



3 NORTH ELEVATION
Scale: 3/16" = 1'-0"



4 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



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PROJECT 1835 McLEAN AVE PORT COQUITLAM, B.C.
DRAWING TITLE EXISTING BUILDING ELEVATIONS

DRAWING NO. A3.02

DR000423(8)

MATERIAL BOARD



ALUMINUM PANEL
COLOR: BENJAMIN MOORE GRAY (#2121-10)



MICRO-RIB METAL WALL CLADDING
COLOR: DARK GREY



CLEAR GLASS



1 3D MODEL N.T.S.



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1 ISSUED FOR DP APPLICATION	AUG 14, 2020

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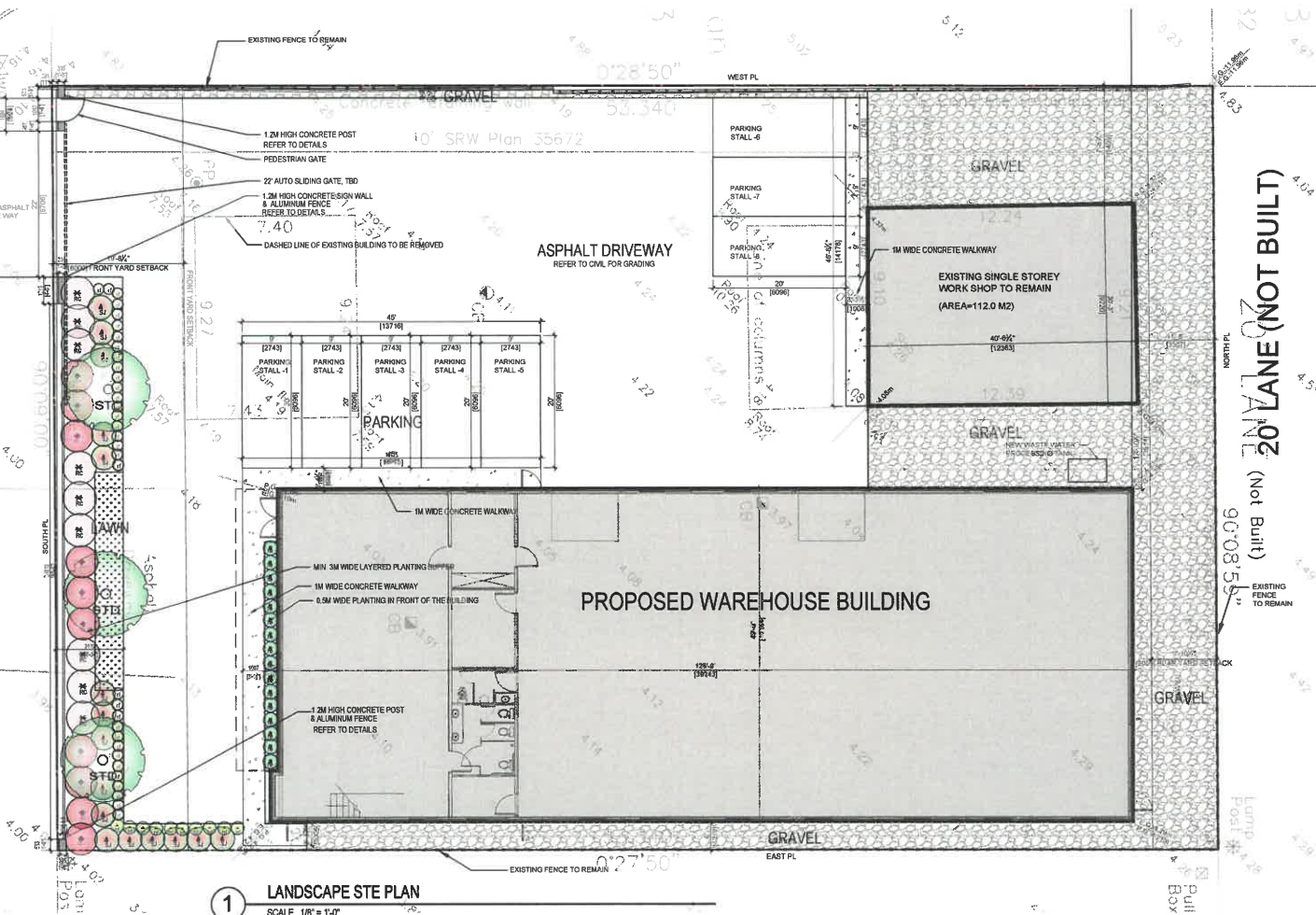
PROJECT	1835 McLEAN AVE PORT COQUITLAM, B.C.
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DP000423(a)

MCLEAN AVENUE

MCLEAN AVENUE



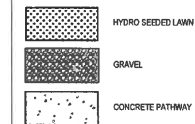
PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
TREES				
STD	3	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6CM CAL. B & B
SHRUBS				
RC	9	RHODODENDRON 'CHRISTMAS CHEER'	CHEER RHODO.(WHITE PINK)	#2 CONTAINER
RH	10	RHODODENDRON HACHMANN'S FANTASTICA	FANTASTIC RHODODENDRON(RED)	#2 CONTAINER
SJ	15	SKIMMIA JAPONICA RUBELLA	JAPANESE SKIMMIA	#2 CONTAINER
GROUNDCOVERS & PERENNIALS				
hf	11	HYPERICUM CALYCIUM	ST. JOHNS WORT	#1 CONTAINER
rf	34	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1 CONTAINER
he	16	HELICTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 CONTAINER

RPL
ROYAL PACIFIC LANDING LTD. I
太平洋皇家园林设计有限公司

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SCALE 1/8" = 1'-0"

LEGEND:



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CONSULTANT: RPL

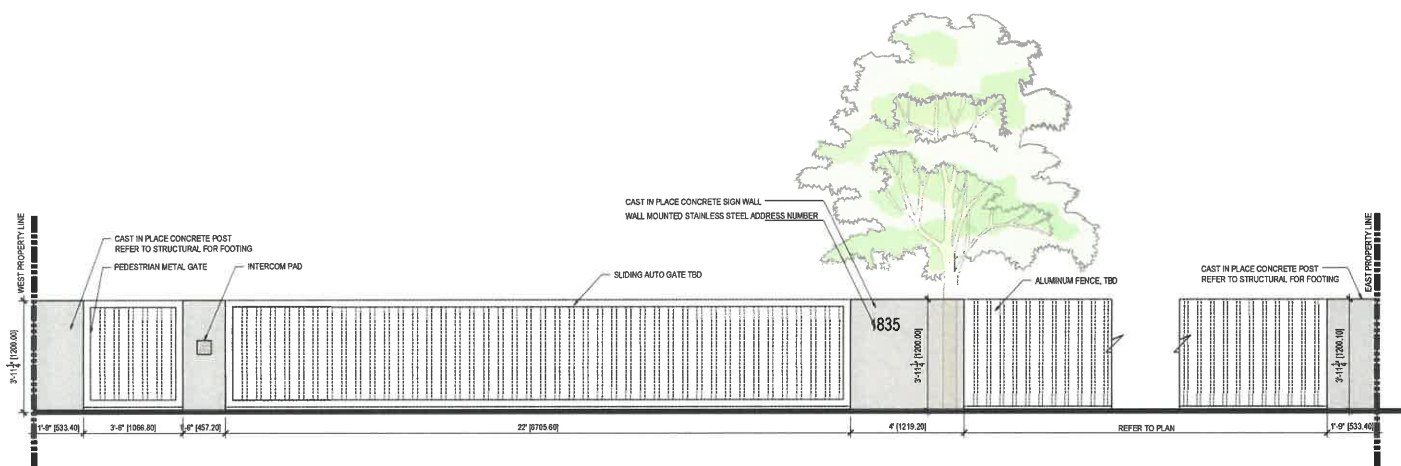
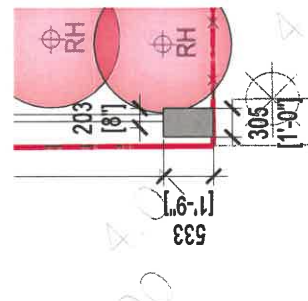
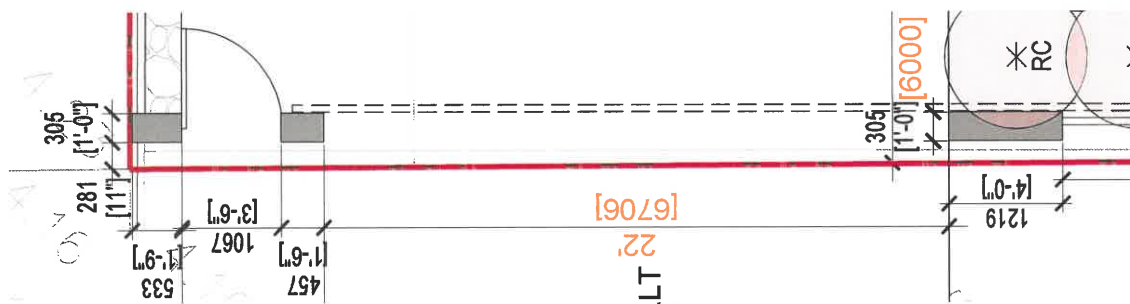
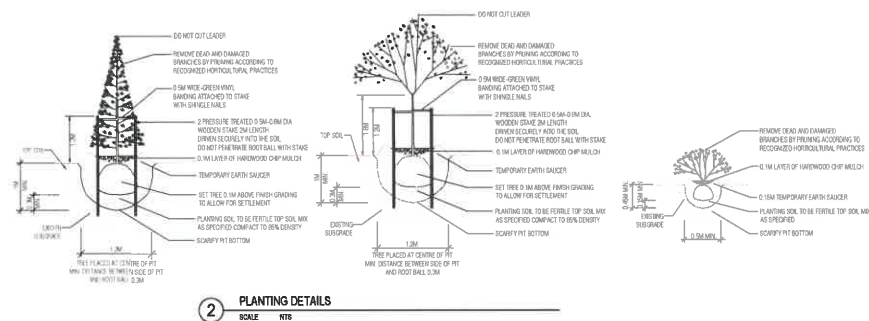
PROJECT: 1835 McLean Ave Warehouse
Port Coquitlam, BC

DRAWING TITLE: LANDSCAPE SITE PLAN

DRAWING No.: L1

DPO000423(10)

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BNCTA OR BCSLA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GRASSED AREAS: 150MM (6")
 - B. GROUND COVERS: 300MM (12")
 - C. SHRUBS: 450MM (18")
 - D. TREE PITS: 1000MM (40") WITH 300MM (12") (BELOW ROOT BALL)
5. LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
6. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 350MM (14") O.C.
7. 1"MINUS BARK MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
8. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING/OR ARCHITECTURAL.



1 FRONT GATE & WALL DETAILS
SCALE 1/2" = 1'-0"



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	2020.04.15
	2019.12.06

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1835 McLean Ave
Warehouse
Port Coquitlam, BC

DRAWING TITLE

LANDSCAPE DETAILS

DRAWING No.

L2

Doc 423(11)

Schedule A

Energy Conservation:

Conservation Measure	Verification Method
High performance glazing or thermal breaks in windows, doors, and frames.	BP stage; written confirmation by applicant along with staff review of BP submission
Location and size of windows will increase natural ventilation and natural daylight	DP and BP stage; staff review of BP submission
Shading devices, overhangs, and landscaping to shelter peak summer exposure while enabling light penetration during winter months;	DP and BP stage; staff review of BP submission
Energy Star Rated appliances	BP stage; staff review of BP submission

Water conservation:

Conservation Measure	Verification Method
pervious surface areas and permeable or porous paving materials in ongrade parking areas	DP and BP stage; staff review of BP submission
Drought-tolerant and indigenous tree, shrub, and plant species	DP and BP stage; City arborist will review and complete landscape inspection
Automated, high-efficiency mechanical irrigation systems;	DP and BP stage; City arborist will review and complete landscape inspection

GHG Reduction:

Conservation Measure	Verification Method
Adequate storage space for garbage, recycling and organic materials provided in easily accessible, secure location.	DP and BP stage; staff review of BP submission

per OCP Sec. 9.11 Environmental Conservation DPA designation

DR000423(12)